



**AGENDA
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
MARCH 12, 2026
10:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**
- 5. FIRST STEP REVIEW (PRE-APPLICATION ITEMS)**
 - 5.1 KEN LINGAFELT, PLANK & BARREL - 2728 SADLER RD**
Site review of proposed renovations to the former Atlantic Seafood property, including the addition of an indoor dining room and outdoor dining space.
 - 5.2 KAYLA ALTMAN, SALTY FOX TATTOO - 2477 SADLER RD**
Site Review and Change of Use for an existing tattoo business moving to a new space.
- 6. OLD BUSINESS**
- 7. NEW BUSINESS**
 - 7.1 TRC-2026-0002 - PAUL NOLAN, CONCIERGE AMELIA LLC, 2423 SADLER ROAD (SADLER GYM)**
Site Plan Review for the construction of a Gym. (C-1)
- 8. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN.**
- 9. COMMITTEE BUSINESS**
- 10. ADJOURNMENT**

NEXT REGULAR TRC MEETING IS SCHEDULED FOR MARCH 26, 2026

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.

ABBREVIATIONS

	FAHRENHEIT		H.B.	HOSE BIBB		SAN.	SANITARY
	DIAMETER		H.C.	HANDICAPPED		S.C.	SOLID CORE
	AND		HDR.	HEADER		SCHED.	SCHEDULE
	AT		HDW.	HARDWARE		SECT.	SECTION
	POUND OR NUMBER		HT.	HEIGHT		S.F.	STORE FRONT
	CENTER LINE		H.M.	HOLLOW METAL		SHT.	SHEET
ES.	ACCESSIBLE		HORIZ.	HORIZONTAL		SHTG.	SHEATHING
	AIR CONDITIONING		HP.	HIGH POINT		SHM.	SIMILAR
F.	ABOVE FINISH FLOOR		HTG.	HEATING		SPEC.	SPECIFICATION
V.	ALUMINUM		HDWD.	HARDWOOD		SQ.	SQUARE
ROX.	APPROXIMATE		HVAC	HEATING, VENTILATION, & AIR CONDITIONING		S.S.	STAINLESS STEEL
H.	ARCHITECTURAL		HW.	HOT WATER		ST.	STREET
			HHW.	HOT WATER HEATER		STD.	STANDARD
						STL.	STEEL
	BOARD		I.D.	INSIDE DIAMETER		STOR.	STORAGE
3.	BUILDING		IN.	INCH		STRUCT.	STRUCTURAL
	BLOCK		INSUL.	INSULATION		SUSP	SUSPENDED
3.	BLOCKING		INT.	INTERIOR		SYM	SYMMETRICAL
	BEAM					SYS.	SYSTEM
	BOTTOM					SW.	SWITCH
V.	BETWEEN		JAN.	JANITOR		SWGR.	SWITCH GEAR
	BRITISH THERMAL UNIT		J.B.	JUNCTION BOX			
R.	BUILT UP ROOF		JST.	JOIST		T.B.	TACKBOARD
			JT.	JOINT		TEL.	TELEPHONE
	CABINET					THK	TONGUE AND GROOV
V	CABLE TELEVISION	KV	KV	KILOVOLT		T&G	
	CIRCUIT BREAKER	KVA	KVA	KILO VOLT-AMPERE		T.O.B.	TOP OF BEAM
	CEMENT	KW	KW	KILOWATT		T.O.C.	TOP OF CURB
	CERAMIC	LAM.	LAM.	LAMINATED		T.O.P.	TOP OF PAVING
	CAST IRON	LAV.	LAV.	LAVATORY		T.O.R.	TOP OF ROOF
	CONTROL JOINT	LBS.	LBS.	POUNDS		T.O.W.	TOP OF WALL
	CEILING	L.F.	L.F.	LINEAR FEET		TYP.	TYPICAL
	CLOSET	L.G.	L.G.	LONG		TV	TELEVISION
	CLEAR	LTV.	LTV.	LIGHTING			
U.	CONCRETE MASONRY UNIT			LOW VOLTAGE		U.N.O.	UNLESS NOTED OTHERWISE
	CLEAR OPENING					UR.	URINAL
	CLEAN OUT	MAX.	MAXIMUM			UL	UNDERWRITER'S
	COLUMN	M.B.	M.B.	MACHINE BOLT		LABORATORY	
C.	CONCRETE	MDP	MDP	MAIN DISTRIBUTION PANEL		V.W.C.	VINYL WALL COVERING
N.	CONNECTION	MECH.	MECH.	MECHANICAL		VERT.	VERTICAL
STR.	CONSTRUCTION	MED.	MED.	MEDIUM		V.T.R.	VENT THROUGH ROOF
T.	CONTINUOUS	MTL.	MTL.	METAL		V.P.	VENT PIPE
	CUBIC YARD	MFR.	MFR.	MANUFACTURER		V.C.T.	VINYL COMPOSITION
	COLD WATER	M.H.	M.H.	MANHOLE			
		MGR.	MGR.	MANAGER		W/	WITH
		MFG.	MFG.	MANUFACTURING		W.C.	WATER CLOSET
T.	DOUBLE	MIN.	MIN.	MINIMUM		WD.	WOOD
	DEPARTMENT	MISC.	MISC.	MISCELLANEOUS		W.H.	WATER HEATER
	DETAIL	M.O.	M.O.	MASONRY OPENING		W/O	WITHOUT
	DRINKING FOUNTAIN	MTD.	MTD.	MOUNTED		W.P.	WEATHERPROOF
	DIAMETER	MUL.	MUL.	MULLION		W.R.F.	WATER RESISTANT
	DIMENSION					W.W.F.	WELD WIRE FABRIC
	DOWN					WT.	WEIGHT
	DISTRIBUTION PANEL	N.I.C.	N.I.C.	NOT IN CONTRACT		W.S.	WATER STOP
	DOR	NO.	NO.	NUMBER			
	DOWN SPOUT	NOM.	NOM.	NOMINAL			
	DRAWING	N.T.S.	N.T.S.	NOT TO SCALE		XFMR	TRANSFORMER

.S. EACH
EXTERIOR INSULATION AND
FINISHING SYSTEM
>. EXPANSION JOINT
7. ELECTRICAL
ELEVATION
ENCLOSURE
EMERGENCY
ELECTRICAL PANEL
P. EQUAL
EQUIPMENT
EACH WAY
ELECTRIC WATER COOLER
. T. EXISTING
EXTERIOR

FLOOR DRAIN
FIRE EXTINGUISHER
FINISH FLOOR
FIRE HYDRANT
FINISH
FIXTURE
FLOOR
FLOW LINE
DR. FLUORESCENT
7. FACE OF FINISH
FACE OF MASONRY
3. FACE OF STUD
FEET PER MINUTE
P. FIRE RATED PARTITION
FLOOR SINK
FOOT/FEET
FOOTING
FURRING

GAUGE
V. GALVANIZED
GENERAL CONTRACTOR
GENERAL
GLASS
GALLONS PER MINUTE
GROUND
GRADE
GYPSUM

O.A.	OVER ALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
OPS.	OPERATIONS
OVHD.	OVERHEAD DOOR
PCF	POUNDS PER CUBIC F
P.C.P.	PRE CAST CONCRETE
P.L.	PROPERTY LINE
PLT.	PLATE
PLAM.	PLASTIC LAMINATE
PLMB.	PLUMBING
PLYWD.	PLYWOOD
P.N.	PANEL
PPL.	POWER POLE
PSF	POUNDS PER SQUARE
PSI	POUNDS PER SQUARE
PTN.	PARTITION
PVC	POLYVINYL CHLORIDE
PWR.	POWER
Q.T.	QUARRY TILE
R.	RADIUS
R.D.	ROOF DRAIN
RDWD.	REDWOOD
REC.	RECEPTION
REF.	REFERENCE
REFR	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
RESIL.	RESILIENT
REV.	REVISION
R&S	ROD AND SHELF
RM.	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY

POUNDS PER CUBIC F
PRE CAST CONCRETE
PROPERTY LINE
PLATE
PLASTIC LAMINATE
PLUMBING
PLYWOOD
PANEL
POWER POLE
POUNDS PER SQUARE
POUNDS PER SQUARE
PARTITION
POLYVINYL CHLORIDE
POWER

QUARRY TILE

RADIUS
ROOF DRAIN
REDWOOD
RECEPTION
REFERENCE
REFRIGERATOR
REINFORCED
REQUIRED
RESILIENT
REVISION
ROD AND SHELF
ROOM
ROUGH OPENING
RIGHT OF WAY

MATERIAL SYM	
	FACE BRICK
	CONCRETE MASONRY UNIT
	3/4" PLYWOOD
	STONE
	CONCRETE
	EARTH FILL
	LIGHT WEIGHT CONCRETE OR GROUT
	CONTINUOUS WOOD BLOCKING
	WOOD BLOCKING
	FINISHED OR MILLED WOOD & TRIM
	CEILING TILE
	TERRAZZO
	EXPOSED AGGREGATE
	RIGID INSULATION
	BUILT-UP ROOF

OLS:

	E.I.F.S. IN SECTION
	BATT INSULATION
	STEEL IN SECTION
	SHEET METAL IN ELEVATION
	CERAMIC TILE LARGE SCALE
	CERAMIC TILE SMALL SCALE
	QUARRY TILE LARGE SCALE
	QUARRY TILE SMALL SCALE
	CARPET
	PLASTER OR STUCCO ON METAL LATH
	GYPSUM BOARD ALL TYPES
	METAL STUD PARTITION IN PLAN
	STEEL ANGLE
	GLASS & FRAME IN PLAN
	DOOR & FRAME IN PLAN

PLAN LEGEND

	EXISTING TO BE REMOVED
	NEW PARTITION
	EXISTING WALL TO REMAIN
	PLAN NOTE
	WINDOWS TYPE
	DOOR TYPE
	HARDWARE SET
	INTERIOR ELEVATION
	EXTERIOR ELEVATION
	WALL SECTION
	BUILDING SECTION
	DETAIL SECTION
	DETAIL
	CHANGE OF FLOOR MATERIAL
	ELEVATION CHANGE
	IMPORTANT HEIGHT IN ELEVATION DWG
	EXISTING GRADE ELEVATION
	NEW GRADE ELEVATION

CODE SYNOPSIS	
CODE:	2023 FLORIDA BUILDING CODE 8TH EDITION 2023 PLUMBING, FLORIDA BUILDING CODE 8TH EDITION
	2023 — MECHANICAL, FLORIDA BUILDING CODE 8TH EDITION
	2023 FLORIDA FIRE PREVENTION, CODE 8TH EDITION
	<u>NFPA 70</u> — 2020 NATIONAL ELECTRICAL CODE
	2023 — ENERGY CONSERVATION FLORIDA BUILDING CODE 8TH EDITION
	FLORIDA ACCESSIBILITY CODE
SPRINKLED:	
*2023 FLORIDA CODE 903.2.9.1 REPAIR GARAGES ^{NO} AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS USED AS REPAIR GARAGES PER BELOW: A. GROUP S-1 FIRE AREA USED FOR THE REPAIR OF COMMERCIAL MOTOR VEHICLES WHERE THE FIRE AREA EXCEEDS 5,000 SQUARE FEET	
* NO TIRE STORAGE RACK	
* NO COMMERCIAL VEHICLE REPAIR	
* NO LIGHTER THAN AIR GASEOUS VEHICLE REPAIR	
No. OF STORIES	SINGLE STORY 24"—0" TALL
REQUIRED EXITING WIDTH	32"
SPECIAL PROVISIONS:	MAXIMUM TRAVEL DIST. 200'

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS (PRIOR TO BIDDING THE PROJECT). ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.)
2. THE G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAAYOUT TO BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQ. BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSURING PROPER COMPACTION OF UTILITY COMPANY TRENCHES.
6. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, TAP FEES, AND CERTIFICATES OF OCCUPANCY, UNLESS INSTRUCTED OTHERWISE.
7. SITE WORK IS TO BE PERFORMED IN THIS CONTRACT. G.C. IS RESPONSIBLE FOR COORDINATING ALL WORK INDICATED ON CIVIL AND ARCHITECTURAL DWGS. G.C. SHOULD NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO START OF WORK.
8. ALL EXCAVATION, TRENCHING, ETC. REQUIRED IN UPGRADE TO BE PART OF CONTRACT.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, ELECTRIC PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
10. JUNCTION BOXES, WHICH SUPPLY POWER TO LIGHTING IN CEILING, SHOULD NOT BE LESS THAN 1'-0" ABOVE FINISH CEILING HEIGHT.
11. ALL DUCT WORK IS TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF ROOF STRUCTURE. EXPOSED DUCT WORK IS TO BE RUN PERPENDICULAR TO STRUCTURE.
12. DO NOT SUSPEND ANY ITEMS FROM HORIZONTAL BRIDGING, X-BRACING, PIPING AND CONDUITS, OR ANY WORK BY OTHER TRADES.
13. CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN MECHANICAL DWGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL AND TILE WORK, CEILINGS OR WALLS.
14. ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED. I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED AND FIRE RATED. EXPOSED GYPSUM BOARD TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
15. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENT ISSUE OF THE ADA/ANSI 2010 STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
16. DIMENSIONS ARE PROVIDED FOR LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
17. DO NOT SCALE DRAWINGS. IF THE G.C. FINDS A CONFLICT IN THE INFORMATION, NOTIFY OWNER FOR CLARIFICATION
18. FOR ALL BIDDING/CONSTRUCTION QUESTIONS, CONTACT THE OWNER. DO NOT CONTACT THE ARCHITECT OR ENGINEERS.



THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SIMILARITIES TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC. AND ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

**KEN LINGAFELT
PLANK & BARREL**
2128 SADLER Rd., FERNANDINA BEACH, FLORIDA

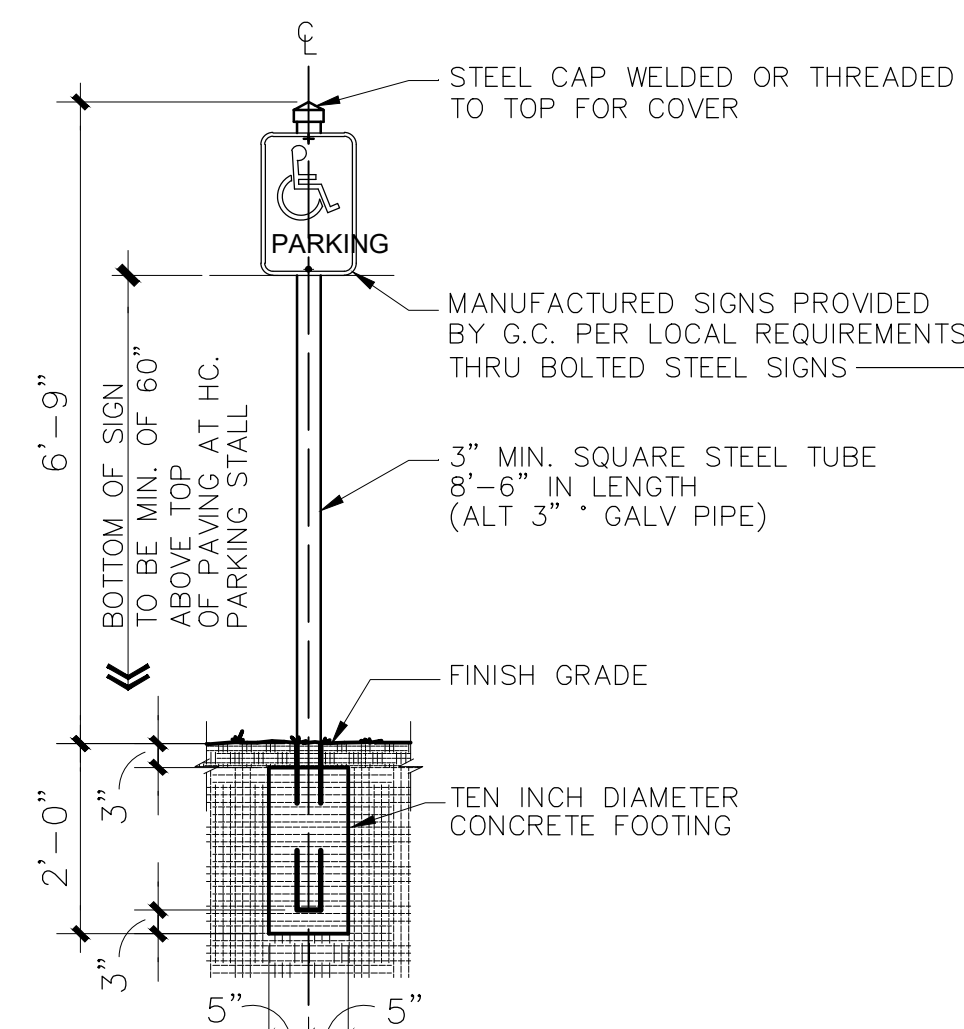
CONSULTANT



DO NOT SCALE THE DRAWINGS	
5TH REVISION	
4TH REVISION	
3RD REVISION	
2ND REVISION	
1ST REVISION	
ISSUE DATE	9-3-2024
PROJECT NUMBER	000

COVER SHEET

A-0

 GENERAL NOTES

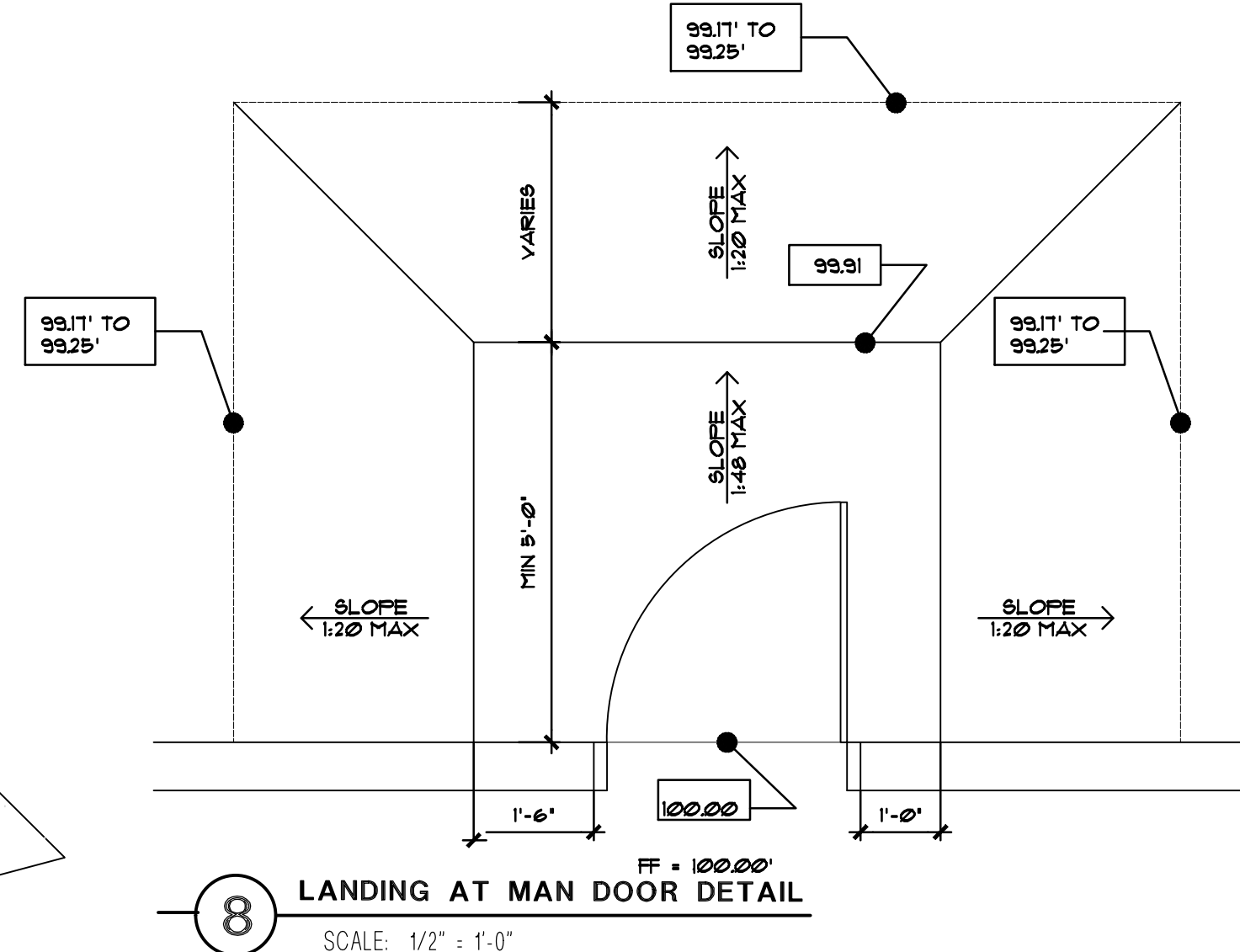
DRIVEWAY CURB AND PAVING NOTES

HANDICAP SIGN

SCALE: 1/2" = 1'-0"

NOTE:

1. REF: CIVIL FOR SITE PAVEMENT ELEVS PRIOR TO BEGINNING WARP UP TO DOOR
2. PAVING TO WARP UP WITHOUT SEAMS TO ACHIEVE REQUIRED SLOPES.

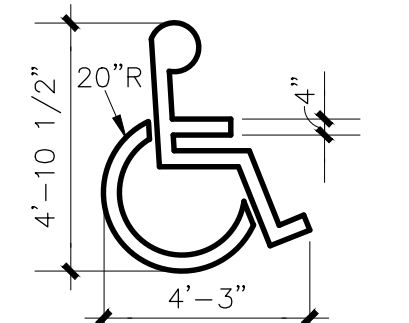


GENERAL NOTES

1. BASE INFORMATION WAS TAKEN FROM PROPERTY DESCRIPTION PLANS ON THIS PAGE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ALIGN WITH EXISTING FEATURES.
2. SMOOTH TRANSITION IS REQUIRED BETWEEN ALL EXISTING AND NEW PAVEMENTS.
3. ROADWAY AND ACCESS CLEARANCES ARE SHOWN TO FACE OF CURB AND END OF PARKING SPACES. ALL PARKING SPACES ARE AS SHOWN BY CIVIL.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGED IN COMPLIANCE WITH LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. THE LIGHTING ON THE SITE SHALL COMPLY WITH THE LOCAL ZONING ORDINANCE AND STATE ENERGY CODE AS REQUIRED.
6. THE DUMPSTER IS TO BE ENCLOSED WITH MASONRY WALLS TO MATCH THE BUILDING EXTERIOR. THE ENCLOSURE GATES SHALL BE OPAQUE AND CONSTRUCTED OF PAINTED STEEL FRAME AND STEEL PANELS. SEE A1.1 FOR MORE INFORMATION ON DUMPSTER ENCLOSURE AND BUILDING EXTERIOR.
7. ALL OFF SITE EASEMENTS MUST BE FILED PRIOR TO START OF CONSTRUCTION.
8. IRRIGATION SYSTEM SHALL BE PROVIDED AND INCLUDED IN THE BASE BID. THE REQUIRED AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL HAVE SEPARATE ZONES FOR LAWN AND PLANT BEDDING AREAS. LAYOUT PER THE MANUFACTURES RECOMMENDATIONS WITH OWNERS APPROVAL REQUIRED.

DRIVEWAY CURB AND PAVING NOTES

1. CIVIL ENGINEERING DRAWING SUPERCEDE INFORMATION ON THIS DRAWING. NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES
2. SIDEWALK, DRIVEWAY, CURB, AND LINE AND GRADE SHALL BE SET BY CIVIL ENGINEER.
3. SIDEWALKS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
4. DRIVEWAYS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
5. CURB AND GUTTER SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
6. PROVIDE 1/2" EXPANSION MATERIAL AT INTERVALS OF 20'-0" (MAXIMUM) THROUGHOUT ENTIRE LENGTH OF SIDEWALK.
7. PROVIDE 1/2" EXPANSION MATERIAL BETWEEN WHERE SIDEWALKS ABUT TO A FIRE HYDRANT OR UTILITY POLE.
8. IN THE EVENT THAT MORE THAN ONE DRIVEWAY IS CONSTRUCTED FOR ACCESSING THE PROPERTY FROM THE SAME STREET APPROACH, MAINTAIN MINIMUM SEPARATION BETWEEN DRIVES AS REQUIRED BY LOCAL ZONING ORDINANCE, TRAFFIC AND TRANSPORTATION REGULATIONS, AND/OR BUILDING CODE.
9. SURFACE BETWEEN DRIVEWAYS, FROM TOP OF CURB TO SIDEWALK AND FROM SIDEWALK TO PROPERTY LINE MAY BE EITHER CONCRETE OR DIRT, OR AS REQUIRED BY ORDINANCE AND CODES AS MADE REFERENCE TO IN #8 ABOVE.



**HANDICAP SYMBOL
PAINTED ON PAVEMENT**

SCALE: 1/4" = 1'-0"

**KEN LINGAFELT
PLANK & BARREL**
2128 SADLER RD., FERNANDINA BEACH, FLORIDA

CONSULTANT

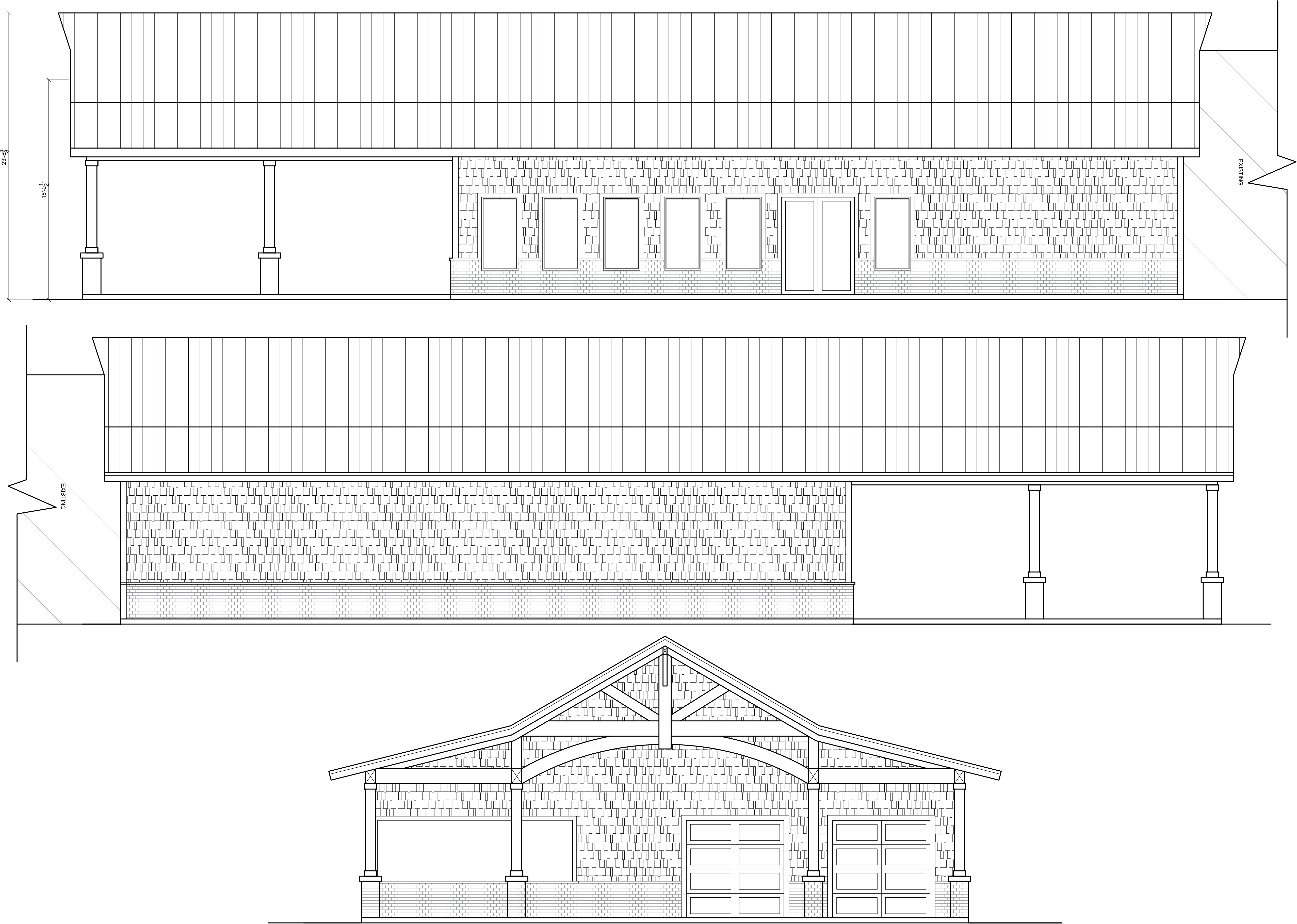
SIGNATURE/SEAL
ENGINEER INFO
VINCENT SEIBOLD PE 48288
1015 ATLANTIC BLVD. #128
ATLANTIC BEACH, FL. 32233



DO NOT SCALE THE DRAWINGS	
5TH REVISION	
4TH REVISION	
3RD REVISION	
2ND REVISION	
1ST REVISION	
ISSUE DATE	8-1-2023
PROJECT NUMBER	0001

SITE PLAN

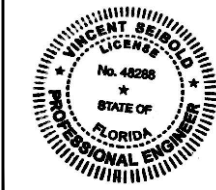
A-1



KEN LINGAFELT
PLANK & BARREL
2128 SADLER RD., FERNANDINA BEACH, FLORIDA

CONSULTANT

SIGNATURE/SEAL
ENGINEER IN CHARGE
VINCENT SEIBOLD, P.E. 48288
1800 N. W. 10TH AVE. SUITE 100
ATLANTIC BEACH, FL 32233



DO NOT SCALE THE DRAWINGS

1ST REVISION	
2ND REVISION	
3RD REVISION	
4TH REVISION	
5TH REVISION	
6TH REVISION	
7TH REVISION	
8TH REVISION	
9TH REVISION	
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41ST REVISION	
42ND REVISION	
43RD REVISION	
44TH REVISION	
45TH REVISION	
46TH REVISION	
47TH REVISION	
48TH REVISION	
49TH REVISION	
50TH REVISION	

ISSUE DATE 8-1-2023
PROJECT NUMBER 000

ELEVATIONS

From: noreply@civicplus.com
To: [TRC Info](#)
Subject: Online Form Submittal: Technical Review Committee (TRC): First Step Review Request
Date: Monday, March 2, 2026 12:55:13 PM

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender, were expecting this email, and know the content is safe.

Technical Review Committee (TRC): First Step Review Request

Technical Review Committee (TRC) First Step Review
USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. First Step reviews are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The First Step review is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

Fees
None

IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use will require a First Step Review as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

****Please note that First Step items are reviewed as Discussion Items at the beginning of each TRC meeting followed by Formal Review items.****

Please see the Land Development Code (LDC) for detailed information:	<i>Field not completed.</i>
The LDC is available for review at	www.fbfl.us/LDC
Application Requirements	<i>Field not completed.</i>
PROPERTY INFORMATION	Property information can be found at the Nassau County Property Appraiser's Website → Map Search
Site Address	2728 SADLER RD
City	Fernandina Beach
State	FL
Zip	32034
Parcel ID #(s)	00-00-30-0600-0002-0020
Lot	Lot 2
Block	BLOCK 2 W93.75 FT
Subdivision	<i>Field not completed.</i>
Zoning District	C-1
Future Land Use Designation	General Commercial
Overlay District	None
Size of Property (acres)	.86
Present Property Use	2100: RESTAURANTS/CAFE
Wetlands	No
Flood Zone	X, 0.2 % chance flood hazard
Coastal Construction Control Line (CCCL)	No

CONTACT INFORMATION

Applicant or interested party who will be present at the meeting.

First Name	Ken
Last Name	Lingafelt
Company (if applicable)	<i>Field not completed.</i>
Telephone Number	704-467-0981
E-mail Address	kenlingafelt@gmail.com

PROJECT INFORMATION

Project Name	Plank & Barrel
Project Type	Commercial
Please choose your preferred method of conducting your First Step Review	In-person (at City Hall Chambers, 204 Ash St.)

Project Description	EXECUTIVE SUMMARY Plank & Barrel represents the reinvestment and transformation of the former Atlantic Seafood property located at 2128 Sadler Rd., Fernandina Beach, Florida, into a refined coastal dining destination. The project elevates an existing restaurant use while remaining compliant, pedestrian-friendly, and community-oriented. • Renovation of existing structure into reservation-preferred bourbon and fine dining room • Construction of new 40' x 90' cathedral gable addition • 40' x 60' indoor dining space • 40' x 30' covered outdoor dining space • Operable garage doors between indoor and outdoor areas PROJECT NARRATIVE Plank & Barrel represents the thoughtful reinvestment and transformation of the existing restaurant property at 2128 Sadler Rd., Fernandina Beach, Florida. We are not intensifying the use — we are elevating it. Restoration of Existing Structure The existing building will be cosmetically renovated into a reservation-preferred bourbon and fine dining room. It will operate as a seated-service environment with
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acoustical separation to preserve a refined dining experience.

New 40' x 90' Cathedral Addition

The addition includes a 40' x 60' indoor dining room and a 40' x 30' covered outdoor dining space.

Operable garage doors allow seasonal flexibility while maintaining operational control.

Live Music & Compliance

Plank & Barrel will feature occasional live music within the covered outdoor dining area. All music will remain fully compliant with the City's 11:00 PM limitation and applicable sound regulations. Management will actively monitor sound levels to ensure ongoing compliance.

Pedestrian-Oriented Location

The property is located steps from the Atlantic Ocean and within walking distance of multiple hotels.

Guests are encouraged to park at their hotel and walk to dinner, supporting pedestrian activity and reducing traffic circulation.

Community Commitment

Adjacent to the property is Dairy Queen, a longstanding family-oriented establishment. Plank & Barrel intends to complement surrounding businesses and operate as a responsible member of the community.

Community & Economic Contribution

The project revitalizes an existing restaurant property, increases private investment, creates year-round employment opportunities, and enhances the hospitality standard along the beach corridor.

Proposed Access Road	Sadler Road
Rd Maintenance Jurisdiction	City Maintained
Certification	By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application., I acknowledge that I understand and have complied with all of the submittal requirements and procedures.
Applicant First Name	Kenneth
Applicant Last Name	Lingafelt

Today's Date	3/2/2026
Upload Supporting Documentation	Drawing Ethan 2728 Sadler Rd -.pdf
Upload 2	<i>Field not completed.</i>
Upload 3	<i>Field not completed.</i>
Upload 4	<i>Field not completed.</i>
Upload 5	<i>Field not completed.</i>
DEPARTMENT OF PLANNING & CONSERVATION 204 Ash Street Fernandina Beach, Florida 32034 904 310-3480 www.fbfl.us/planning	

Email not displaying correctly? [View it in your browser.](#)

From: noreply@civicplus.com
To: [TRC Info](#)
Subject: Online Form Submittal: Technical Review Committee (TRC): First Step Review Request
Date: Wednesday, March 4, 2026 12:47:35 PM

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender, were expecting this email, and know the content is safe.

Technical Review Committee (TRC): First Step Review Request

Technical Review Committee (TRC) First Step Review
USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. First Step reviews are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The First Step review is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

Fees
None

IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use will require a First Step Review as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

****Please note that First Step items are reviewed as Discussion Items at the beginning of each TRC meeting followed by Formal Review items.****

Please see the Land Development Code (LDC) for detailed information:	Local Development Orders for a Change of Use – see LDC Section 11.00.05
The LDC is available for review at	www.fbfl.us/LDC
Application Requirements	A complete application., Site plans or scaled drawings; , Any other files that illustrate the proposed project; and, A signed and notarized Agent Authorization form (if applicable).
PROPERTY INFORMATION	Property information can be found at the Nassau County Property Appraiser's Website → Map Search
Site Address	2477 Sadler rd
City	Fernandina
State	FL
Zip	32097
Parcel ID #(s)	00-00-30-0600-0001-0080
Lot	<i>Field not completed.</i>
Block	<i>Field not completed.</i>
Subdivision	<i>Field not completed.</i>
Zoning District	C-1
Future Land Use Designation	General Commercial
Overlay District	None
Size of Property (acres)	.3
Present Property Use	Vacation rental company
Wetlands	No
Flood Zone	X, area of minimal flood hazard
Coastal Construction Control Line (CCCL)	No

CONTACT INFORMATION

Applicant or interested party who will be present at the meeting.

First Name	Kayla
Last Name	Altman
Company (if applicable)	Salty fox tattoo
Telephone Number	904-335-0907
E-mail Address	Kayaltman111@gmail.com

PROJECT INFORMATION

Project Name	Salty fox tattoo
Project Type	Commercial
Please choose your preferred method of conducting your First Step Review	In-person (at City Hall Chambers, 204 Ash St.)

Project Description	Moving salty fox tattoo from 218 ash st. To 2477 Sadler rd. Attached proposed parking
---------------------	---

Proposed Access Road	Sadler rd.
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Rd Maintenance Jurisdiction	City Maintained
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Certification	By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application., I acknowledge that I understand and have complied with all of the submittal requirements and procedures.
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Applicant First Name	Kayla
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Applicant Last Name	Altman
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Today's Date	3/4/2026
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Upload Supporting Documentation	Untitled_Artwork.jpeg
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Upload 2	<i>Field not completed.</i>
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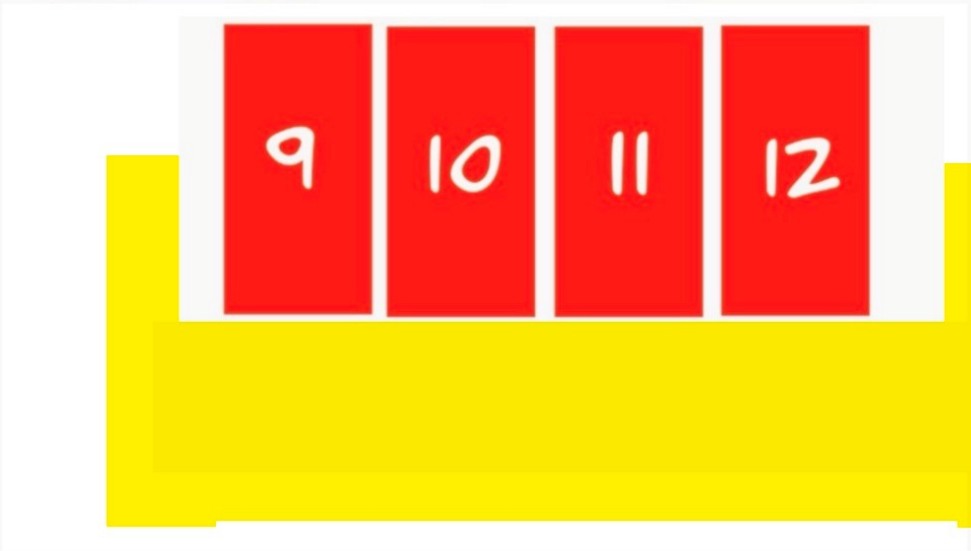
Upload 3 *Field not completed.*

Upload 4 *Field not completed.*

Upload 5 *Field not completed.*

DEPARTMENT OF PLANNING & CONSERVATION
204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |
www.fbfl.us/planning

Email not displaying correctly? [View it in your browser.](#)





Paul Nolan
Concierge Amelia LLC
86095 Courtney Isles way Apt. 5206
Yulee, FL 32097

Sent Via Email to Project Team: paulnolan.personal@gmail.com

Applicant Name: **Paul Nolan, Concierge LLC**
Project Description: **Sadler Rd Gym**
Location: 2423 Sadler Rd
PIN(s): 00-00-30-0600-0001-0097
TRC Case Number: **TRC 2026-0002**

Mr. Nolan,

The City of Fernandina Beach received your request for site plan review on February 5th, 2026. All submitted documents provided were routed to the Technical Review Committee (TRC). The comments provided as part of this site plan review are valid for six months from the date of issuance.

Kindly prepare the response documents to address every comment in a narrative format, along with an updated site plan 2 weeks ahead of the desired TRC meeting so they can be circulated to staff. If you wish to discuss the comments with the Committee, you may attend the March 12th or March 26th TRC meetings. This project is currently scheduled to appear on the March 12th agenda. All reviewers will be present to discuss any questions you have concerning the comments provided herein.

If you have any questions, please contact us at TRCinfo@fbfl.city or 904-310-3480.

Sincerely,
TRC Coordinator



TRC Reviewers: After reviewing proposed plans...

- If you have comments that need to be addressed in a resubmittal, please check the first box and enter comments in the bulletized list, **or**
- If you have no comments or the applicant has satisfactorily addressed all of your previous comments, please check the second box. This is your “sign off” for issuance of the Local Development Order (LDO) once all departments have signed off.
- Add name of reviewer and today’s date

1ST ROUND REVIEW COMMENTS:**PLANNING**

☒ The Planning Department has reviewed the submittal and noted the following comments:

South side of property is a Buffer Type C. please demonstrate compliance on a landscape plan with retained and planted understory trees and shade trees. Please show where 18 required native shade trees will be retained or/and planted for compliance with LDC 4.05.06(B), Site plan shows trees planted but not labeled. Please submit on landscape plan compliance with LDC 4.05.07(C)1 and 6 with parking lot perimeter plantings and trees. Dn 2/25/26

Maximum impervious cover may not exceed 60% per LDC Table 4.02.01(J) Design Standards for Lots.

Parking required is 17 spaces based on 1 space per 300 sf. Please revise the property information table to reflect this.

Please indicate difference in what exists and proposed improvements.

OR

☐ All previous comments have been addressed and the Department of Planning & Conservation approves issuance of a local development order.

Name of Reviewer: Planning Staff

Today’s Date: Thursday, March 5, 2026

BUILDING

☐ The Building Department has reviewed the submittal and noted the following comments:

The building department has no comments at this time.

OR

☒ All previous comments have been addressed, and the Building Department approves issuance of a local development order.

Name of Reviewer: Building Department

Today’s Date: Thursday, March 5, 2026

UTILITIES & STORMWATER



- ☒ The Utilities and Stormwater Department has reviewed the submittal and noted the following comments:
- Will need to know the meter size for the property.
 - Backflow preventors are required for all waterlines to the building.
 - Please provide evidence that the stormwater retention is sufficient for both parcels it services.
 - Please ensure there is an agreement with the other property that you can use the lift station. Otherwise, you will need to have a new service.

OR

- ☐ All previous comments have been addressed and the Public Works Department approves issuance of a local development order.

Name of Reviewer: Victoria Guadagnino

Today's Date: Wednesday, March 4, 2026

PUBLIC OPERATIONS

- ☒ The Public Works/Operations Department has reviewed the submittal and noted the following comments:

Will trash removal be from the Amelia Trace driveway.

Show screening for trash totes.

No ADA parking shown on site plan.

Coordinate with Nassau County for right-of-way improvements.

OR

- ☐ All previous comments have been addressed and the Public Works Department approves issuance of a local development order.

Name of Reviewer: Cathy Sabattini

Today's Date: Tuesday, February 24, 2026

CODE ENFORCEMENT

- ☐ The Code Enforcement Department has reviewed the submittal and noted the following comments:

Public Works covered the trash issues.

OR

- ☒ All previous comments have been addressed and the Code Enforcement Department approves issuance of a local development order.

Name of Reviewer: Michelle Forstrom

Today's Date: Thursday, March 5, 2026



FIRE

☐ The Fire Department has reviewed the submittal and noted the following comments:

OR

☒ All previous comments have been addressed and the Fire Department approves issuance of a local development order.

Name of Reviewer: Jason Higginbotham

Today's Date: Wednesday, February 25, 2026

From: noreply@civicplus.com
To: [TRC Info](#)
Subject: Online Form Submittal: Technical Review Committee: Formal Review Request
Date: Wednesday, February 4, 2026 2:25:05 PM

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender, were expecting this email, and know the content is safe.

Technical Review Committee: Formal Review Request

Technical Review Committee: Formal Review

USE THIS FORM TO To apply for review of site plans, preliminary subdivision plats, final subdivision plats, minor subdivisions, and amendments to previously issued local development orders, change of use, and nonresidential building expansions.

Fees	Initial submittal + two resubmittals of full site plans. \$400 + 2% of the project construction cost (whichever is greater) for up to a maximum of \$4,400.
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IMPORTANT NOTES

This application will be routed to the various departments for review of the applicable codes and design standards.

****Please note that, unless otherwise indicated, TRC meetings are scheduled as follows:**

The 2nd and 4th Thursday of each month at 10:00 AM in the City Hall Chambers located at 204 Ash Street.

Agenda order includes First Step Reviews followed by Formal Reviews.**

Please see the Land Development Code (LDC) for detailed information:	<i>Field not completed.</i>
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The LDC is available for review at	www.fbfl.us/LDC
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Application Requirements	See Development Plan Submittal Checklist, All applications are subject to a determination of completeness as required by Land Development Code section 11.03.01. , A determination of completeness is a determination that all required documents and
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plans have been submitted, and whether all fees have been paid., A determination of completeness is not a determination of compliance with substantive standards and criteria.

Key Contacts

TRC will guide your application from start to finish, engaging other City departments as needed.

PROJECT INFORMATION

Submission Type	Initial Submittal
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NOTICE

3rd and all subsequent resubmittals will be charged a fee of 1/2 the original application fees.

DATE OF YOUR FIRST STEP REVIEW (if you have not attended a First Step Review, return to the application page and choose the TRC First Step Review application)	2/4/2026
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PROPERTY INFORMATION	Property information can be found at the Nassau County Property Appraiser's Website → Map Search
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Site Address	2423 Sadler Road
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City	Fernandina Beach
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State	FL
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Zip	32034
-----	-------

Parcel ID #(s)	00-00-30-0600-0001-0097
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Lot	<i>Field not completed.</i>
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Block	<i>Field not completed.</i>
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Subdivision	<i>Field not completed.</i>
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Zoning District	<i>Field not completed.</i>
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Future Land Use Designation	General Commercial
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Overlay District	None
Size of Property (acres)	0.63
Present Property Use	Commercial
Wetlands	No
Flood Zone	X, area of minimal flood hazard
Coastal Construction Control Line (CCCL)	No
OWNER OF RECORD	
<i>As recorded with the Nassau County Property Appraiser</i>	
First Name	Paul
Last Name	Nolan
Company (if applicable)	Concierge Amelia LLC
Mailing Address	86095 COURTNEY ISLES WAY APT 5206
City	Yulee
State	FL
Zip	32097
Telephone Number	9043222900
Email Address	paulnolan.personal@gmail.com
OWNER'S AGENT	
If other than owner. If an agent will be representing the owner, an <u>Owner's Authorization For Agent Representation form</u> must be included.	
First Name	Dylan
Last Name	Parker
Company (if applicable)	parker Contracting
Mailing Address	109 Readdick Avenue

City	Kingsland
State	GA
Zip	31548
Telephone Number	912-322-5516
Email Address	jmcidill@mcdill2d.com
PROJECT INFORMATION	
Project Type	Site Plan Review
Project Name	Sadler Gym
Proposed Access Road	Sadler Road
Rd Maintenance Jurisdiction	County Maintained
Project Estimated Cost	1000000
Description of Request	Site plan review/approval for previous permitted / "Pad Ready" Commercial building site. Existing parking lot and drainage have been previously designed and permitted - this site plan review is for building location and to ensure compliance with the LDC. This project and site plan was reviewed late 2025 - the submittal is to show updated site plan and compliance based on the comments from that meeting.
Site Plan Review Checklist	The names, address, telephone number, and email address of the person preparing the plan., The date of preparation and date(s) of any modifications, a north arrow, and a written and graphic scale., The legal description of the property, consistent with the required survey., A vicinity map showing the location of the property., A topographic survey, soils report, grading plan, and an erosion control plan., The name, plat book, and page number of any recorded subdivision comprising all or part of the site., The location and use of any existing and proposed principal or accessory buildings and structures, showing proposed setbacks, building heights, and other dimensional requirements of the zoning distr, Elevations of all proposed structures., The access points, driveway design, on-site parking, including required parking lot landscaping, internal circulation, sidewalks, and bicycle facilities, The location of existing and proposed utilities, utility services, and easements., A tree survey showing protected trees, proposed replacement trees, if required, and landscaping and buffering. (See Section 4.05.00.), o Land use category from the Future Land Use Map in the comprehensive plan;, o Zoning district;, o Total acreage;, o Total square footage

for non-residential uses;; o Impervious surface ratio calculation, proposed and permissible;; o Floor area ratio calculation, proposed and permissible;; o Total number of parking spaces, required and provided; and, o Number of trees required to be protected, number of trees remaining on the site, and number of trees to be planted., o Landscape Plan (Section 4.05.00.), o Signage Plan (Section 5.03.00.), o Proof of Ownership – provide a legal description, Property Identification Number (PIN) and a copy of the warranty deed.

School Concurrency

New residential development is required to demonstrate compliance with school concurrency as regulated in the City of Fernandina Beach through the City of Fernandina Beach's Comprehensive Plan Intergovernmental Coordination Element and the Interlocal Agreement Amendment for Public School Facility Planning adopted by the City on May 21, 2019. No new residential rezoning, preliminary plat, site plan or functional equivalent may be approved by the City unless the residential development is exempt from requirements outlined in Section 9.13 of the Amended Interlocal Agreement OR a School Concurrency Reservation Letter has been issued by the School Board indicating that adequate school facilities exist.

Certification

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. , I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

Applicant First Name

Paul

Applicant Last Name

Nolan

Today's Date

2/4/2026

Upload Supporting Documentation

[25079 2423 Sadler Road Gym 1292026 Site Plan.pdf](#)

Upload 2

[25079 2423 Sadler Road Gym 1292026 Grading.pdf](#)

Upload 3

[09102025_OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION.pdf](#)

Upload 4

[BOUNDARY SURVEY 2423 SADLER ROAD.pdf](#)

Upload 5

[FEMA Map.png](#)

Upload 6

Field not completed.

Upload 7

Field not completed.

DEPARTMENT OF PLANNING & CONSERVATION

204 Ash Street | Fernandina Beach, FL 32034 | 904 310-3480 |

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OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Paul Nolan of Convergence Amelia
(print name of property owner(s))

hereby authorize: Dylan Parker
(print name of agent)

to represent me/us in processing an application for: _____
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Paul Nolan
(Signature of owner)

(Signature of owner)

PAUL NOLAN
(Print name of owner)

(Print name of owner)

STATE OF FLORIDA

COUNTY OF NASSAU

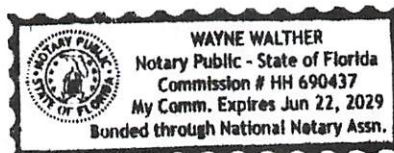
Sworn to (or affirmed) and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 10th day
of SEPTEMBER, 2025, by PAUL NOLAN.

Wayne Walther
Notary Public

WAYNE WALTHER
Printed Name

6-22-29
My Commission Expires

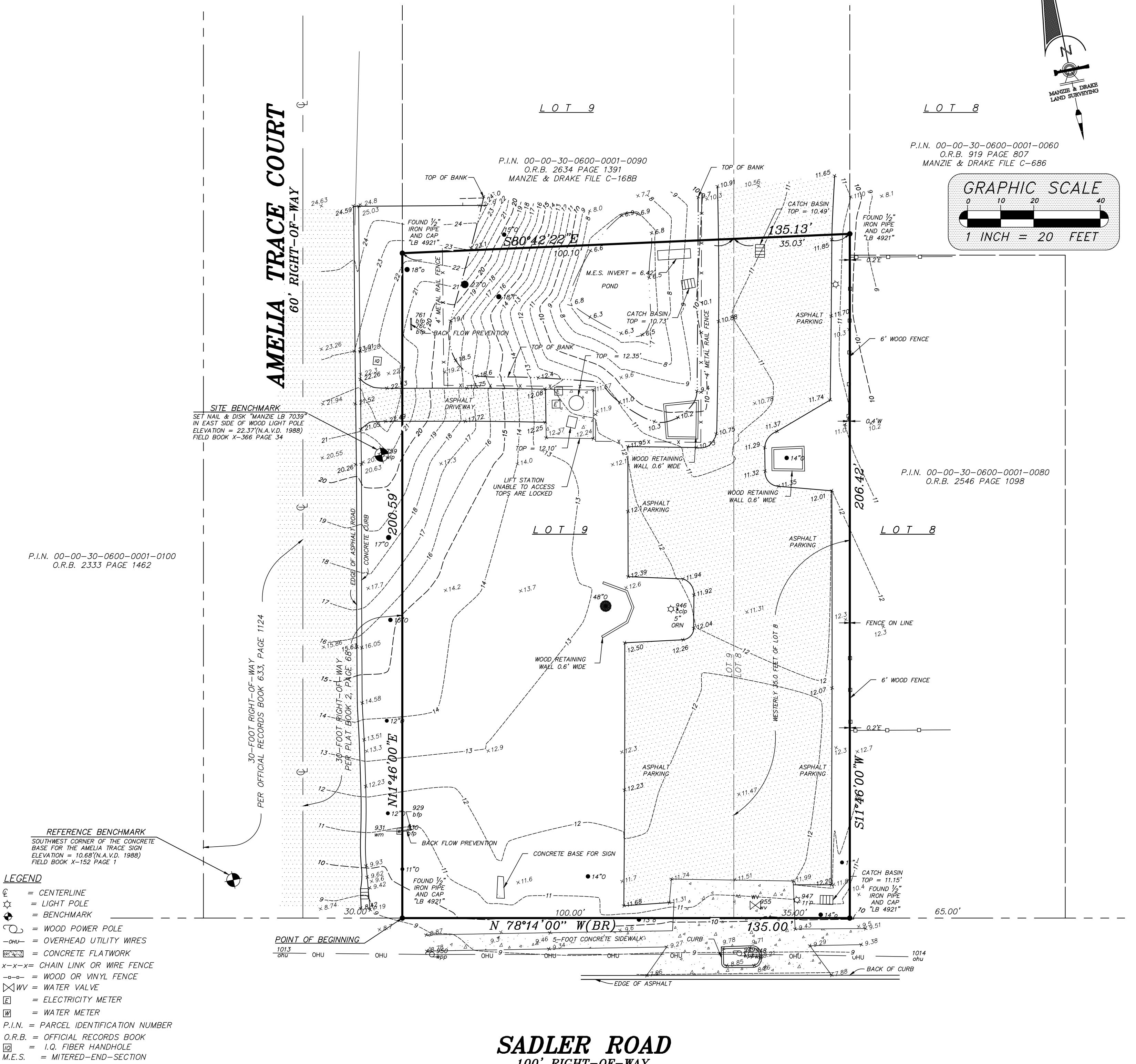
Personally Known ☒ OR Produced Identification _____ ID Produced: _____



OFFICIAL RECORDS BOOK 1331, PAGE 300

PORTION OF LOTS 8 & 9 SADLER ESTATES, AS RECORDED IN PLAT BOOK 2, PAGE 58 OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 9; THENCE NORTH 11°46'00" EAST, ALONG THE WEST LINE OF SAID LOT 9, A DISTANCE OF 200.59 FEET; THENCE SOUTH 80°42'22" EAST, A DISTANCE OF 135.13 FEET TO INTERSECT OF THE EASTERLY LINE OF THE WESTERLY 35.00 FEET OF SAID LOT 8; THENCE SOUTH 11°46'00" WEST, ALONG THE EASTERLY LINE OF THE WESTERLY 35.00 FEET OF SAID LOT 8, A DISTANCE OF 206.42 FEET TO INTERSECT OF THE SOUTHERLY LINE OF SAID LOT 8 AND THE NORTHERLY RIGHT-OF-WAY LINE OF SADLER ROAD; THENCE NORTH 78°14'00" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 8 AND 9, ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SADLER ROAD, A DISTANCE OF 135.00 FEET TO THE POINT OF BEGINNING.



TREE LEGEND

O = OAK TREE
ORN = ORNAMENTAL TREE

TREE DISCLAIMER:
NUMBER OF TREES SHOWN ON SURVEY: 16

SPECIES OF TREES HAVE BEEN IDENTIFIED TO THE BEST OF OUR KNOWLEDGE AND BELIEF; HOWEVER MANZIE & DRAKE LAND SURVEYING WILL ASSUME NO LIABILITY, EXPRESSED OR IMPLIED, FOR THE CORRECTNESS OF SAID SPECIES IDENTIFICATION.

TREES HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS AND HAVE A POSITIONAL TOLERANCE OF APPROXIMATELY 2 TO 3 FEET. CRITICAL TREES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

SURVEY NOTES:

- 1) Unless it bears the original signature and the original raised seal of a Florida licensed Surveyor and Mapper or Validated Digital Signature by a Florida licensed Surveyor and Mapper, this map/report is for informational purposes only and is not valid.
- 2) The "Legal Description" hereon is in accord with the description provided by the client
- 3) Underground Improvements were not located or shown.
- 4) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
- 5) Bearings shown hereon are based on N74°14'00"W for the northerly right-of-way line of Sadler Road . The bearing reference line is indicated as thus (BR).
- 6) The property shown hereon lies within flood zone "X" per the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) panel 12089C 0239G, dated 08/02/2017.
- 7) Site Benchmark is as shown hereon.
- 8) Elevations shown hereon refer to North American Vertical Datum of 1988. (N.A.V.D. '88)
- 9) The Reference Benchmark is the southwest corner of Amelia Trace concrete sign base.
(Elevation = 10.68 N.A.V.D. 1988)

CERTIFIED TO:
PLANTATION DEVELOPMENT, LLC

PROPERTY ADDRESS :
2423 SADLER ROAD
FERNANDINA BEACH, FLORIDA 32034

SADLER ROAD
100' RIGHT-OF-WAY

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

MICHAEL A. MANZIE, P.L.S. 4069

MANZIE & DRAKE LAND SURVEYING

117 South Ninth Street, Fernandina Beach, FL 32034
(904) 491-5700 www.ManzieAndDrake.com
Certificate of Authorization Number "LB 7039"

"OUR *SIGHTS* ARE ON THE FUTURE, SET YOUR *SITES* ON US."

SCALE: 1"=20' JOB NO: 15699 DATE: 01/20/2025 CADD: G.SPIKES

F.B. NO: X-366 PAGE NO: 34 CREW: S.SHORES FILE NO: B-2057

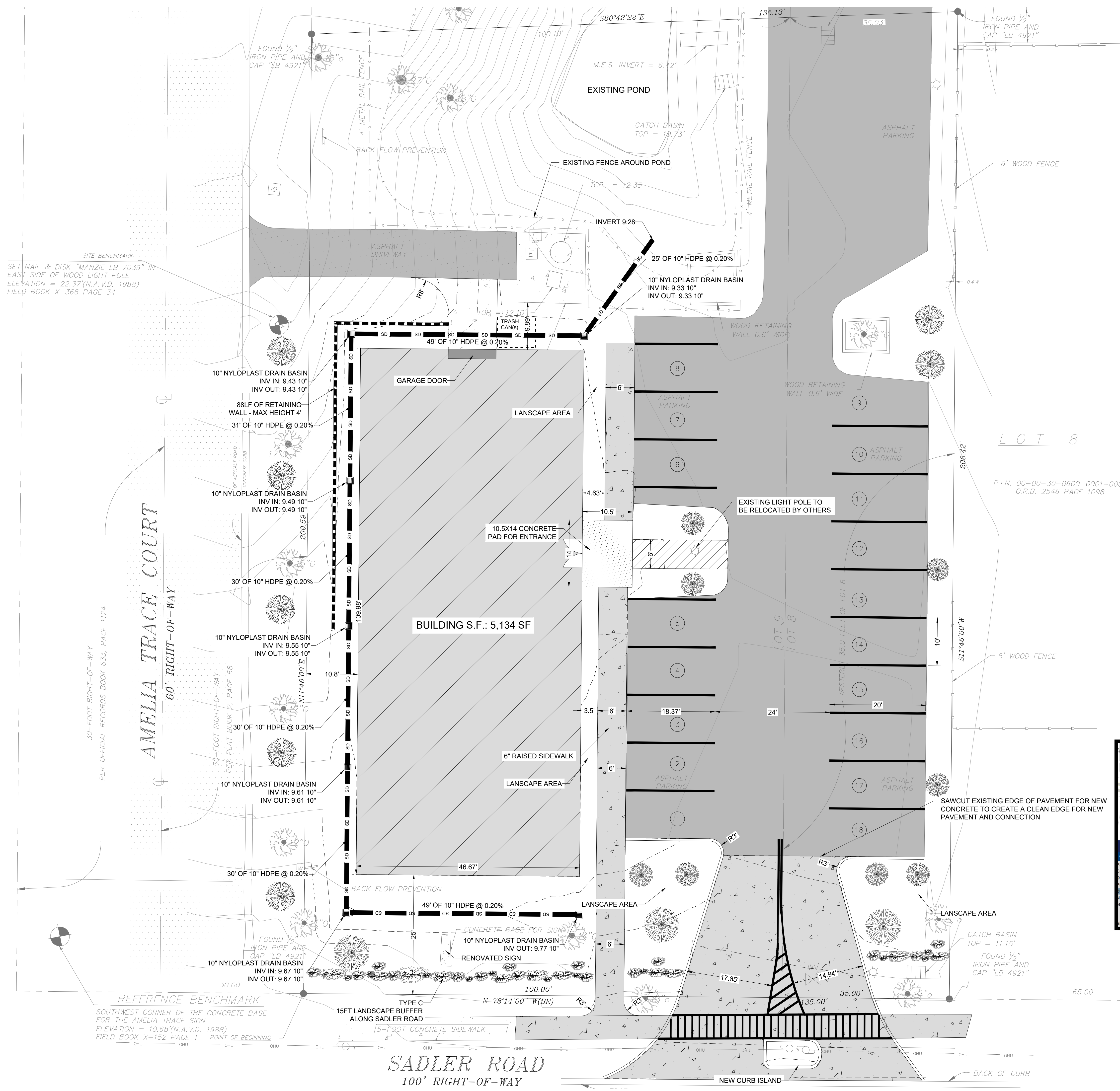
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(6)

CITY OF FERNANDINA BEACH
120172

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12089C0239G
eff. 8/2/2017

Zone AE
(EL 6)

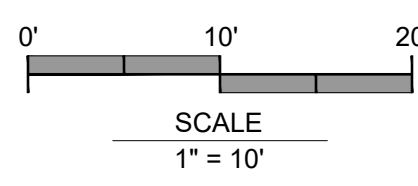
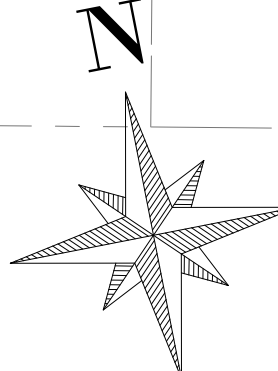
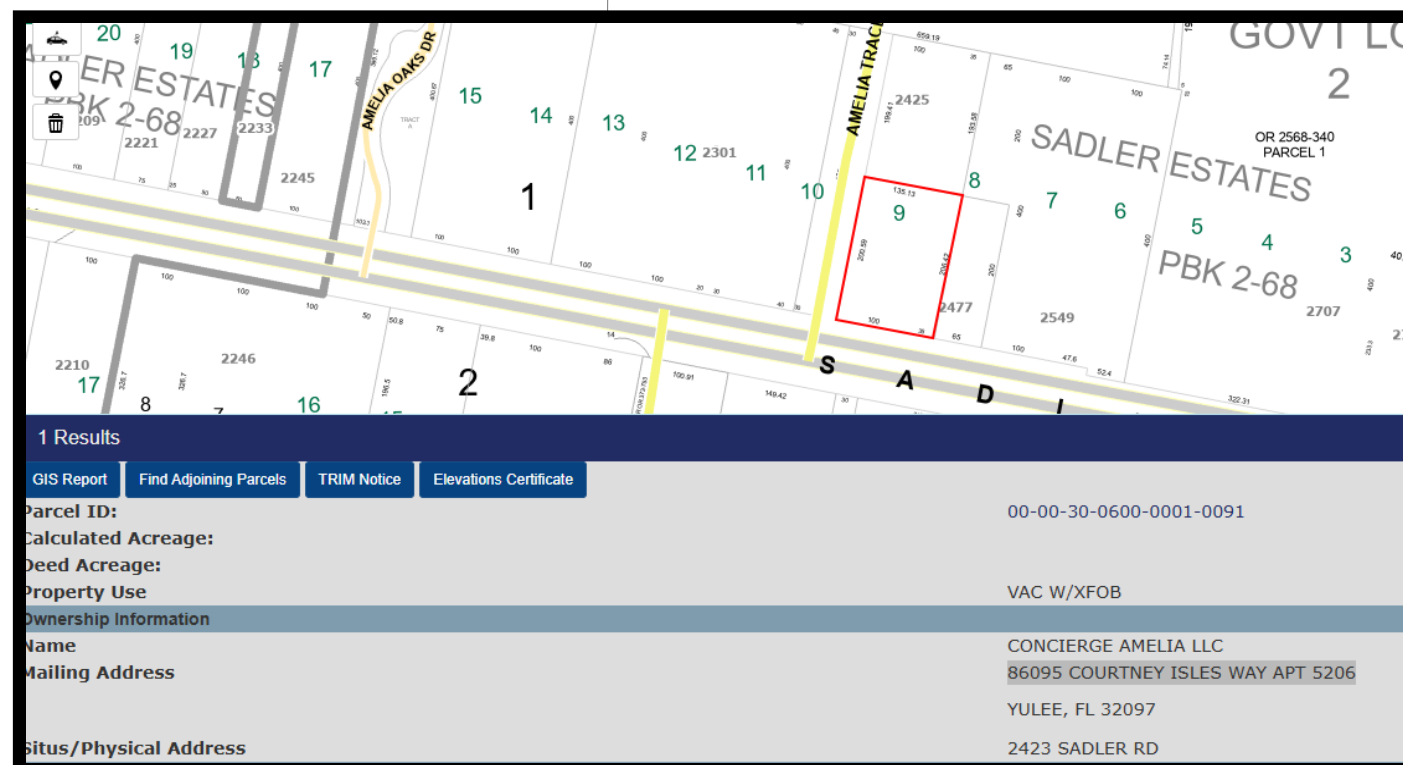


PROPERTY INFORMATION	
PARCEL NUMBER:	00-00-30-0600-0001-0091
PARKING REQUIREMENTS:	1 SPACE FOR EVERY 300 SF 3,412 SF / 300 SF = 11.37= 12 SPACES
PARKING PROVIDED:	18 SPACES
PARKING SPACE SIZES:	10' X 20' (TYP.)
LOT ACERAGE:	27.469 SF - 0.63 ACRES
BUILDING COVERAGE:	5,134 SF - 18.69 %
IMPERVIOUS AREA:	18,540 SF - 67.49 %
ZONING:	C-1
SETBACK REQUIREMENTS:	FRONT: NONE
	SIDE: NONE
	REAR: 10 FEET
ELECTRIC SERVICE:	CORNER LOT (SIDE ABUTTING STREET): 10 FEET
	FPL
TRASH:	CURB SIDE PICK UP
OWNER INFORMATION:	PAUL NOLAN
NEW TREES PROVIDED:	18 - TYPE C BUFFER ALONG SADLER ROAD

Table 4.05.12 (B). Types and Plant Requirements for Buffers

Buffer Type	Minimum Width (ft.)	Required Plants per 100 Linear Feet of Property Line
A	10	Two (2) understory trees
B	15	Four (4) understory trees
C	15	Two (2) shade trees Four (4) understory trees Continuous unbroken hedge, planted in a double-staggered row to form a solid visual screen within one (1) year of planting
D	20	Four (4) shade trees Four (4) understory trees A continuous unbroken hedge, planted in a double-staggered row to form a solid visual screen within one (1) year of planting. Retention of native trees and vegetation which meet this requirement shall be considered as part of the buffer.

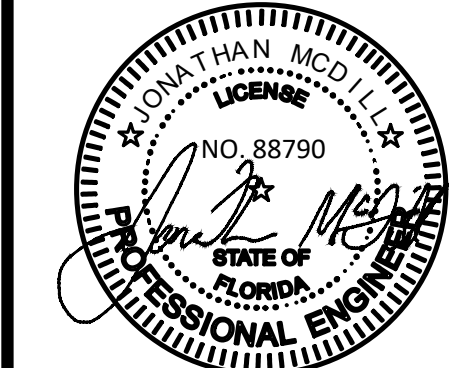
LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED LANDING
	PROPOSED ADA RAMP
	PROPOSED CONCRETE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED ELEVATION
	TOP OF WALL
	PROPOSED WALL
	PROPOSED STRIPING
	PROPOSED STORM PIPE
	PROPOSED NYLOPLAST DRAIN BASIN



SITE PLAN
SPORTS PERFORMANCE BUILDING

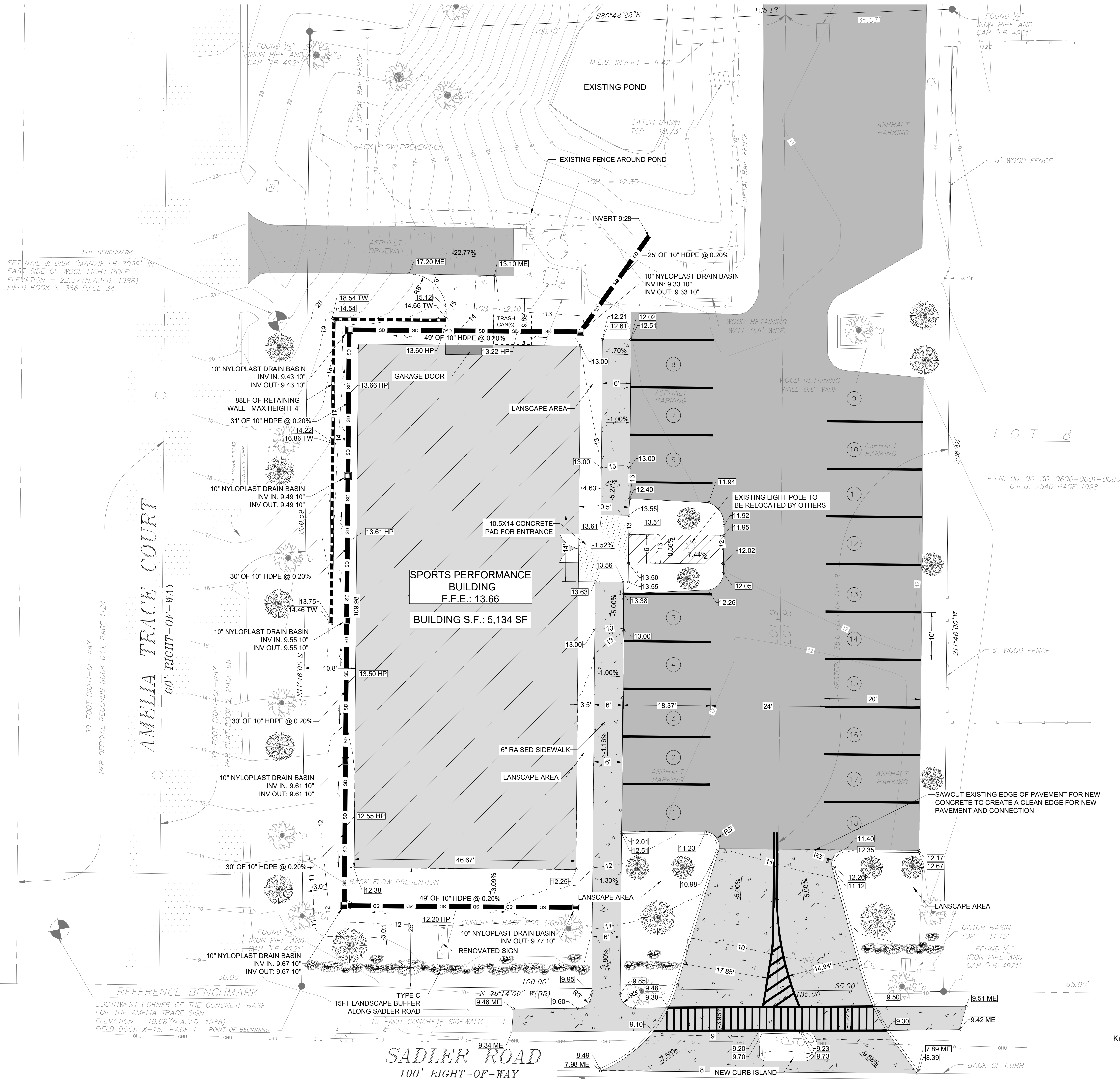
REVISIONS	DESCRIPTION	DATE
NO.		

For Review
01/29/2026 8:50:03 AM



DRAWN BY: JM
CHECKED BY: JM
DATE: 1/29/26
SCALE: 1" = 10'
(FOR SHIP ONLY)

CONTENT: SITE PLAN

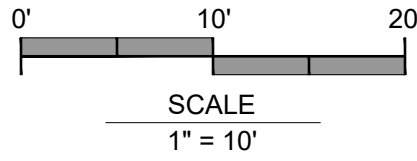
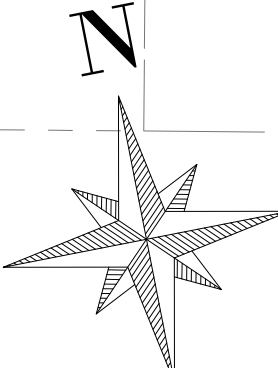
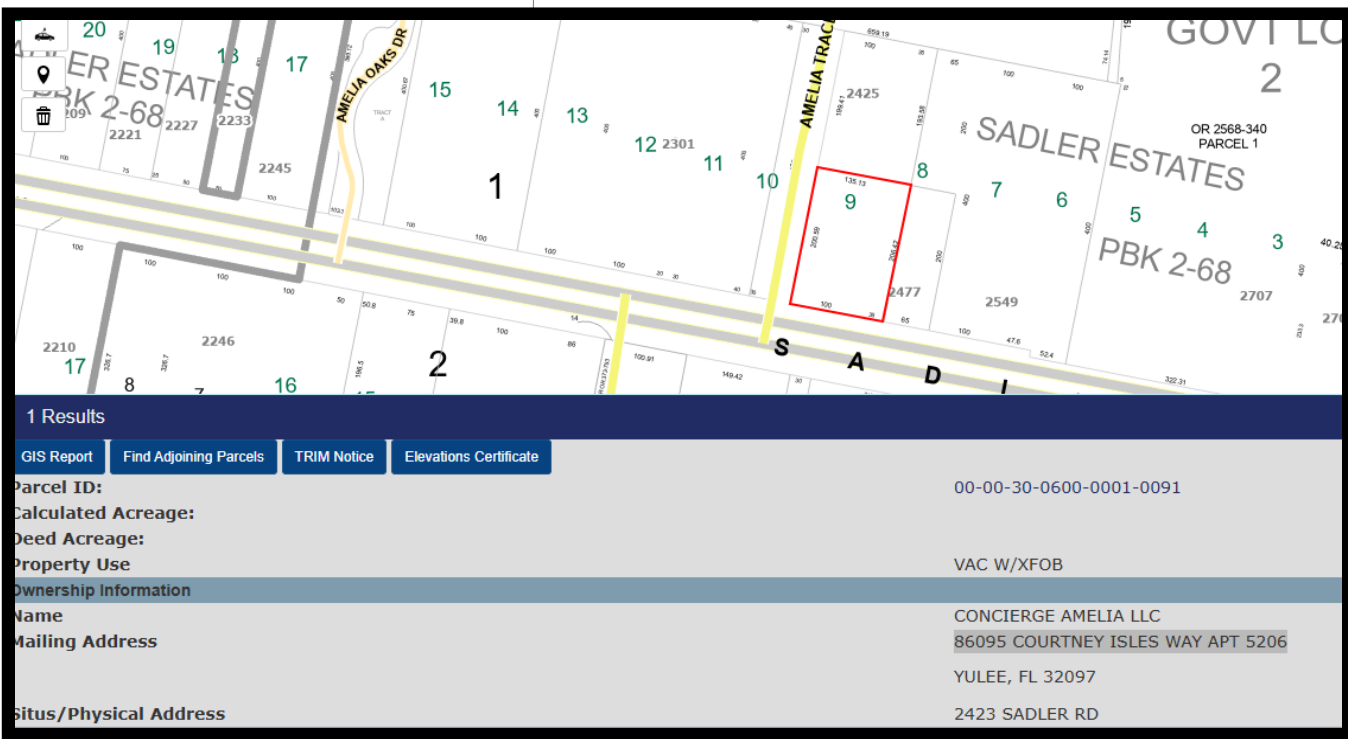


PROPERTY INFORMATION	
PARCEL NUMBER:	00-00-30-0600-0001-0091
PARKING REQUIREMENTS:	1 SPACE FOR EVERY 300 SF 3,412 SF / 300 SF = 11.37= 12 SPACES
PARKING PROVIDED:	18 SPACES
PARKING SPACE SIZES:	10' X 20' (TYP.)
LOT ACERAGE:	27.469 SF - 0.63 ACRES
BUILDING COVERAGE:	5,134 SF - 18.69 %
IMPERVIOUS AREA:	18,540 SF - 67.49 %
ZONING:	C-1
SETBACK REQUIREMENTS:	FRONT: NONE
	SIDE: NONE
	REAR: 10 FEET
ELECTRIC SERVICE:	CORNER LOT (SIDE ABUTTING STREET): 10 FEET
	FPL
TRASH:	CURB SIDE PICK UP
OWNER INFORMATION:	PAUL NOLAN
NEW TREES PROVIDED:	18 - TYPE C BUFFER ALONG SADLER ROAD

Table 4.05.12 (B). Types and Plant Requirements for Buffers

Buffer Type	Minimum Width (ft.)	Required Plants per 100 Linear Feet of Property Line
A	10	Two (2) understory trees
B	15	Four (4) understory trees
C	15	Two (2) shade trees Four (4) understory trees Continuous unbroken hedge, planted in a double-staggered row to form a solid visual screen within one (1) year of planting
D	20	Four (4) shade trees Four (4) understory trees A continuous unbroken hedge, planted in a double-staggered row to form a solid visual screen within one (1) year of planting. Retention of native trees and vegetation which meet this requirement shall be considered as part of the buffer.

LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED LANDING
	PROPOSED ADA RAMP
	PROPOSED CONCRETE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED ELEVATION
	TOP OF WALL
	PROPOSED WALL
	PROPOSED STRIPING
	PROPOSED STORM PIPE
	PROPOSED NYLOPLAST DRAIN BASIN



SITE PLAN
SPORTS PERFORMANCE BUILDING

PREPARED FOR:
PAUL NOLAN

REVISIONS	NO.	DESCRIPTION	DATE

PERMIT SET

PRELIMINARY
NOT FOR
CONSTRUCTION

DRAWN BY: JM
CHECKED BY: JM
DATE: 1/29/26
SCALE: 1" = 10'
(FOR SIGNED COPY)

CONTENT:
SITE PLAN