



**AGENDA  
TECHNICAL REVIEW COMMITTEE  
REGULAR MEETING  
JUNE 11, 2026  
10:00 AM  
CITY HALL COMMISSION CHAMBERS  
204 ASH STREET  
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**
  - 4.1 Approval of Minutes for the Regular Meeting of May 14, 2026.
- 5. FIRST STEP REVIEW (PRE-APPLICATION ITEMS)**
  - 5.1 **GULFSTREAM DESIGN GROUP, LLC - ALACHUA STREET TOWNHOMES - 101 ALACHUA STREET.**  
Site plan review for the construction of 9 townhome units and ancillary infrastructure. (C-3)
  - 5.2 **ROMAN PM, LLC - 218 ASH STREET**  
Conversion of the 2nd floor to a living area. (C-3)
  - 5.3 **GILLETTE & ASSOCIATES, INC - CRANE ISLAND ACCESS GATE ENTRY REALIGNMENT**  
Site plan review for Access Gate Entry Realignment for Crane Island Subdivision
- 6. OLD BUSINESS**
- 7. NEW BUSINESS**
- 8. SIGN OFF**
  - 8.1 **TRC-2026-0003 - GILLETTE & ASSOCIATES INC., AGENT FOR CHIP MCCULLOUGH, 700 AIRPORT RD (2440 JAMESTOWN RD)**  
Formal Site Plan Review for the construction of an aircraft hangar at the Fernandina Beach Municipal Airport. (IA)
- 9. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN.**
- 10. COMMITTEE BUSINESS**
- 11. ADJOURNMENT**

**NEXT REGULAR TRC MEETING IS SCHEDULED FOR JUNE 25, 2026.**

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.



**MINUTES  
TECHNICAL REVIEW COMMITTEE  
REGULAR MEETING  
MAY 14, 2026  
10:00 AM  
CITY HALL COMMISSION CHAMBERS  
204 ASH STREET  
FERNANDINA BEACH, FL 32034**

**1. CALL TO ORDER: 10:00 AM**

**2. ROLL CALL**

Jacob Platt, Project Coordinator  
Jimmy Parr, Building  
Jason Higginbotham, Fire  
Cathy Sabattini, Public Works Operation

Mia Sadler, Planning & Conservation  
David Neville, Arborist/Urban Forester  
Sydney Watkins, Stormwater/Utilities  
Marco Aguilera, Code Enforcement

**3. PLEDGE OF ALLEGIANCE**

**4. APPROVAL OF MINUTES**

4.1 Approval of Minutes from the Regular Meeting of April 23, 2026.

**ACTION TAKEN: A motion was made by Member Sadler, seconded by Member Sabattini, to approve the Minutes for the Regular Meeting of April 23, 2026, as presented.**

**Motion taken by voice vote, being all ayes, carried.**

**5. FIRST STEP REVIEW (PRE-APPLICATION ITEMS)**

5.1 **MIRANDA ARCHITECTS, AGENT FOR 13 NORTH 3RD STREET LLC, 13 N. 3RD STREET.**  
First Step review for the demolition of an existing circa 1939 non-contributing 1-story commercial building and the construction of a new Main Market building with up to nine (9) free-standing, commercial/mercantile shop buildings. (C-3)

Jose Miranda, 306 ½ Centre Street, agent for the owner, presented the project and explained the concept.

Member Sadler indicated the Mr. Miranda has already applied and scheduled for an HDC Conceptual Board review at the June 18, 2026, meeting. She further explained that after conceptual approval from the HDC would be granted, he will need to apply for a Formal TRC review. She also noted that a structural or architectural report is recommended. She relayed to Mr. Miranda that the design is compliant with the Design Guidelines.

Member Watkins shared the requirements from Stormwater and Utilities, stating that a grease trap will be needed and that all businesses would need to be plumbed individually. She asked that a Utility Connection application be filled to assess capacity fees. Lastly, she asked the applicant to make sure that proposed impervious area calculation are indicated on plans present at the Formal TRC review.

**DRAFT**

Member Sabattini asked about trash receptacles and that if any are installed that they are screened. Mr. Miranda said that he intends to share trash receptacle with some of the abutting neighbors.

Member Neville shared the mitigation options for this project. Mr. Miranda inquired about palm trees and Mr. Neville indicated that palm trees are protected and if removed, will have to be mitigated or paid in lieu.

Member Higginbotham asked if they had any plans for the fire code. Mr. Miranda inquired about the distance from the westernmost area of the building. As they move forward through the project, he will get additional clarification of what is needed. Member Higginbotham spoke of the minimum sqft that requires sprinkler system.

Member Platt told Mr. Miranda he would share the Downtown Revitalization plan with him and that a summary of the comments would be communicated through email.

**5.2 ELIZABETH HARRELSON LEE, HARREL LAND LLC, 1140 S 14TH STREET**  
First Step review for the use of the parcel for an outdoor Farmers and Arts market. (C-1)

Elizabeth Harrison Lee, 1140 S. 14<sup>th</sup> Street, introduced the case and explained that Wednesday market takes place on their vacant lot off of S. 14th Street and that it has 26 non-dedicated offsite parking spaces. She indicated the location of the vendors occupied spaces and the locations of the Port-O-Potty on the property.

Member Neville shared native shade tree requirements for the parking areas and addressed the required landscape break between 10 or more parking spaces in a row.

A discussion about the length of time a port-O-Potty could be on site took place between Code Enforcement, Planning and Building. It was also suggested that the applicant reach out to adjacent business to see if they could provide bathroom access. Clarification will be provided when the applicant returns to Formal TRC.

Member Sadler addressed Standards for Outside Sales Facilities LDC Section 6.02.25. She noted that a bike rack should be provided and indicated that they would need to return for a Formal TRC review to provide a formal site plan and regular and ADA parking information (onsite vs. offsite).

Member Watkins and Member Higginbotham had no comment.

Member Sabattini asked the applicant to make sure that all trash is cleaned up after the market is closed out.

Member Platt noted that a Local Development Order will be forthcoming after the Formal TRC review is completed.

**6. OLD BUSINESS**

**7. NEW BUSINESS**

**7.1 TRC-2026-0003 - GILLETTE & ASSOCIATES INC., AGENT FOR CHIP MCCULLOUGH, 700 AIRPORT RD.**

Formal Site Plan Review for the construction of an aircraft hangar at the Fernandina Beach Municipal Airport. (IA)

Member discussed the project and stipulated that the project is dependent on the execution of the ground lease.

**7.2 TRC-2026-0004 - GILLETTE & ASSOCIATES INC., AGENT FOR TIMOTHY RITCH, COASTAL LEGACY GROUP, LLC. - 309 S. 3RD STREET**

Formal Site Plan Review for the construction of a duplex and one single family home. (MU-1)

Mr. Gillette addressed the comment made by Member Neville regarding tree requirements.

## DRAFT

Mr. Gillette then addressed comments from Stormwater and Utilities, indicating that the wall roof will have downspouts and gutters.

Member Watkins then addressed the overflow of the pond to the back of the properties and spoke of a stem wall may need to be installed.

Mr. Gillette further addressed comments from the Streets Department.

Member Higginbotham asked about access for fire hose when the lots will be divided. Gillette answered in the affirmative. Member Higginbotham then asked the applicant to submit an address assignment application.

### 7.3 **TRC-2026-0005 - GILLETTE & ASSOCIATES INC., AGENT FOR TIDEWATER FB LLC, LOT 3, BLOCK 239 S. 13TH STREET**

Formal Site Plan Review for two (2) multifamily buildings with a total of 16 units. (MU-1)

Member Sadler explained that there was miscommunication about the existing site plan being submitted for Formal TRC review. The application documents provided did not get into the record in time. She further indicated that since this is a Live Local Act project, an affidavit confirming this multi-use will be needed. She also noted that a bike rack will need to be installed.

Member Neville indicated that a mail kiosk will be required as plans move further. Member Sadler concurred, adding this could meet the accessory structure requirement for multi-family use.

Member Watkins presented utility requirements such as 6" watermain, a private lift station being required, upsized sewer service lines, outfall structure needing to be location on the property, and lastly, she mentioned moving the S-Off- 1 east.

Member Higginbotham spoke about the need for a sprinkler system and that the parking lot will need to be stabilized for fire purposes. He requested that the exterior access to the riser room have proper water access. Member Watkins added to this discussion and told Mr. Gillette she would look into this further and would advise.

Member Sabattini noted that a 5' wide sidewalk will need to be provided along S. 13<sup>th</sup> Street in front of the development.

Chair Platt indicated that comments to the latest submittal will be forthcoming.

## **8. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN**

Walk in - Heather Houseal, 218 Ash Street, Suite C, First Coast Legacy Law, presented that she just moved into a leased facility where an established tattoo shop was operating.

Member Sadler told the applicant this would serve as a change of use requirement for her LBTR. She also addressed signage and emphasized that since the property is located within the Historic District, any changes to the exterior would need approval from require a Certificate of Approval (COA) from the Historic District Council. Lastly, she addressed C-3 parking requirements.

Member Watkins provided comments regarding utilities and applying for a separate Utility account for water & wastewater.

Member Sabattini addressed the waste bin container and their location.

**DRAFT**

Member Neville had no comments.

Member Higginbotham noted that an inspection would be performed under the LBTR approval process.

Walk in - Quentin Jones, 725 Ocean Avenue, First Coast Pavers, inquired about the installation of pavers at 725 Ocean Avenue.

Member Sadler indicated that the maximum lot coverage is 60%, and that a Non-Standard Materials Affidavit would be needed. She also spoke of the FDEP process when properties are located east of the CCC and when the scope involve dune disturbance. Members also advised him that there may be gopher tortoises' habitat present and to also contact FWC.

Member Sabattini shared that there are no plans to pave Ocean Ave and to leave room for grading maintenance.

**9. COMMITTEE BUSINESS**

Member Platt asked for a standard procedure of the LBTR process be either provided or created.

Member Higginbotham brought up the fact that Amelia Island Latin American restaurant are increasing their seat capacity. Members exchanged comments about the property and their first step case.

**10. ADJOURNMENT: 11:05 AM**

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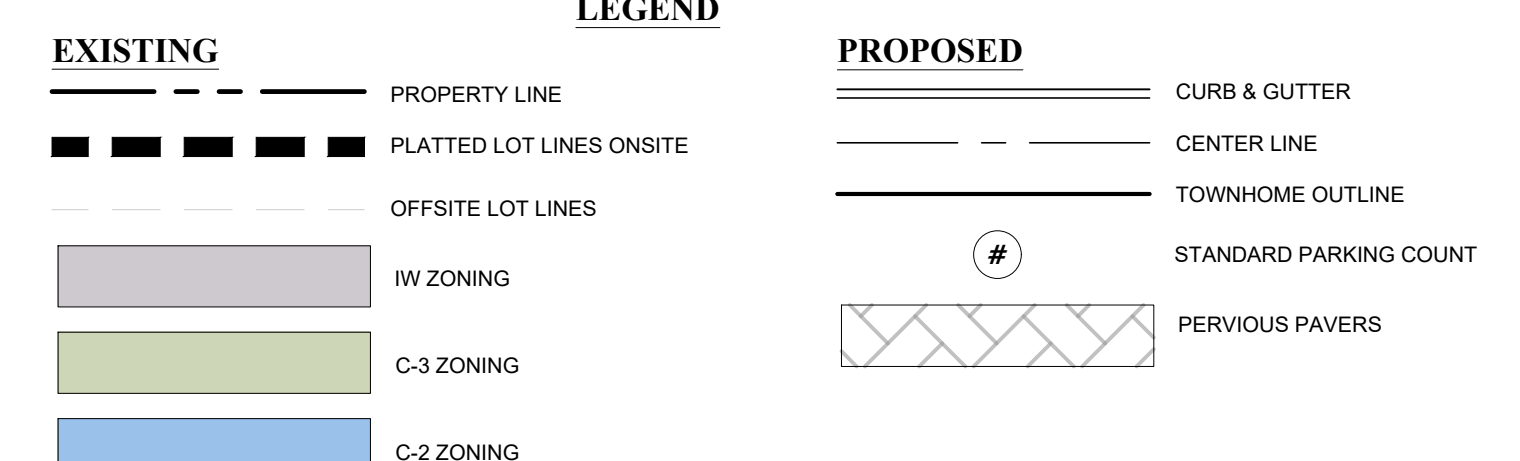
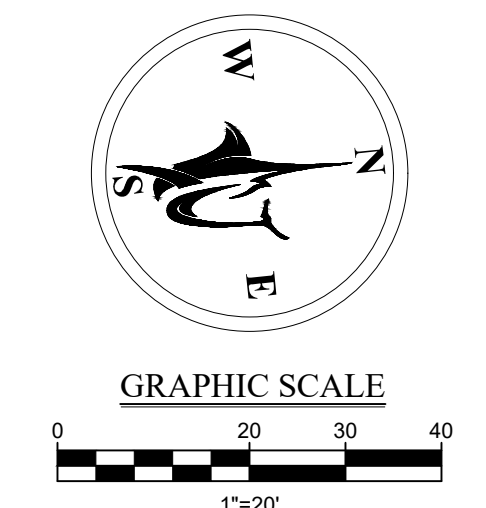
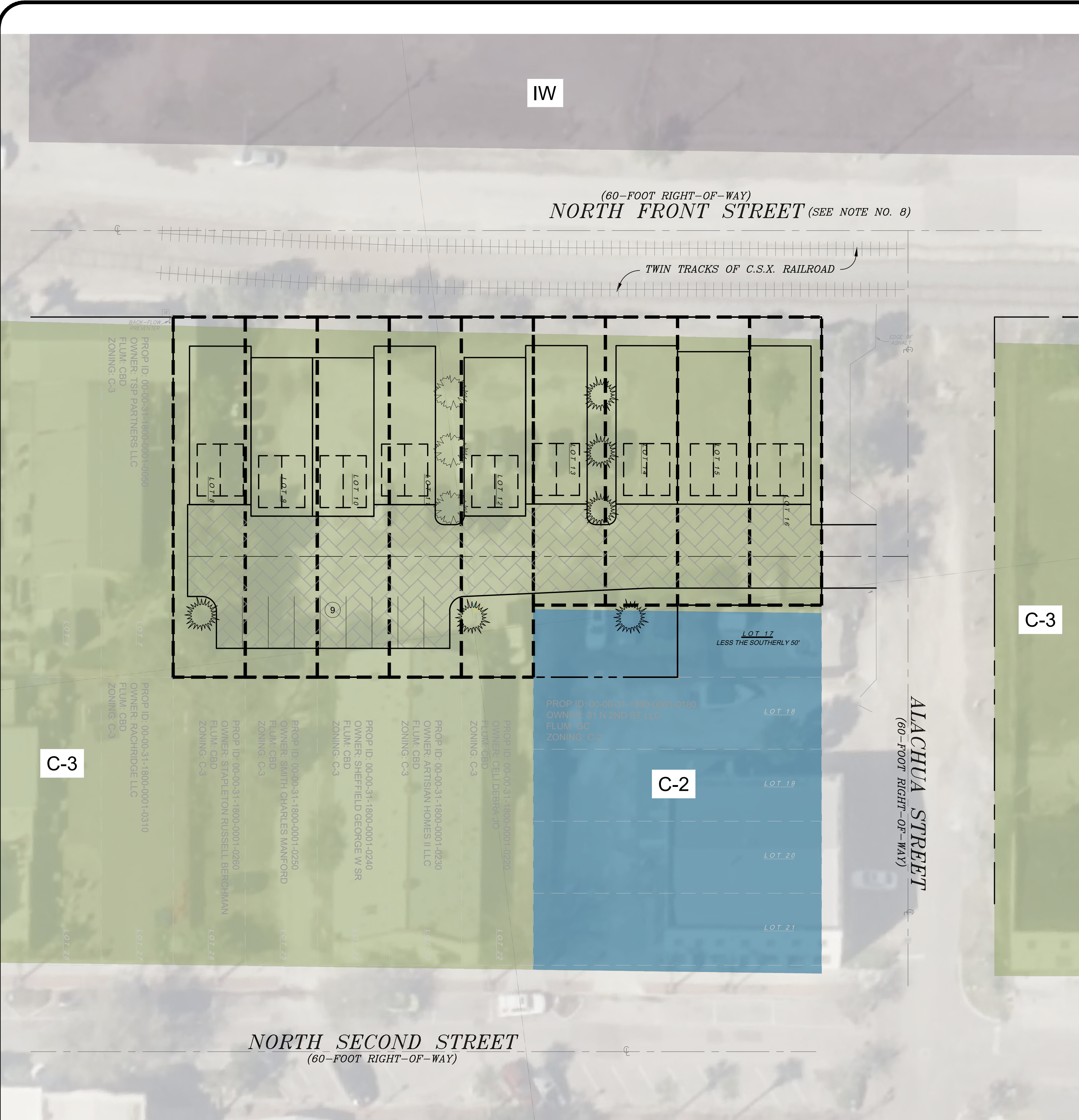
Mackannah Tarmey, Recording Secretary

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Jacob Platt, Chair



N:\001 Gulfstream\Project Files\26-112 Alachua Street Townhomes\05 Drawings\02 Exhibits\26-112 ZONING-SITE PLAN EXHIBIT.dwg, 5/29/2026 5:00:49 PM, DWG To PDF.pc3



**GENERAL CONCEPT NOTES:**

- PURPOSE OF CONCEPTUAL PLAN:** THIS CONCEPTUAL PLAN HAS BEEN PREPARED SOLELY TO ESTIMATE THE POTENTIAL DEVELOPMENT PROGRAM AND MAXIMUM YIELD OF THE PROPERTY. THE FINAL DEVELOPMENT PROGRAM MAY VARY SIGNIFICANTLY AS DESIGN CALCULATIONS, CONSTRUCTION PLANS, CLIENT BUDGETS, AND REGULATORY AGENCY REVIEWS ARE COMPLETED.
- SURVEY BASIS AND EXISTING INFORMATION:** THIS CONCEPTUAL PLAN IS BASED WITHOUT A SURVEY. EXISTING SITE CONDITIONS REFLECTED HEREIN ARE DERIVED FROM THE SURVEY INFORMATION TO THE BEST OF GULFSTREAM DESIGN GROUP, LLC'S KNOWLEDGE AT THE TIME OF PREPARATION. GULFSTREAM DESIGN GROUP, LLC, ACCEPTS NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE SURVEY DATA OR OTHER EXISTING CONDITIONS SHOWN.
- GEOTECHNICAL AND ENVIRONMENTAL SITE CONDITIONS:** THIS CONCEPTUAL PLAN HAS BEEN DEVELOPED WITHOUT A GEOTECHNICAL ENGINEERING ANALYSIS TO PROVIDE INFORMATION AND RECOMMENDATIONS REGARDING THE SUITABILITY OF THE PROJECT SITE. THIS CONCEPTUAL PLAN HAS BEEN DEVELOPED WITHOUT AN ENVIRONMENTAL ANALYSIS TO PROVIDE INFORMATION AND RECOMMENDATIONS REGARDING THE POTENTIAL IMPACTS ON THE PROJECT SITE.
- COMPLIANCE WITH REGULATORY REQUIREMENTS:** ALL FINAL ENGINEERING PLANS AND IMPROVEMENTS MUST COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAND DEVELOPMENT CODES, DESIGN STANDARDS, AND REGULATIONS. THE PROPOSED IMPROVEMENTS SHOWN HEREIN, INCLUDING BUT NOT LIMITED TO LOT LINES, BUILDING FOOTPRINTS, PARKING FACILITIES, UTILITY LAYOUTS, LANDSCAPING, AND STORMWATER MANAGEMENT SYSTEMS, ARE CONCEPTUAL AND SUBJECT TO CHANGE BASED ON REGULATORY AGENCY REVIEWS AND APPROVALS.
- COORDINATION WITH REGULATORY AGENCIES:** NO COORDINATION WITH REGULATORY AGENCIES HAS BEEN UNDERTAKEN IN PREPARING THIS PLAN. PUBLIC HEARINGS OR ADDITIONAL APPROVALS MAY BE REQUIRED TO AUTHORIZE THE CONSTRUCTION OF IMPROVEMENTS SHOWN ON THIS PLAN. LOCATIONS OF FINAL FOUNDATIONS AND MAJOR SUPPORT STRUCTURES WILL REQUIRE COORDINATION WITH FDEP UNDER THE COASTAL CONSTRUCTION LINE PROGRAM.
- PLANNING AND ZONING CONSIDERATIONS:** THE CONCEPTUAL PLAN IS SUBJECT TO MODIFICATIONS DURING THE FINAL DESIGN PHASE BASED ON LAND USE DESIGNATIONS, ZONING REGULATIONS, DENSITY ALLOWANCES, COMPATIBILITY WITH ADJACENT SITES, AND OTHER PLANNING AND ZONING REQUIREMENTS, INCLUDING SETBACKS AND BUFFERS.
- PUBLIC HEARINGS AND APPROVALS:** PUBLIC HEARINGS AND/OR LOCAL REVIEW BOARD PRESENTATIONS MAY BE NECESSARY TO OBTAIN PROJECT APPROVALS. THE APPLICANT ASSUMES ALL RISKS ASSOCIATED WITH SEEKING THESE APPROVALS, AS PUBLIC HEARINGS DO NOT GUARANTEE APPROVAL.
- OFFSITE IMPROVEMENTS:** OFFSITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO UTILITY EXTENSIONS (PORTABLE WATER, SANITARY SEWER, REUSE WATER, FRANCHISE UTILITIES), TURN LANES, AND ROADWAY ENHANCEMENTS, HAVE NOT BEEN COMPREHENSIVELY ADDRESSED IN THIS CONCEPTUAL PLAN.
- UTILITY AND PUBLIC SERVICE AVAILABILITY:** THE AVAILABILITY OF UTILITIES AND OTHER PUBLIC SERVICES HAS NOT BEEN VERIFIED. CONFIRMATION THAT THIS PLAN DOES NOT CONFLICT WITH LOCAL OR STATE CAPITAL IMPROVEMENT PROJECTS WILL BE REQUIRED AS PART OF THE DESIGN PROCESS.
- OWNERSHIP TRANSFER COMPLIANCE:** PRIOR TO THE TRANSFER OF PROPERTY OWNERSHIP, INCLUDING REAL PROPERTY OR CHANGES IN OWNERSHIP OF APPROVED OR CONSTRUCTED BUILDINGS, OWNERSHIP DOCUMENTS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT TO ENSURE COMPLIANCE WITH BUILDING CODE REQUIREMENTS.
- ACCESSIBILITY COMPLIANCE:** ALL PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES, INCLUDING ACCESSIBLE ROUTES AND PARKING, MUST COMPLY WITH THE FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT, ADA STANDARDS FOR ACCESSIBLE DESIGN, THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, AND THE FAIR HOUSING ACT, AS APPLICABLE.
- MUNICIPAL REQUIREMENTS - CITY OF FERNANDINA BEACH:**
  - MECHANICAL EQUIPMENT SCREENING:** ALL MECHANICAL EQUIPMENT SCREENING MUST COMPLY WITH THE REQUIREMENTS OF CITY OF FERNANDINA BEACH LDC.
  - SOLID WASTE SCREENING:** SOLID WASTE ENCLOSURES MUST MEET THE REQUIREMENTS OF CITY OF FERNANDINA BEACH LDC.
  - STORAGE YARD REQUIREMENTS:** ALL OUTSIDE STORAGE YARDS MUST BE FENCED IN ACCORDANCE WITH APPLICABLE COUNTY REQUIREMENTS.
  - SIGNAGE REQUIREMENTS:** ALL PROJECT SIGNAGE MUST COMPLY WITH THE REQUIREMENTS OF CITY OF FERNANDINA BEACH LDC. APPROXIMATE SIGNAGE LOCATIONS ARE SHOWN FOR REFERENCE ONLY.
  - LIGHTING STANDARDS:** PROJECT LIGHTING MUST CONFORM TO THE REQUIREMENTS OF CITY OF FERNANDINA BEACH LDC.
  - SHADE TREES:** MUST NOT BE INSTALLED UNDER ANY OVERHEAD UTILITY LINE, OVER ANY BURIED UTILITIES, OR WITHIN A UTILITY EASEMENT (LDC SEC. 4.05.03.B.12).
  - WHERE UTILITIES CONFLICT WITH PROPOSED PLANTINGS:** TREES MUST BE SELECTED FROM A LIST PROVIDED BY THE CITY. WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT MUST BE A MINIMUM OFTEN FEET FROM THE UNDERGROUND UTILITY AND A ROOT BARRIER OF TWO (2) FEET DEEP MUST BE INSTALLED (LDC SEC. 4.05.03.B.13).

CONCEPT SITE DATA TABLE		
GROSS PROPERTY AREA:	26,874 SF	0.62 AC
PROJECT AREA:	26,874 SF	0.62 AC
TOWNHOMES AREA:	10,709 SF	0.25 AC
PERVIOUS PAVERS AREA:	7,807 SF	0.18 AC
<b>TOTAL IMPERVIOUS AREA:</b>	<b>18,516 SF</b>	<b>0.43 AC</b>
<b>TOTAL PERVIOUS AREA:</b>	<b>8,358 SF</b>	<b>0.19 AC</b>
PROPERTY ID NO:	00-00-31-1800-0001-0080	
ZONING:	C-3 & C-2	
FLUM:	CBD & GC	
SPECIAL DISTRICT:	CRA, MAIN STREET, HISTORIC	
FEMA FIRM PANEL NUMBER	12089C0237G DATED 8/2/2017	
FLOOD ZONE:	AE	
	MAXIMUM:	PROPOSED
IMPERVIOUS SURFACE AREA RATIO:	100.00%	68.90%
FLOOR AREA RATIO:	75.00%	39.85%
BUILDING HEIGHT:	45'	45'
	MINIMUM	PROPOSED:
SIDE LANDSCAPE BUFFER (E)	5'	5'
REAR LANDSCAPE BUFFER (S)	5'	5'

DENSITY TABLE		
MAXIMUM GROSS DENSITY:	18 UNITS/ACRE	11 UNITS
PROPOSED GROSS DENSITY:	14.5 UNITS/ACRE	9 UNITS

PARKING CALCULATIONS				
USE	2 SPACES PER UNIT	# OF UNITS	REQUIRED PARKING SPACES	PROVIDED PARKING SPACES
SINGLE FAMILY RESIDENTIAL		9.00	18	27
TOTAL PARKING SPACES			18	27

\*PARKING PROVIDED IN 2-CAR GARAGE, PLUS 9 GUEST PARKING SPACES

SITE DEVELOPMENT SUMMARY	
<b>NORTH FRONT STREET TOWNHOMES</b>	
TYPE A UNIT : 3,861 GROSS SF	
1ST FLOOR - PARKING, STORAGE = 1,173 SF	
2ND FLOOR - LIVING AREA = 1,344 SF	
3RD FLOOR - BEDROOMS = 1,344 SF	
INCLUDES 8' X 21' PORCHES AT 2ND AND 3RD FLOORS	
TYPE B UNIT : 4,375 GROSS SF	
1ST FLOOR - PARKING, STORAGE = 1,325 SF	
2ND FLOOR - LIVING AREA = 1,525 SF	
3RD FLOOR - BEDROOMS = 1,525 SF	
INCLUDES 8' X 25' PORCHES AT 2ND AND 3RD FLOORS	

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			

**YIELD ANALYSIS PLAN**  
**FOR**  
**ALACHUA STREET TOWNHOMES**  
**ZONING-SITE PLAN EXHIBIT**  
 CITY OF FERNANDINA BEACH, FLORIDA



CONCEPTUAL DEVELOPMENT PLAN

2225 A1A S, SUITE A2  
ST. AUGUSTINE, FLORIDA 32080  
904.794.4231  
matt@gulfstreamdesign.com  
© GULFSTREAM DESIGN GROUP, LLC 2026

PROJECT NO:	26-112
ISSUE DATE:	05-24-2026
DRAFTED BY:	TDP
DESIGNED BY:	MHL
CHECKED BY:	MHL
NOT VALID WITHOUT SEAL	



**KEVIN J. LILLY** A.S.A., C.F.A.  
 Nassau County Property Appraiser  
*Consistent, Fair, Efficient*

**Parcel 00-00-31-1800-0001-0080**

<https://search.ncpafl.com/parcel/31%200%20000180000010080>

**101 ALACHUA ST**

**Owners**

DOWNTOWN CRAB LLC  
 960194 GATEWAY BLVD #101  
 FERNANDINA BEACH, FL 32034

**Short Legal**

BLOCK 1 LOTS 8 THRU 16 &  
 THE S'LY 50FT OF LOT 17  
 PT OR 2381/149...

**Parcel Summary**

Situs Address	101 ALACHUA ST
Use Code	1001: V C W/XFOB
Tax District	2: Fernandina
Acreage	0.617
Section	21
Township	3N
Range	28
Subdivision	CTY OF FDNA BCH U/R
Exemptions	None

**Values**

	2024 Certified Values	2025 Certified Values
Land Value *	\$1,612,500	\$2,015,625
(+) Improved Value	\$1,415	\$1,389
(=) Market Value	\$1,613,915	\$2,017,014
(-) Agricultural Classification	\$0	\$0
(-) SOH or Non-Hx* Capped Savings **	\$0	\$241,707
(=) School Assessed Value	\$1,613,915	\$2,017,014
County Assessed Value	\$1,613,915	\$1,775,307
(-) School Exemptions	\$0	\$0
(-) Non-school Exemptions	\$0	\$0
(=) School Taxable Value ***	\$1,613,915	\$2,017,014
(=) County Taxable Value	\$1,613,915	\$1,775,307

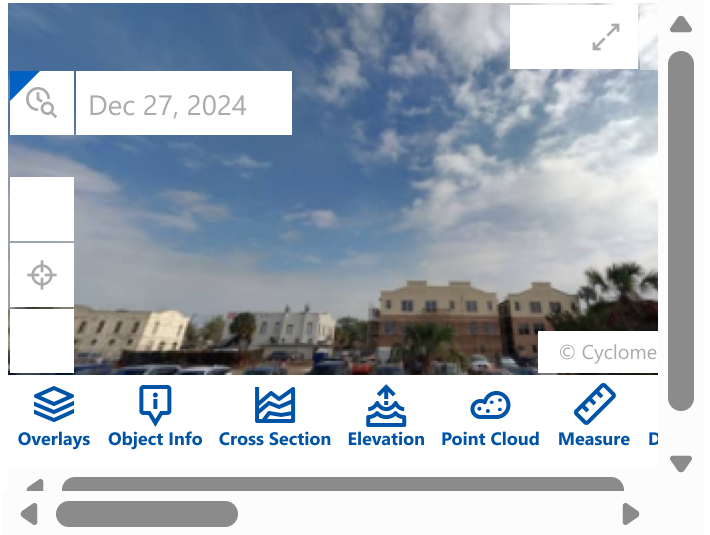
**Sales Information**

Sale Date	Book Page	Price	Instr	Qual	Imp	Grantor	Grantee
2020-07-31	2381/0149	\$2,000,000	SW	Q	I	AMELIA HISTORICAL DISTRICT HOTEL LLC	DOWNTOWN CRAB LLC
2016-07-07	2057/0514	\$1,500,000	SW	Q	I	GOODSELL NASSAU LLC	AMELIA HISTORICAL DISTRICT HOTEL LLC
2007-09-20	1526/0368	\$100	WD	Q	I	GOODSELL RICHARD B	GOODSELL NASSAU LLC
2003-03-05	1118/1053	\$1,130,000	WD	Q	I	FIELDS ATLANTIC LLC	BOODSELL RICHARD B
2001-09-27	1009/1521	\$1,300,000	WD	U	I	FERNANDINA WATERVIEW DEVELOPMENT INC	FIELDS ATLANTIC LLC
2001-09-27	1009/1519	\$100	QC	U	I	SELTON ROBERT W JR	FERNANDINA WATERVIEW DEVELOPMENT INC
1999-12-07	0910/1056	\$100	QC	U	I	TABER DONALD S & MARJORIE D	FERNANDINA WATERVIEW DEVELOPMENT INC
1999-12-07	0910/1054	\$100	QC	U	I	FERNCREST ENTERPRISES LTD	FERNANDINA WATERVIEW DEVELOPMENT INC
1999-12-07	0910/1052	\$100	QC	Q	I	SELTON PAMELA B	FERNANDINA WATERVIEW DEVELOPMENT INC
1996-06-28	0764/0309	\$100	QC	U	I	FERNANDINA WATERVIEW	SELTON ROBERT W JR
1995-12-04	0745/1240	\$100	QC	Q	I	SELTON PAMELA B	FDNA WATERVIEW DEVELOPMENT INC
1995-09-27	0740/0334	\$100	QC	U	I	SELTON W ROBERT JR	FDNA WATERVIEW DEVELOPMENT INC
1995-09-27	0740/0333	\$100	QC	U	I	TABER DONALD S & MARJORIE D	FDNA WATERVIEW DEVELOPMENT INC
1995-09-27	0740/0332	\$100	QC	U	I	FERNCREST ENTERPRISES LTD	FDNA WATERVIEW DEVELOPMENT INC
1983-08-01	0394/0798	\$37,000	MS	U	V		

Sale Date	Book Page	Price	Instr	Qual	Imp	Grantor	Grantee
1959-07-07	<a href="#">0173/0089</a>	\$100	EE	Q	I	LAMBRIGHT FRANK G & ETTA MAE (H&W)	SEABOARD RAILROAD

## Buildings

No Buildings



## Mackennah Tarmey

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**From:** noreply@civicplus.com  
**Sent:** Thursday, May 21, 2026 3:42 PM  
**To:** TRC Info  
**Subject:** Online Form Submittal: Technical Review Committee (TRC): First Step Review Request

**CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender, were expecting this email, and know the content is safe.**

### Technical Review Committee (TRC): First Step Review Request

#### Technical Review Committee (TRC) First Step Review

USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. First Step reviews are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The First Step review is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

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Fees  
*None*

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#### IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use will require a First Step Review as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

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**\*\*Please note that First Step items are reviewed as Discussion Items at the beginning of each TRC meeting followed by Formal Review items.\*\***

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Please see the Land Development Code (LDC) for detailed information:	Pre-Application Conference – see LDC section 11.01.02
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The LDC is available for review at	<a href="http://www.fbf.us/LDC">www.fbf.us/LDC</a>
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Application Requirements	A complete application., Site plans or scaled drawings; , Any other files that illustrate the proposed project; and, A signed and notarized Agent Authorization form (if applicable).
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PROPERTY INFORMATION	<a href="#">Property information can be found at the Nassau County Property Appraiser's Website → Map Search</a>
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Site Address	101 Alachua Street
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City	Fernandina Beach
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State	FL
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Zip	32034
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Parcel ID #(s)	00-00-31-1800-0001-0080
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Lot	<i>Field not completed.</i>
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Block	<i>Field not completed.</i>
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Subdivision	<i>Field not completed.</i>
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Zoning District	C-2
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Future Land Use Designation	General Commercial
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Overlay District	<i>Field not completed.</i>
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Size of Property (acres)	0.62
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Present Property Use	Vacant
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Wetlands	No
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Flood Zone	AE
------------	----

---

Coastal Construction Control Line (CCCL) No

---

**CONTACT INFORMATION**

*Applicant or interested party who will be present at the meeting.*

---

First Name Christina

---

Last Name Evans

---

Company (if applicable) Gulfstream Design Group, LLC

---

**PROJECT INFORMATION**

---

Project Name Alachua Street Townhomes

---

Project Type Residential

---

Please choose your preferred method of conducting your First Step Review In-person (at City Hall Chambers, 204 Ash St.)

---

Project Description Construction of 9 townhome units with 2 car garages and ancillary infrastructure.

---

Proposed Access Road Alachua Street

---

Rd Maintenance Jurisdiction FDOT Maintained

---

Certification By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.

---

Applicant First Name Christina

---

Applicant Last Name Evans

---

Today's Date 5/21/2026

---

Upload Supporting Documentation [26-112 CONCEPT PLAN.pdf](#)

---

Upload 2 [101 ALACHUA ST - 00-00-31-1800-0001-0080 - Nassau County.pdf](#)

Upload 3 *Field not completed.*

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Upload 4 *Field not completed.*

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Upload 5 *Field not completed.*

---

DEPARTMENT OF PLANNING & CONSERVATION  
204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |  
[www.fbfl.us/planning](http://www.fbfl.us/planning)

---

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**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [TRC Info](#)  
**Subject:** Online Form Submittal: Technical Review Committee (TRC): First Step Review Request  
**Date:** Monday, June 1, 2026 6:50:03 PM

---

**CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender, were expecting this email, and know the content is safe.**

## Technical Review Committee (TRC): First Step Review Request

Technical Review Committee (TRC) First Step Review  
USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. First Step reviews are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The First Step review is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

---

Fees  
*None*

---

### IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use will require a First Step Review as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.


---

**\*\*Please note that First Step items are reviewed as Discussion Items at the beginning of each TRC meeting followed by Formal Review items.\*\***

Please see the Land Development Code (LDC) for detailed information:	<i>Field not completed.</i>
The LDC is available for review at	<a href="http://www.fbfl.us/LDC">www.fbfl.us/LDC</a>
Application Requirements	<i>Field not completed.</i>
PROPERTY INFORMATION	<a href="#">Property information can be found at the Nassau County Property Appraiser's Website → Map Search</a>
Site Address	218 Ash Street
City	Fernandina Beach
State	Florida
Zip	32034
Parcel ID #(s)	00-00-31-1800-0270-0270
Lot	27 and 28
Block	270
Subdivision	<i>Field not completed.</i>
Zoning District	C-3
Future Land Use Designation	Mixed Use
Overlay District	Downtown Historic District
Size of Property (acres)	0.11
Present Property Use	Commercial (restaurant and law office)
Wetlands	No
Flood Zone	AE
Coastal Construction Control Line (CCCL)	No

**CONTACT INFORMATION***Applicant or interested party who will be present at the meeting.*

First Name	Rafael
Last Name	Roman
Company (if applicable)	RomanPM, LLC

**PROJECT INFORMATION**

Project Name	2nd Floor Usage Conversion to Residential
Project Type	Commercial
Please choose your preferred method of conducting your First Step Review	In-person (at City Hall Chambers, 204 Ash St.)
Project Description	<p>The property at 218 Ash St has been used for commercial businesses; within the C-3 zoning district. During the 3 years that I have owned the property, different parts of the existing structures have been used as a restaurant, a tattoo parlor and a law office. Now that the tattoo parlor has vacated the 2nd floor of the main building (built as a house in 1900), I would like to use that floor as a residential apartment. The building is well maintained and in good condition, but having a 2nd floor residence in the building would be a gentler way of using this attractive old building.</p> <p>It appears that at one time the 2nd floor was used as bedrooms and it includes a functioning full bathroom. The tattoo parlor had added a faucet and sink to one of the other rooms, and I will be adding a mini-fridge and an electrical hot plate assembly (2 hot plates) next to the sink. In the bathroom I will add a mini-washer dryer combo. No walls, ceilings or floors will be altered, replaced or removed, and there will be no structural changes to the apartment.</p>
Proposed Access Road	Ash St
Rd Maintenance Jurisdiction	City Maintained
Certification	By signing below, I certify that the information contained in this

application is true and correct to the best of my knowledge at the time of the application., I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

---

Applicant First Name	Rafael
Applicant Last Name	Roman
Today's Date	6/1/2026
Upload Supporting Documentation	<i>Field not completed.</i>
Upload 2	<i>Field not completed.</i>
Upload 3	<i>Field not completed.</i>
Upload 4	<i>Field not completed.</i>
Upload 5	<i>Field not completed.</i>

---

DEPARTMENT OF PLANNING & CONSERVATION  
204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |  
[www.fbfl.us/planning](http://www.fbfl.us/planning)

---

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[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Not For Profit Corporation  
THE CRANE ISLAND HOA, INC.

### Filing Information

**Document Number** N17000008037  
**FEI/EIN Number** 82-4561601  
**Date Filed** 08/03/2017  
**State** FL  
**Status** ACTIVE

### Principal Address

5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Changed: 02/19/2019

### Mailing Address

C/O AMELIA ISLAND MANAGEMENT  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Changed: 02/19/2019

### Registered Agent Name & Address

LAMBIASE, NICHOLAS, Jr.  
C/O AMELIA ISLAND MANAGEMENT  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Name Changed: 02/19/2019

Address Changed: 02/19/2019

### Officer/Director Detail

#### **Name & Address**

Title P, D

KOLLEVOLL, OLAV, III  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Title VP, D

WESTBROOK, CAROL L  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Title D

HEALAN, JACK B, Jr.  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Title S, T, D

NOVARIA, BOB  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

Title VP, D

REA, BILL  
5440 FIRST COAST HWY  
FERNANDINA BCH., FL 32034

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2024	02/02/2024
2025	01/09/2025
2026	01/07/2026

**Document Images**

<a href="#">01/07/2026 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/02/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/23/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/01/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/03/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/05/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/19/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/27/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">08/03/2017 -- Domestic Non-Profit</a>	<a href="#">View image in PDF format</a>



Civil & Environmental Engineering • Mechanical & Structural Engineering • Construction Management

AGENT AUTHORIZATION

I, Olav Kollevoll, President of The Crane Island HOA, Inc. owner the following property(s) do hereby authorize, Gillette & Associates, Inc. to act as my Agent in conjunction with all site plan applications and any other Local, State and/or Federal development permits necessary for development of the following property, without any further notice.

Property Id Number(s): 19-2N-28-0000-0001-0000

Location: Crane Island Entry Road/Turnaround

Olav Kollevoll, Jr. June 2, 2026 703-906-0640  
Signature Date Telephone Number  
Olav B. Kollevoll, Jr.

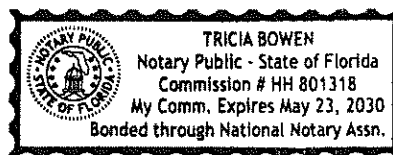
STATE OF FLORIDA  
COUNTY OF Nassau

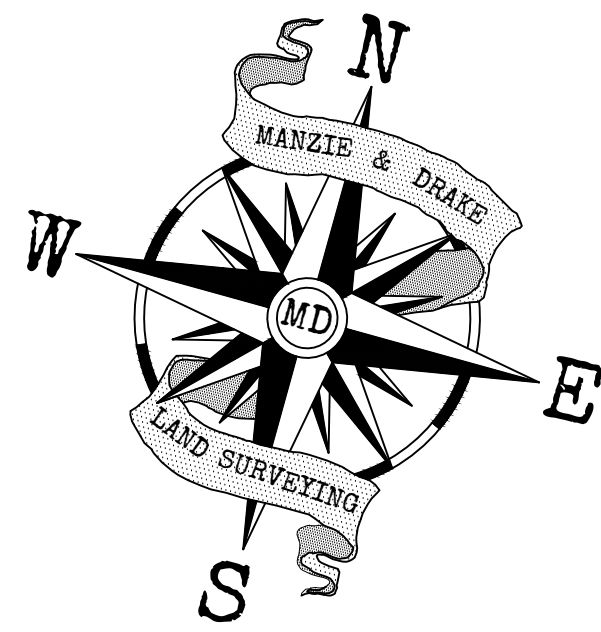
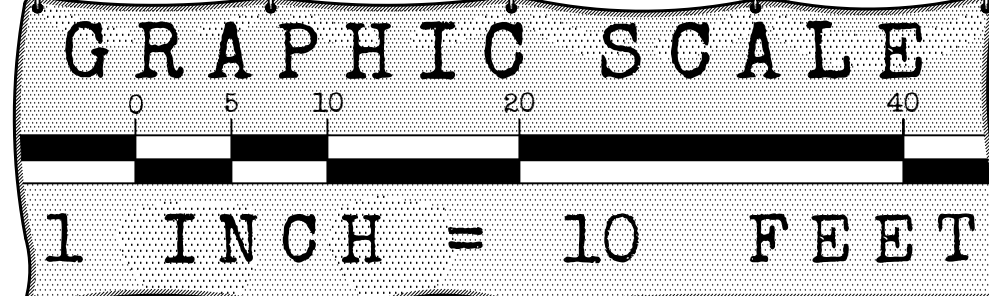
Subscribed and sworn to before me this 2nd day of June, 2026.

Who is personally known to me  or has produced identification

Tricia Bowen Tricia Bowen  
Notary Pubic: Signature Printed Name

My Commission Expires: 5/23/2030





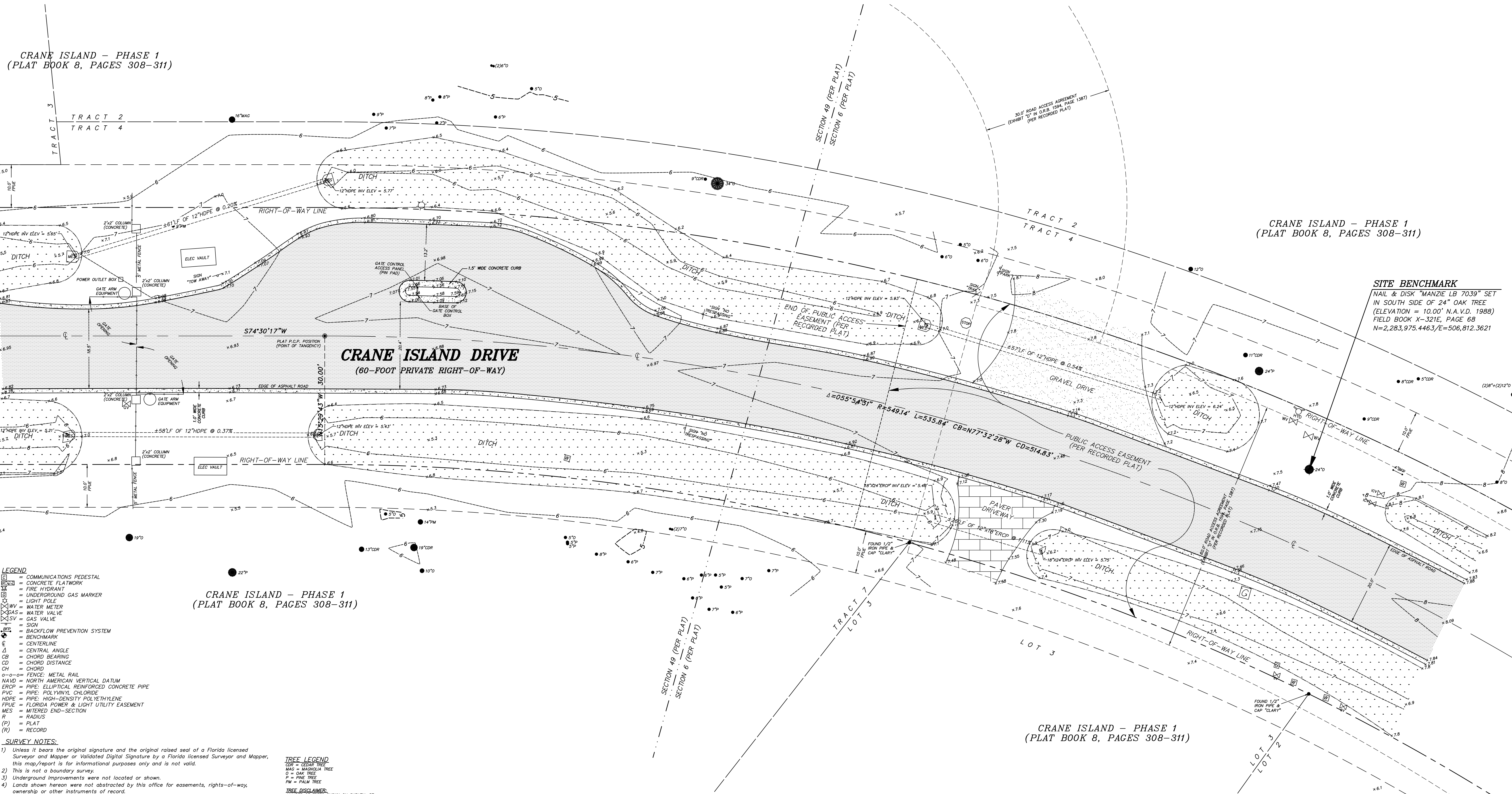
# MAP OF SPECIFIC PURPOSE SURVEY CRANE ISLAND DRIVE

BEING A PORTION OF SECTION 6 & SECTION 19, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA AND BEING A PORTION OF CRANE ISLAND DRIVE, A 60-FOOT PRIVATE RIGHT-OF-WAY PER PLAT OF CRANE ISLAND - PHASE 1 AS RECORDED IN PLAT BOOK 8, PAGES 308 THROUGH 311 OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA.

THIS IS NOT A BOUNDARY SURVEY.

THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW THE HORIZONTAL LOCATION OF TREES & IMPROVEMENTS ALONG WITH VERTICAL LOCATION INFORMATION THROUGHOUT THE SPECIFICALLY REQUESTED AREAS ON AND ALONG CRANE ISLAND DRIVE.

PREPARED FOR: GILLETTE & ASSOCIATES, INC.



CRANE ISLAND - PHASE 1  
(PLAT BOOK 8, PAGES 308-311)

CRANE ISLAND - PHASE 1  
(PLAT BOOK 8, PAGES 308-311)

CRANE ISLAND - PHASE 1  
(PLAT BOOK 8, PAGES 308-311)

CRANE ISLAND - PHASE 1  
(PLAT BOOK 8, PAGES 308-311)

**SITE BENCHMARK**  
NAIL & DISK "MANZIE LB 7039" SET  
IN SOUTH SIDE OF 24" OAK TREE  
(ELEVATION = 10.00' N.A.V.D. 1988)  
FIELD BOOK X-321E, PAGE 68  
N=2,283,975.4463/E=506,812.3621

- LEGEND**
- ☐ = COMMUNICATIONS PEDESTAL
  - ▭ = CONCRETE FLATWORK
  - ⊙ = FIRE HYDRANT
  - ⊕ = UNDERGROUND GAS MARKER
  - ⊙ = LIGHT POLE
  - ⊙ = WATER METER
  - ⊙ = WATER VALVE
  - ⊙ = GAS VALVE
  - ⊙ = SIGN
  - ⊙ = BACKFLOW PREVENTION SYSTEM
  - ⊙ = BENCHMARK
  - ⊙ = CENTERLINE
  - ∠ = CENTRAL ANGLE
  - CB = CHORD BEARING
  - CD = CHORD DISTANCE
  - CH = CHORD
  - = FENCE: METAL RAIL
  - NAVD = NORTH AMERICAN VERTICAL DATUM
  - ERCP = PIPE: ELLIPTICAL REINFORCED CONCRETE PIPE
  - PVC = PIPE: POLYVINYL CHLORIDE
  - HDPE = PIPE: HIGH-DENSITY POLYETHYLENE
  - FPUE = FLORIDA POWER & LIGHT UTILITY-EASEMENT
  - MES = MITERED END-SECTION
  - R = RADIUS
  - (P) = PLAT
  - (R) = RECORD

- SURVEY NOTES:**
- 1) Unless it bears the original signature and the original raised seal of a Florida licensed Surveyor and Mapper or Validated Digital Signature by a Florida licensed Surveyor and Mapper, this map/report is for informational purposes only and is not valid.
  - 2) This is not a boundary survey.
  - 3) Underground improvements were not located or shown.
  - 4) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
  - 5) Bearings and coordinates shown hereon are based on the State Plane Coordinate System for the East Zone of the State of Florida, North American Datum of 1983/1990 (N.A.D. '83/'90).
  - 6) Site Benchmark is as shown hereon.
  - 7) Elevations shown hereon refer to North American Vertical Datum of 1988. (N.A.V.D. '88)
  - 8) The Reference Benchmark is a nail & disk "Clary Elev" on top of headwall located along the southern right-of-way line of Crane Island Drive as shown on Sheet 2 of the plat of "Crane Island - Phase 1" as recorded in Plat Book 8, Pages 308 through 311 of the public records of Nassau County, Florida. (Elevation = 8.51' N.A.V.D. 1988)

**TREE LEGEND**  
CDP = CEDAR TREE  
MAC = MANGROVE TREE  
O = OAK TREE  
P = PINE TREE  
PM = PALM TREE

**TREE DISCLAIMER:**  
NUMBER OF TREES SHOWN ON SURVEY: 57  
SPECIES OF TREES HAVE BEEN IDENTIFIED TO THE BEST OF OUR KNOWLEDGE AND BELIEF; HOWEVER, MANZIE & DRAKE LAND SURVEYING WILL ASSUME NO LIABILITY, EXPRESSED OR IMPLIED, FOR THE CORRECTNESS OF SAID SPECIES IDENTIFICATION.  
TREES HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS AND HAVE A POSITIONAL TOLERANCE OF APPROXIMATELY 2 TO 3 FEET. CRITICAL TREES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

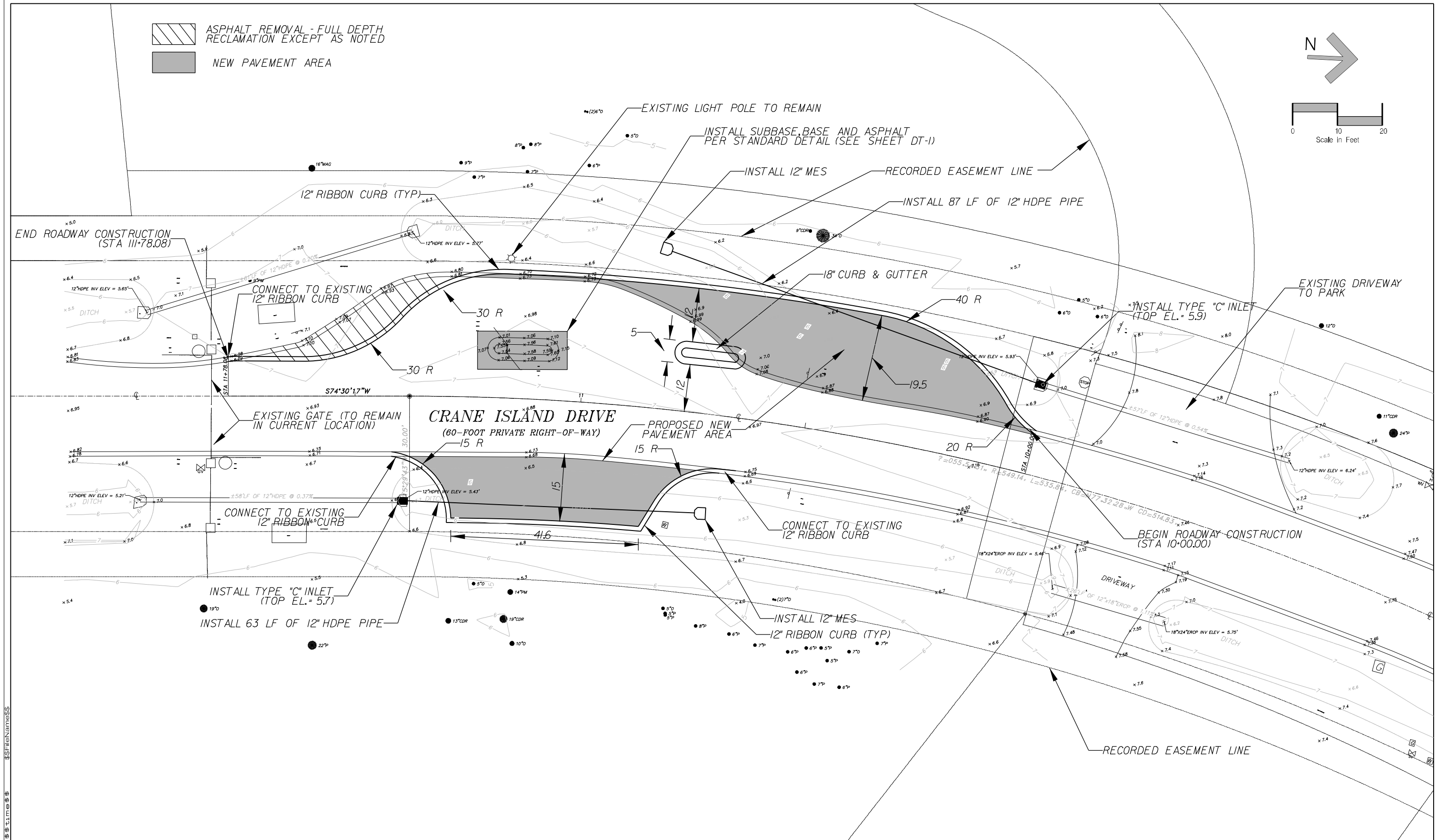
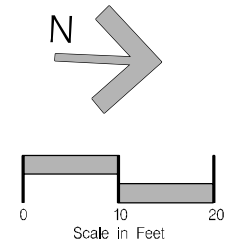
THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

MELANIE G. PLATT, P.S.M. 7605

PROJECT: 19087	CADD: WKD
SCALE: 1"=10'	CREW: JM
DATE: 05/07/2026	FIELD BOOK: X-321E
FILE: C-1443	F.B. PAGE: 68-69

**MANZIE & DRAKE**  
LAND SURVEYING  
117 South Ninth Street, Fernandina Beach, FL 32034  
Phone: (904) 491-5700 www.ManzieAndDrake.com  
Certificate of Authorization Number "LB 7039"

 ASPHALT REMOVAL - FULL DEPTH RECLAMATION EXCEPT AS NOTED  
 NEW PAVEMENT AREA



11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			
No.	By	Date	Revision

Scale:	
Project Mgr:	NG
Designed by:	NG
Drawn by:	NG
QA/QC:	ABTL

GILLETTE & ASSOCIATES, INC.  
 31 SOUTH 4TH STREET  
 FERNANDINA BEACH, FL 32034  
 CERTIFICATE OF AUTHORIZATION No. 9332  
 DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

  
 GILLETTE & ASSOCIATES, INC.  
 31 SOUTH 4TH STREET  
 FERNANDINA BEACH, FL 32034  
 PHONE: (904) 261-8819  
 FAX: (904) 261-9905

ACCESS GATE  
 ENTRY  
 REALIGNMENT  
 CRANE ISLAND  
 HOMEOWNERS  
 ASSOCIATION

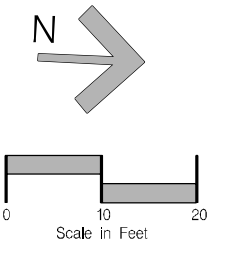
GEOMETRY PLAN

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NICKEY E. GILLETTE, P.E. ON THE DATE INDICATED ON THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Registered Professional  
 NICKEY E. GILLETTE, P.E.  
 FLORIDA P.E. NO. 54908

Sheet No.  
 GE-1  
 X of 8  
 Issue Date  
 JUNE 2025  
 Project No.

ASPHALT REMOVAL - FULL DEPTH RECLAMATION EXCEPT AS NOTED



305 SF OF ASPHALT/CURB REMOVAL - RETAIN 12" WIDE STRIP OF EXISTING BASE AND SUBBASE BEHIND BACK OF NEW CURB INSTALLATION-FULL DEPTH RECLAMATION OTHERWISE

EXISTING CALL BOX W/CURBED ISLAND (TO BE REMOVED)

SAWCUT 10' X 20' ASPHALT AREA AROUND CALL BOX AREA

RECORDED EASEMENT LINE

START REMOVAL OF 12" RIBBON CURB (STA 10+00.00)

END REMOVAL OF 12" RIBBON CURB STA (11+78.08)

REMOVE 12" MES

EXISTING DRIVEWAY TO PARK

EXISTING GATE (TO REMAIN IN CURRENT LOCATION)

**CRANE ISLAND DRIVE**  
(60-FOOT PRIVATE RIGHT-OF-WAY)

PROPOSED NEW PAVEMENT AREA (SEE SHEET GE-1)

RETAIN EXISTING WATER VALVE

REMOVE 12" MES

RETAIN EXISTING RIBBON CURB

RECORDED EASEMENT LINE

11  
10  
9  
8  
7  
6  
5  
4  
3  
2  
1  
No. By Date Revision

Scale:	
Project Mgr:	NG
Designed by:	NG
Drawn by:	NG
QA/QC:	ABTL

GILLETTE & ASSOCIATES, INC.  
31 SOUTH 4TH STREET  
FERNANDINA BEACH, FL 32034  
CERTIFICATE OF AUTHORIZATION No. 9332  
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" X 34"

**G & A**  
GILLETTE & ASSOCIATES, INC.  
31 SOUTH 4TH STREET  
FERNANDINA BEACH, FL 32034  
PHONE: (904) 261-8819  
FAX: (904) 261-9905

ACCESS GATE  
ENTRY  
REALIGNMENT

CRANE ISLAND  
HOMEOWNERS  
ASSOCIATION

DEMOLITION PLAN

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NICKEY E. GILLETTE, P.E. ON THE DATE INDICATED ON THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Registered Professional  
NICKEY E. GILLETTE, P.E.  
FLORIDA P.E. NO. 54908

Sheet No.  
DM-1  
X of 8  
Issue Date  
JUNE 2025  
Project No.

**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [TRC Info](#)  
**Subject:** Online Form Submittal: Technical Review Committee (TRC): First Step Review Request  
**Date:** Wednesday, June 3, 2026 1:46:47 PM

---

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## Technical Review Committee (TRC): First Step Review Request

Technical Review Committee (TRC) First Step Review  
USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. First Step reviews are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The First Step review is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

---

Fees  
*None*

---

### IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use will require a First Step Review as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

---

**\*\*Please note that First Step items are reviewed as Discussion Items at the beginning of each TRC meeting followed by Formal Review items.\*\***

Please see the Land Development Code (LDC) for detailed information:	Pre-Application Conference – see LDC section 11.01.02
The LDC is available for review at	<a href="http://www.fbfl.us/LDC">www.fbfl.us/LDC</a>
Application Requirements	<i>Field not completed.</i>
PROPERTY INFORMATION	<a href="#">Property information can be found at the Nassau County Property Appraiser's Website → Map Search</a>
Site Address	Bailey Road
City	Fernandina Beach
State	FL
Zip	32034
Parcel ID #(s)	19-2N-28-0000-0001-0050
Lot	<i>Field not completed.</i>
Block	<i>Field not completed.</i>
Subdivision	<i>Field not completed.</i>
Zoning District	R-1
Future Land Use Designation	Low Density Residential
Overlay District	None
Size of Property (acres)	0
Present Property Use	roadway
Wetlands	No
Flood Zone	X, 0.2 % chance flood hazard
Coastal Construction Control Line (CCCL)	No

**CONTACT INFORMATION**

*Applicant or interested party who will be present at the meeting.*

First Name	Nick
Last Name	Gillette
Company (if applicable)	Gillette & Associates, Inc.

**PROJECT INFORMATION**

Project Name	Crane Island Access Gate Entry Realignment
Project Type	Commercial
Please choose your preferred method of conducting your First Step Review	In-person (at City Hall Chambers, 204 Ash St.)
Project Description	Access Gate Entry Realignment for Crane Island subdivision
Proposed Access Road	Crane Island Drive
Rd Maintenance Jurisdiction	Unimproved ROW
Certification	By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application., I acknowledge that I understand and have complied with all of the submittal requirements and procedures.
Applicant First Name	Nick
Applicant Last Name	Gillete
Today's Date	6/3/2026
Upload Supporting Documentation	<a href="#">01cmdem01.pdf</a>
Upload 2	<a href="#">02cmqeo01.pdf</a>
Upload 3	<a href="#">19087-2026-ROUTE-CI-ENTRANCE_DS.pdf</a>

Upload 4

[agent form.pdf](#)

---

Upload 5

[Detail by Entity Name.pdf](#)

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DEPARTMENT OF PLANNING & CONSERVATION

204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |

[www.fbfl.us/planning](http://www.fbfl.us/planning)

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June 11, 2026

Asa Gillette  
31 S. 4th Street  
Fernandina Beach, FL 32034  
tricia@gilletteassociates.com

Sent Via Email to Project Team

**Applicant Name:** (Agent Asa Gillette)  
**Project Description:** Airport Hangar for Chip McCullough  
**Location:** Airport Property- Jamestown Road  
**PIN(s):** 06-2N-28-0000-0001-0000  
**TRC Case Number:** TRC 2026-0003

Mr. Gillette,

Based on findings from the Technical Review Committee (TRC) and their review of the plans on Thursday, June 11, 2026, the above-referenced project is hereby approved. Furthermore, following the approval from the TRC

Local Development Orders expire twelve (12) months after the date of issuance, which is the date of this letter. Prior to the expiration of a local development order, the local development order may be extended for a period not to exceed six (6) months, when a written request is submitted to the City. No more than two (2) such six (6) month extensions shall be issued.

Any further revisions to this site plan may require additional review and approval.

If you need further information regarding this compliance report or the next steps for this project, please contact me at [trcinfo@fbfl.city](mailto:trcinfo@fbfl.city) or 904-310-3480.

Sincerely,

Jacob Platt  
Technical Review Committee Chair

# ENGINEERING PLANS

FOR

**AIRCRAFT HANGAR**  
 FOR  
**CHIP MCCULLOUGH**

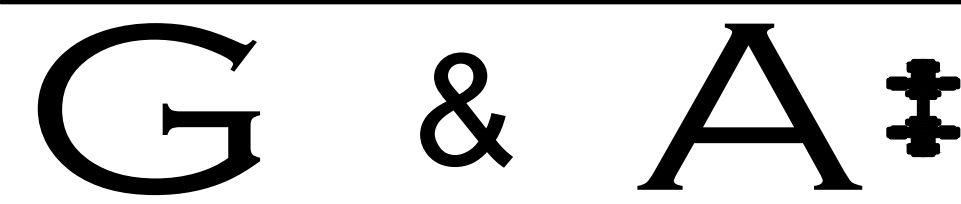
**AIRCRAFT HANGAR**  
 FOR  
**CHIP MCCULLOUGH**

**RELEASED FOR CONSTRUCTION BY \_\_\_\_\_**

## GILLETTE & ASSOCIATES, INC.

**CIVIL & ENVIRONMENTAL ENGINEERING**  
**MECHANICAL & STRUCTURAL ENGINEERING**  
**PERMITTING & CONSTRUCTION MANAGEMENT**

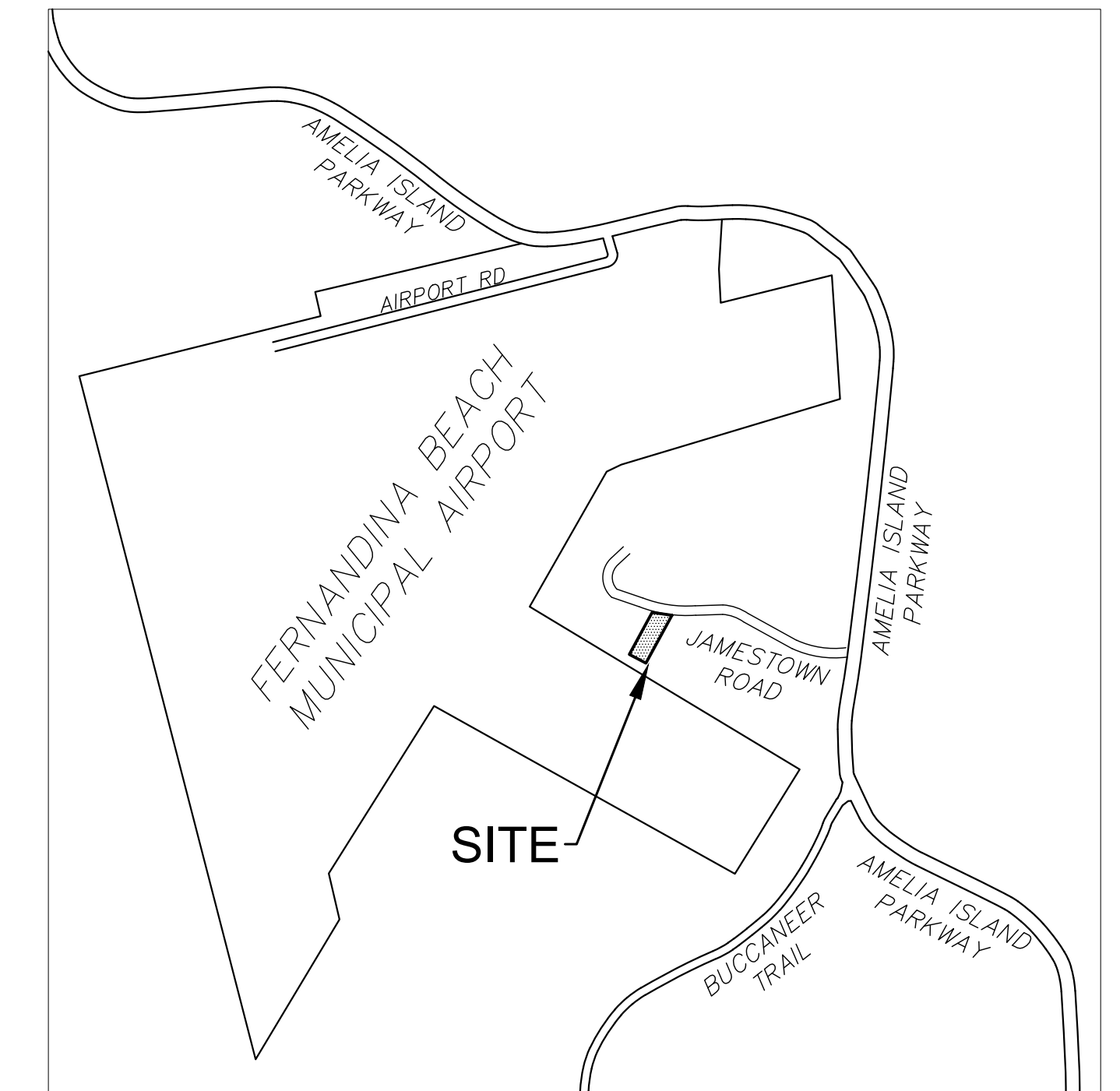
**31 SOUTH 4TH STREET AMELIA ISLAND, FLORIDA 32034**  
**PHONE: 904/261-8819**



PERMITTING AGENCIES

CITY OF FERNANDINA BEACH: 904-310-3421

  
**SITE LOCATION MAP**



**ISSUE DATE: APRIL 2, 2026**  
**REVISION DATE: MAY 18, 2026**

G&A Project  
 No.: XX-XX-XX

L					Scale: 1:30	Gillette & Associates, Inc. 31 South 4th Street Fernandina Beach, FL 32034	<b>G &amp; A</b> GILLETTE & ASSOCIATES, INC. 31 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	AIRPORT HANGAR DESIGN	CHIP MCCULLOUGH JAMESTOWN ROAD HANGAR	REGISTERED DESIGN PROFESSIONAL	ISSUE DATE: 05/18/26
K					Project Mgr: AG	Certificate of Authorization No. 9332		JAMESTOWN ROAD FERNANDINA BEACH, FLORIDA	COVER SHEET	ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	Sheet CVR
J					Designed by: AG						Page 1 of 8
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A	AB	04/02/26	COFB TRC SUBMITTAL #1								
No.	By	Date	Revision								

SITE / GEOMETRY NOTES		WATER NOTES		INDEX																					
<p>1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>3. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER.</p> <p>4. ELEVATIONS ARE BASED ON NAVD DATUM OF 1988.</p> <p>5. TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: MANZIE &amp; DRAKE LAND SURVEYORS (904-491-5700).</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED AND INSURANCE REQUIRED FOR THE PROJECT.</p> <p>7. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY, COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION &amp; REPAIR.</p> <p>8. THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.</p> <p>9. "AS-BUILT" DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS.</p> <p>10. "AS-BUILT" RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.</p> <p>12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS.</p> <p>13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER.</p> <p>14. ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED.</p> <p>15. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT.</p> <p>16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE.</p> <p>17A. UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF IT'S MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).</p> <p>17B. ALL FINISH FLOORS SHOWN ON THE PLANS ARE MINIMUM ELEVATIONS</p> <p>18. ALL WATER &amp; SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.</p>		<p>19. WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.</p> <p>20. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER.</p> <p>21. WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER.</p> <p>22. NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.</p> <p>23. BLANK</p> <p>24. TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE #10 UF SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. COATING SHALL BE BLUE FOR WATER AND GREEN FOR SEWER MAIN CONNECTIONS. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT.</p> <p>25. ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS.</p> <p>26. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.</p> <p>27. GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED.</p> <p>28. SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.</p> <p>29. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED. ALL DISTURBED AREAS WITHIN THE NASSAU COUNTY RIGHT OF WAY SHALL BE COVERED WITH BERMUDA SOD.</p> <p>30. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION.</p> <p>31. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND COUNTY/CITY BEFORE COMMENCING WORK.</p> <p>32. MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED.</p> <p>33. ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.</p> <p>34. IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF STANDARD DETAILS AND SPECIFICATIONS FROM NASSAU COUNTY.</p> <p>35. BACKFILL MATERIAL SHALL BE COMPACTED TO 100% (2%) PER CITY OF FB REQUIREMENTS UNDER EXISTING AND PROPOSED ROADWAYS.</p> <p>36. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.</p> <p>37. STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION</p> <p>38. ALL CONSTRUCTION, MATERIAL, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY OF FB AND COUNTY STANDARDS</p>		<p>1. WATER MAINS SHALL HAVE A MINIMUM OF 36" COVER UNDER PAVEMENT OR 30" COVER FROM FINISHED GRADE UNLESS OTHERWISE SHOWN. ALL WATER MAINS SHALL BE FLUSHED IN ACCORDANCE WITH, AND UNDER THE DIRECTION OF THE UTILITY COMPANY.</p> <p>2. THRUST RESTRAINTS ARE REQUIRED IN ACCORDANCE WITH THE UTILITY COMPANY STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS AND TEES.</p> <p>3. THE RODS SHALL BE INSTALLED ON ALL VALVES LOCATED AT FITTINGS. ALL 10" AND LARGER VALVES AND LARGER SHALL REQUIRE (4) TIE RODS. MEGA LUG JOINT RESTRAINTS MAY BE USED IN LIEU OF THRUST BLOCKS OR TIE RODS.</p> <p>4. UNLESS OTHERWISE NOTED, WATER MAINS ARE TO BE PVC DR18, DR-25, C-900 (BLUE), CLASS 150.</p> <p>5. ALL WATER MAINS SHALL BE BACTERIOLOGICAL AND PRESSURE TESTED IN ACCORDANCE WITH AWWA C-600. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER MAINS HAVE BEEN PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE. THE UTILITY COMPANY'S AUTHORIZED REPRESENTATIVE MUST BE NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST AND MUST BE PRESENT.</p> <p>6. THE CONTRACTOR SHALL AVOID SERVICE INTERRUPTIONS AND MAINTAIN ANY EXISTING WATER SERVICE TO MEET THE SYSTEM DEMANDS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF AFFECTED CUSTOMERS OF THE UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF ANY INTERRUPTION OF SERVICE. BOIL WATER NOTICES SHALL BE DELIVERED IN ACCORDANCE WITH THE UTILITY COMPANY BOIL WATER NOTICE REQUIREMENTS.</p> <p>7. ALL MAIN FLUSHING POINTS SHALL BE SAME SIZE AS MAIN UP TO 8 INCH WATER MAINS. FLUSHING POINTS FOR MAINS LARGER THAN 8 INCH SHALL BE REDUCED TO 8 INCH.</p> <p>8. ALL WATER MAINS SHALL BE DISINFECTED USING LIQUID CHLORINE OR HYPOCHLORITES IN ACCORDANCE TO AWWA C651-86. WATER IN MAIN SHALL MAINTAIN A CHLORINE RESIDUAL OF 50 MG/L FOR A MINIMUM OF 24 HOURS. WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL CLEARANCE HAS BEEN PROVIDED BY THE APPROPRIATE REGULATING AGENCY AND CITY OFFERNANDINA BEACH UTILITIES DEPARTMENT.</p> <p>9. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. BASED ON APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE, FITTINGS, AND SOLVENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARBON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED. ANY CONTAMINATED SOIL THAT IS EXCAVATED SHALL BE PLACED ON AN IMPERMEABLE MAT AND COVERED WITH A WATER PROOF COVERING. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.</p> <p>10. 2" FLUSHING HYDRANTS SHALL BE INSTALLED AT ALL DEAD END LINES AND MAIN LINE STUB-OUTS.</p> <p>11. A SEPARATE WATER SERVICE SHALL BE REQUIRED FOR EACH UNIT SERVED AND SHALL BE INSTALLED 3 FEET EITHER SIDE OF PROPERTY LINE. ALL WATER SERVICES SHALL BE MARKED WITH A "W" ETCHED ON THE CURB. ALL VALVES SHALL BE MARKED WITH A "V" ETCHED ON THE CURB.</p> <p>12. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S STANDARDS.</p> <p>13. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED AT THE CONSUMER'S METER OR AT THE PROPERTY LINE WHEN A METER IS NOT USED.</p> <p>14. BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED BY A CERTIFIED BACKFLOW TECHNICIAN. TEST RESULTS SHALL BE SUBMITTED TO AND APPROVED BY THE UTILITY COMPANY PRIOR TO ACCEPTANCE OF INSTALLATION.</p> <p>15. MAXIMUM DEPTH ON WATER SERVICES TO METER TO BE 36".</p> <p>16. CONTACT ANDRE DESILET, COFB UTILITY DIRECTOR AT (904-310-3420) FOR PRE-CONSTRUCTION AND COORDINATION MEETING PRIOR TO WORK COMMENCING</p>		<table border="1"> <thead> <tr> <th>SHEET</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>CVR</td> <td>COVER SHEET</td> </tr> <tr> <td>IN-1</td> <td>INDEX SHEET</td> </tr> <tr> <td>PRE-1</td> <td>PREDEVELOPED SITE PLAN</td> </tr> <tr> <td>GE-1</td> <td>GEOMETRY PLAN</td> </tr> <tr> <td>UT-1</td> <td>UTILITY PLAN</td> </tr> <tr> <td>DR-1</td> <td>DRAINAGE PLAN</td> </tr> <tr> <td>DT-1</td> <td>MISC. DETAILS</td> </tr> <tr> <td>DT-2</td> <td>LIFT STATION DETAILS</td> </tr> </tbody> </table>		SHEET	DESCRIPTION	CVR	COVER SHEET	IN-1	INDEX SHEET	PRE-1	PREDEVELOPED SITE PLAN	GE-1	GEOMETRY PLAN	UT-1	UTILITY PLAN	DR-1	DRAINAGE PLAN	DT-1	MISC. 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<p style="text-align: center;">LEGEND</p>		<p style="text-align: center;">SEWER NOTES</p>																							
		<p>1. THE CONTRACTOR SHALL PROVIDE, TO THE ENGINEER OF RECORD, A SCHEDULE OF INVERT ELEVATIONS OF ALL SANITARY MANHOLES PRIOR TO THE PLACEMENT OF THE LIME ROCK BASE COURSE. THIS SCHEDULE TO BE PROVIDED BY THE REGISTERED LAND SURVEYOR SUBMITTING THE "AS-BUILT" DRAWINGS FOR THIS PROJECT.</p> <p>2. SANITARY SEWER SERVICES SHALL BE 6" PVC WITH A MINIMUM SLOPE OF 0.006 FEET PER FOOT AND SHALL BE TERMINATED AT THE RIGHT-OF-WAY LINE WITH A DEPTH OF 24" TO 48" FROM THE FINAL FINISHED GRADE OF THE DEVELOPED LOTS. DEPTHS GREATER THAN 48" FROM FINAL FINISHED GRADE SHALL BE READJUSTED BY THE DEVELOPER AT HIS COST.</p> <p>3. GRAVITY SEWER TO BE CLEANED &amp; TV TESTED BY DEVELOPER AT DEVELOPER'S EXPENSE</p> <p>4. ALL MANHOLE FRAMES AND COVERS TO BE ADJUSTED TO FINAL FINISHED GRADE.</p> <p>5. A SEPARATE SEWER SERVICE (6" MIN.) SHALL BE PROVIDED TO THE RIGHT-OF-WAY FOR EACH LOT BEING SERVED. AN "S" SHALL BE ETCHED INTO THE CURB DIRECTLY OVER EACH SERVICE LINE OR IN THE STREET SIDE OF A SIDEWALK IN LINE WITH THE CLEANOUT.</p> <p>6. GRAVITY SEWER TO BE GREEN IN COLOR</p> <p>7. NEW GRAVITY SEWER SYSTEM SHALL BE PLUGGED AT NEAREST EXISTING DOWNSTREAM MANHOLE AND SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM THE UTILITY COMPANY. EXISTING MANHOLES TO BE COREBORED AND ARRANGEMENTS MADE TO BE REFURBISHED WITH COMPATIBLE MATERIALS IF THE EXISTING MANHOLE IS ALLOWED TO BE USED.</p> <p>8. FINISHED FLOOR ELEVATIONS SHALL BE GREATER (HIGHER) THAN THE ELEVATION OF THE MANHOLE NEAREST THE SERVICE LATERAL IN ORDER TO AVOID A POTENTIAL BACKUP OF SEWERAGE IN THE HOUSE OR BUILDING.</p> <p>9. ALL GRAVITY SEWER PIPE TO A 10 FOOT DEPTH OF COVER SHALL BE SDR-26 PVC PIPE (MINIMUM). GRAVITY SEWER PIPE WITH COVER OF 15 FEET (AND IN EASEMENTS) AND GREATER SHALL BE C900 - DR18. JOINT SHALL BE OF THE BELL AND SPIGOT TYPE AND MEET THE REQUIREMENTS OF THE PIPE REFERRED BEING USED.</p> <p>10. WHEN A PROPERTY LINE CAN NOT BE DEFINED, THE SEWER CLEANOUT SHALL BE PLACED IN AN UNPAVED AREA AT A DISTANCE NO GREATER THAN 30 FEET FROM THE SEWER MAIN.</p> <p>11. NOTE: DR-18 TO BE USED ON SEWER LINE CROSSING WHERE STORM DRAIN IS WITHIN 24 INCHES ABOVE GRAVITY ALSO JOINT TO BE CENTERED AT CROSSING</p> <p>12. ALL MANHOLES TO HAVE MINIMUM 24" HINGED RING AND COVER EAST JORDAN OR APPROVED EQUIVALENT</p> <p>13. SEWER PLUGS USED DURING THE CONSTRUCTION OR CONNECTION TO A SYSTEM SHALL HAVE THE CONTRACTOR'S NAME PERMANENTLY STAMPED.</p> <p>14. THE MANHOLE LINER SHALL BE SPECTRA SHIELD OR APPROVED EQUIVALENT.</p> <p>15. IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) REQUIREMENTS, LEAKAGE TESTING SHALL BE PERFORMED ON ALL SEGMENTS OF THE SEWER SYSTEM. TESTING MAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. TEST METHODS SHALL TAKE INTO CONSIDERATION THE RANGE IN GROUNDWATER ELEVATIONS DURING THE TEST AND ANTICIPATED DURING THE DESIGNED LIFE OF THE SEWER. NO LEAKAGE ALLOWED IN SYSTEM.</p> <p>16. ALL FORCE MAIN PIPING TO BE DR-18 GREEN OR BROWN.</p> <p>17. CONTACT ANDRE DESILET, COFB UTILITY DIRECTOR AT (904-310-3420) FOR PRE-CONSTRUCTION AND COORDINATION MEETING PRIOR TO WORK COMMENCING.</p>																							

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Gillette & Associates, Inc.  
31 South 4th Street  
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AIRPORT HANGAR DESIGN  
JAMESTOWN ROAD  
FERNANDINA BEACH, FLORIDA

CHIP MCCULLOUGH  
JAMESTOWN ROAD HANGAR

INDEX SHEET

REGISTERED DESIGN PROFESSIONAL	ISSUE DATE: 05/18/26
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ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	Project No. XX-XX-XX

**PROPERTY INFORMATION:**  
 - PID#: 06-2N-28-0000-0001-0000  
 - LEASE ACREAGE: 0.92 ACRES (39,960 SF)  
 - LOCATION: FERNANDINA BEACH, FL  
 - FLOOD ZONE: X  
 - ZONING: I-A  
 - FUTURE LAND USE: INDUSTRIAL  
 - PROPOSED USE: AIRCRAFT HANGAR  
 - MAX BUILDING HEIGHT: 45 FT

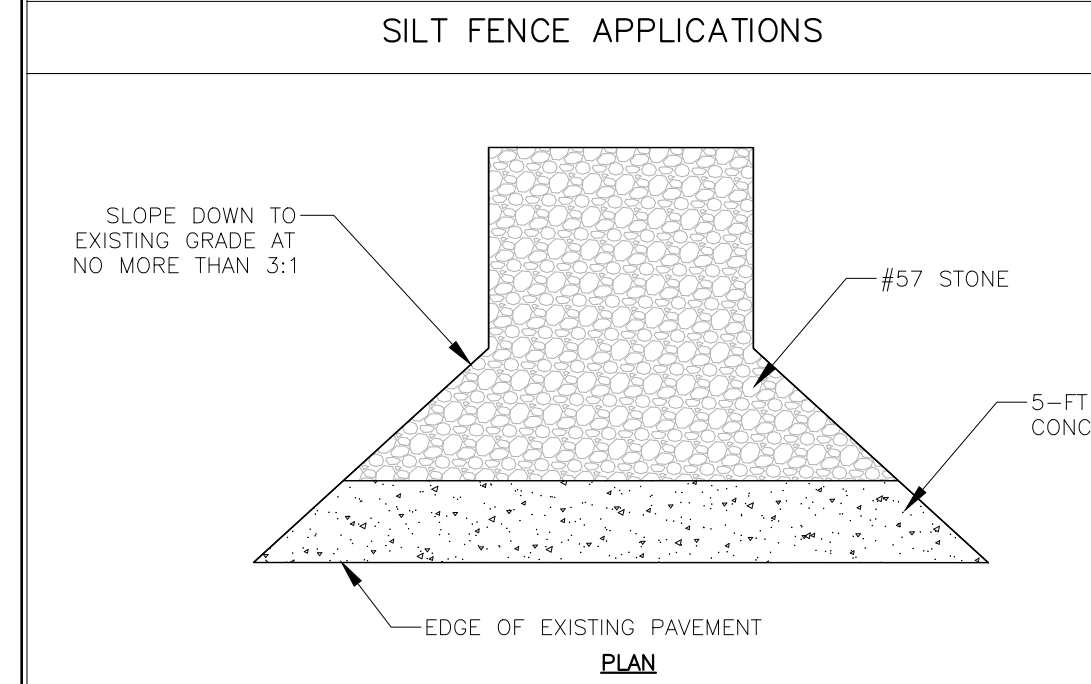
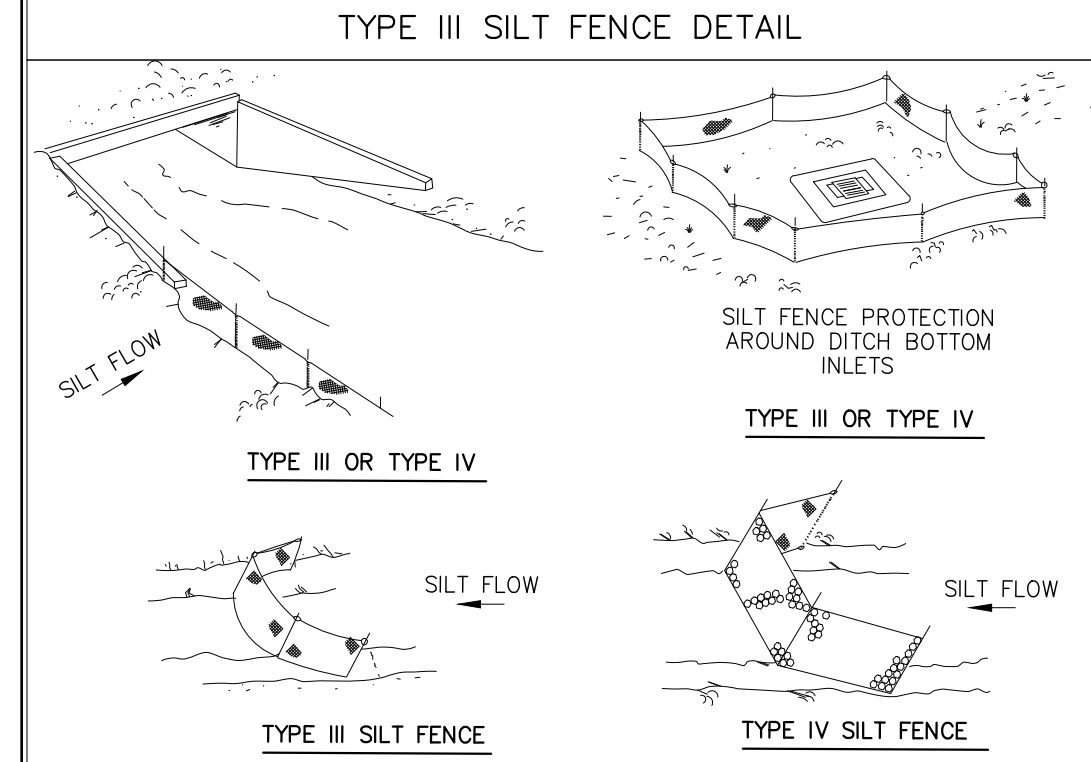
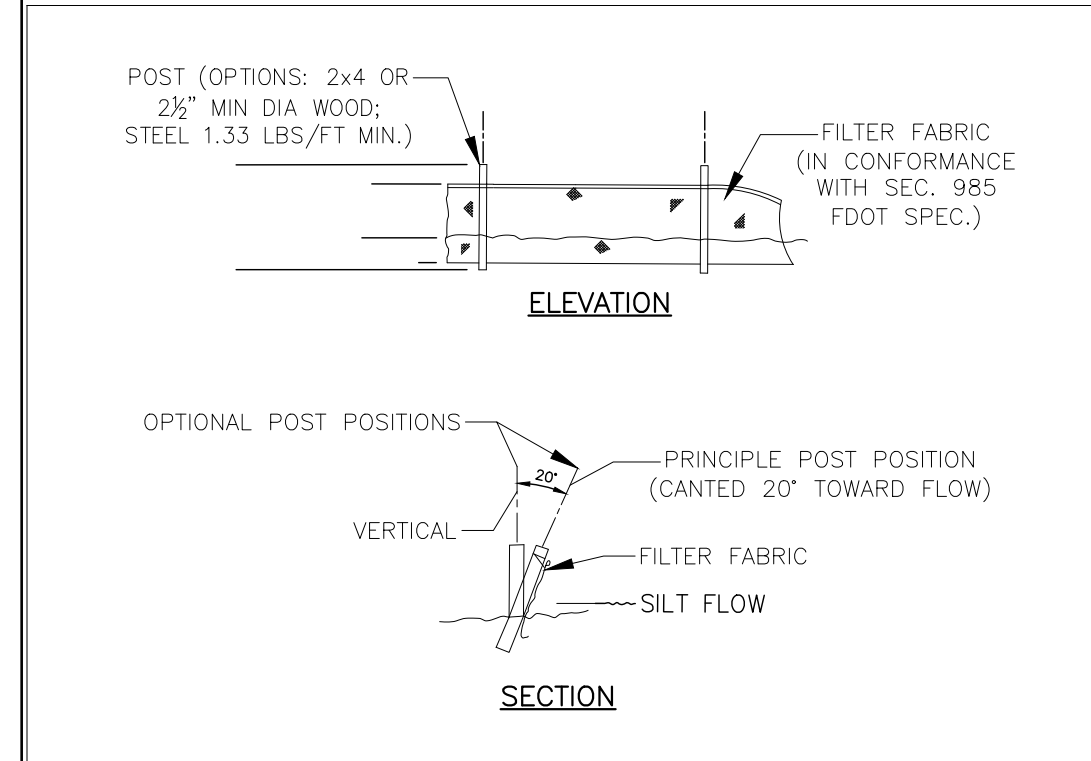
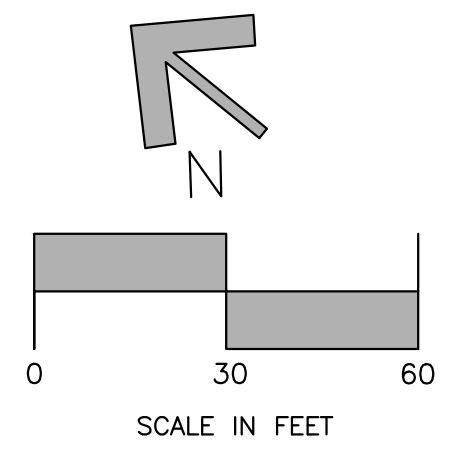
**DEVELOPMENT REQUIREMENTS:**  
 - MAX IMPERVIOUS AREA: 60%  
 - MAX FLOOR AREA RATIO (PERCENTAGE): 50%

**SETBACK REQUIREMENTS:**  
 - FRONT: 0 FEET  
 - REAR: 0 FEET  
 - SIDES: 0 FEET

**UTILITIES:**  
 - WATER: CITY OF FERNANDINA BEACH  
 - SEWER: CITY OF FERNANDINA BEACH  
 - POWER: F.P.U.

NEAREST FIRE HYDRANT IS 60 FEET NORTH ACROSS JAMESTOWN ROAD

NOT FOR CONSTRUCTION



**LEGEND**

	CONCRETE		ASPHALT
	PERVIOUS PAVERS		

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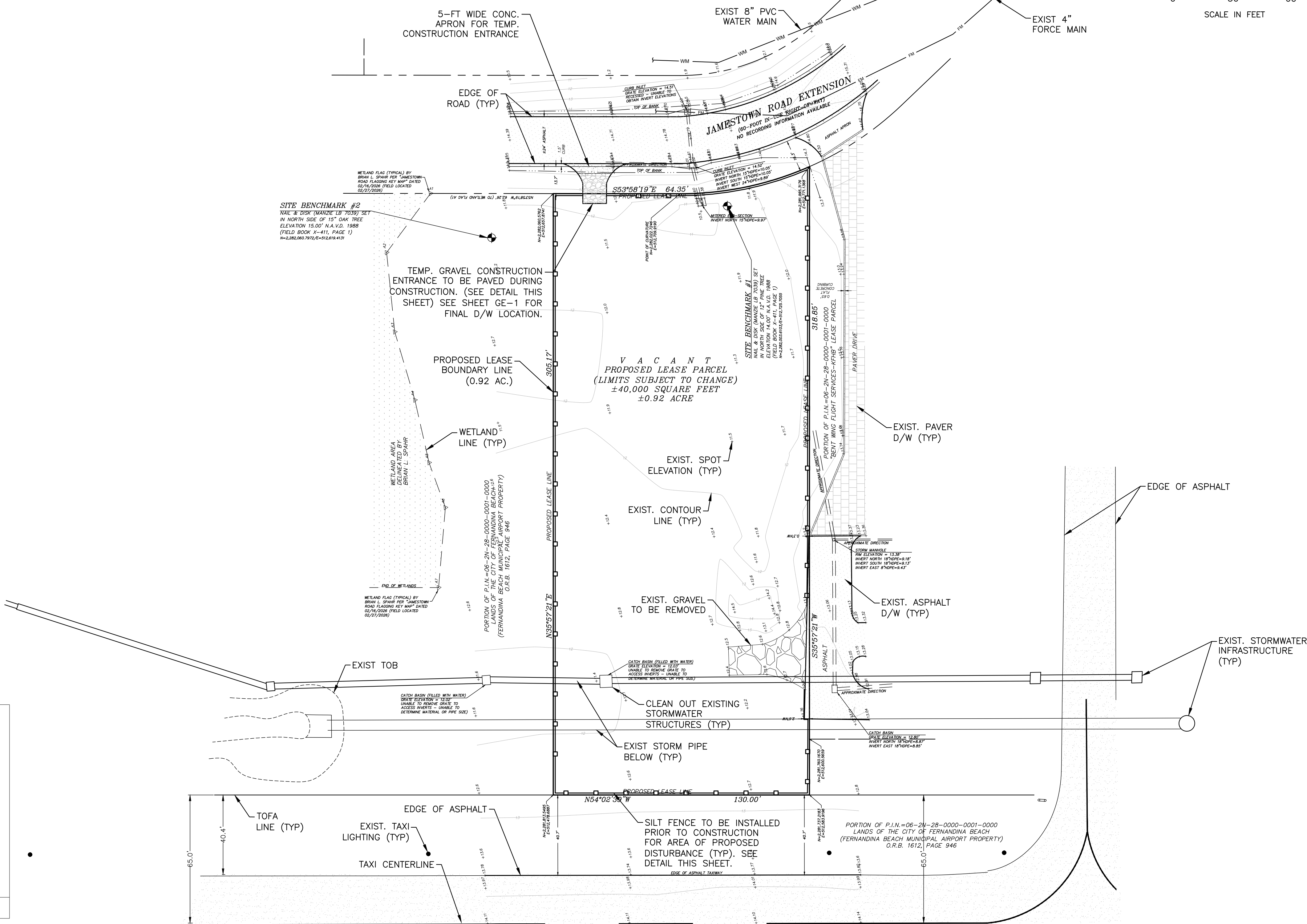
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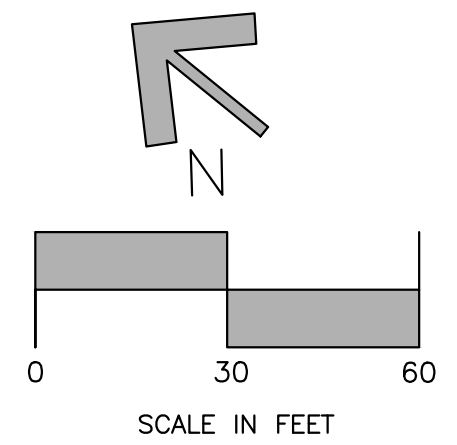
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 JAMESTOWN ROAD  
 FERNANDINA BEACH, FLORIDA

CHIP MCCULLOUGH  
 JAMESTOWN ROAD HANGAR

PREDEVELOPED  
 SITE PLAN

REGISTERED DESIGN PROFESSIONAL  
 ISSUE DATE: 05/18/26  
 Sheet PRE-1  
 Page 3 of 8  
 Project No. XX-XX-XX  
 ASA R. GILLETTE, P.E.  
 FLORIDA P.E. NO. 56177





**PROPERTY INFORMATION:**  
 - PID#: 06-2N-28-0000-0001-0000  
 - LEASE ACREAGE: 0.92 ACRES (39,960 SF)  
 - LOCATION: FERNANDINA BEACH, FL  
 - FLOOD ZONE: X  
 - ZONING: I-A  
 - FUTURE LAND USE: INDUSTRIAL  
 - PROPOSED USE: AIRCRAFT HANGAR  
 - MAX BUILDING HEIGHT: 45 FT

**DEVELOPMENT REQUIREMENTS:**  
 - MAX IMPERVIOUS AREA: 60.0%  
 - PROPOSED IMPERVIOUS AREA: 43.19% (17,260 SF)  
 BUILDING: 8,000 SF  
 CONC. APRON: 6,690 SF  
 CONC. S/W & ADA SPACE: 505 SF  
 PAVERS: 2,065 SF  
 - MAX FLOOR AREA RATIO (PERCENTAGE): 50%  
 - PROPOSED FLOOR AREA RATIO (PERCENTAGE): 20.02%

**SETBACK REQUIREMENTS:**  
 - FRONT: 0 FEET  
 - REAR: 0 FEET  
 - SIDES: 0 FEET  
 \*\*TOFA LINE = MIN. 55-FT FROM TAXI CENTERLINE

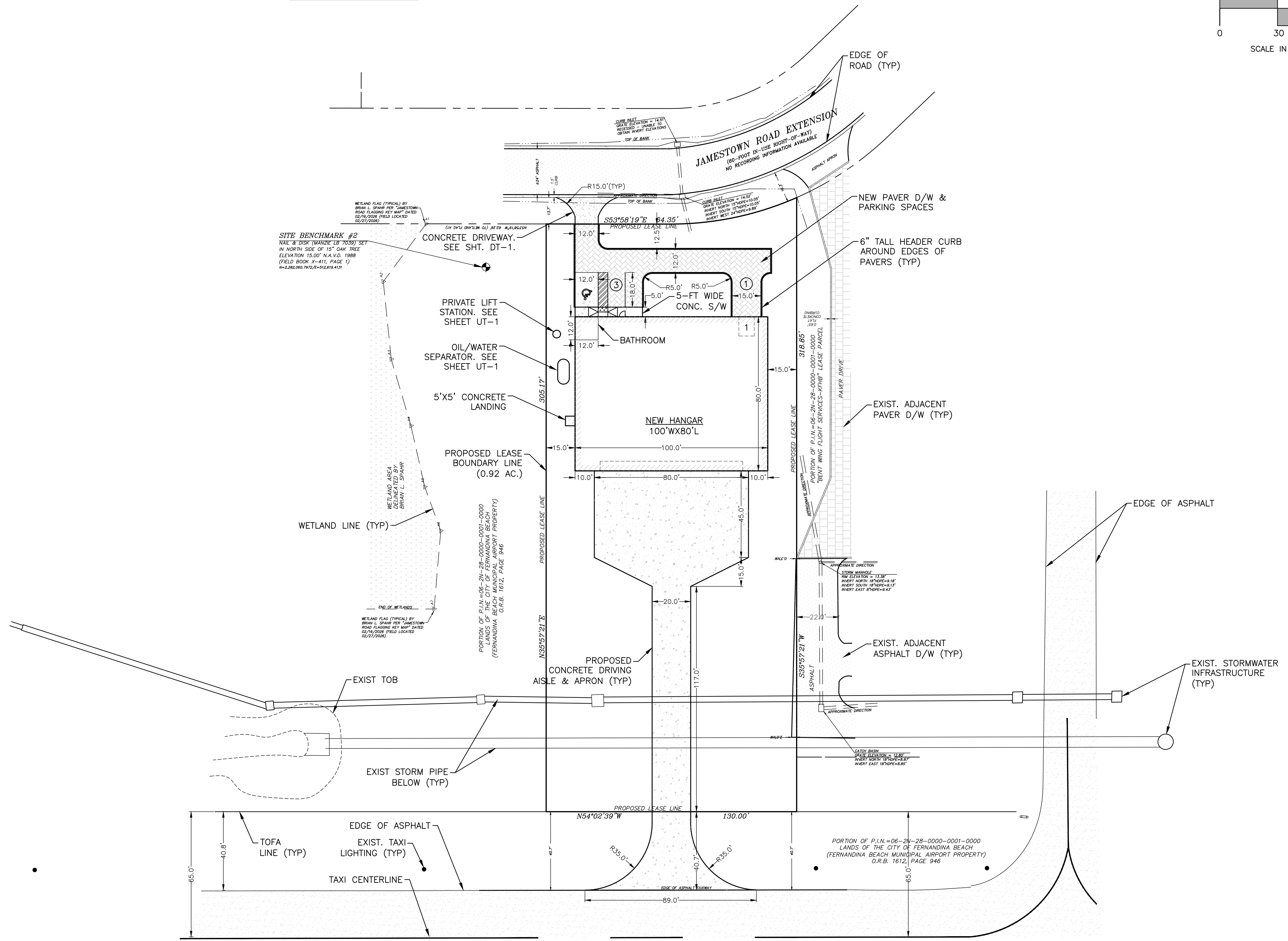
**UTILITIES:**  
 - WATER: CITY OF FERNANDINA BEACH  
 - SEWER: CITY OF FERNANDINA BEACH  
 - POWER: F.P.U.

NEAREST FIRE HYDRANT IS 75 FEET NORTH ACROSS JAMESTOWN ROAD

**PARKING REQUIREMENTS:**  
 1 PARKING SPACE/ 2,000SF OF HANGAR SPACE  
 8,000SF/2,000SF = 4 SPACES REQ'D  
 1 PARKING SPACE/ 300SF OF OFFICE SPACE  
 0 SF OF OFFICE SPACE PROPOSED  
 TOTAL SPACES PROVIDED: 4 PARKING SPACES

**NOTES:**  
 - EXTERIOR HANGAR MATERIAL: METAL SIDING IN NEUTRAL AIRPORT APPROVED COLOR

**NOTE:**  
 ALL ONSITE UTILITIES TO BE MAINTAINED BY OWNER



LEGEND	
	CONCRETE
	ASPHALT
	PERVIOUS PAVERS

L					
K					
J					
H					
G					
F					
E					
D					
C					
B	AG	05/18/26	COFB TRC SUBMITTAL #2: REV. PER COMMENTS		
A	AB	04/02/26	COFB TRC SUBMITTAL #1		
No.	By	Date	Revision		

Scale: 1:30  
 Project Mgr: AG  
 Designed by: AG  
 Drawn by: AB  
 QA/QC: NG

Gillette & Associates, Inc.  
 31 South 4th Street  
 Fernandina Beach, FL 32034  
 Certificate of Authorization No. 9332  
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**G & A<sup>+</sup>**  
 GILLETTE & ASSOCIATES, INC.  
 31 SOUTH 4TH STREET  
 FERNANDINA BEACH, FL 32034  
 PHONE: (904) 261-8819

**AIRPORT HANGAR DESIGN**  
 JAMESTOWN ROAD  
 FERNANDINA BEACH, FLORIDA

CHIP MCCULLOUGH  
 JAMESTOWN ROAD HANGAR

GEOMETRY PLAN

REGISTERED DESIGN PROFESSIONAL	ISSUE DATE: 05/18/26
	Sheet GE-1
	Page 4 of 8
ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	Project No. XX-XX-XX

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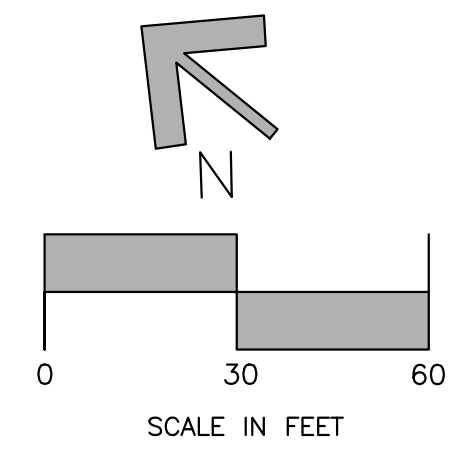
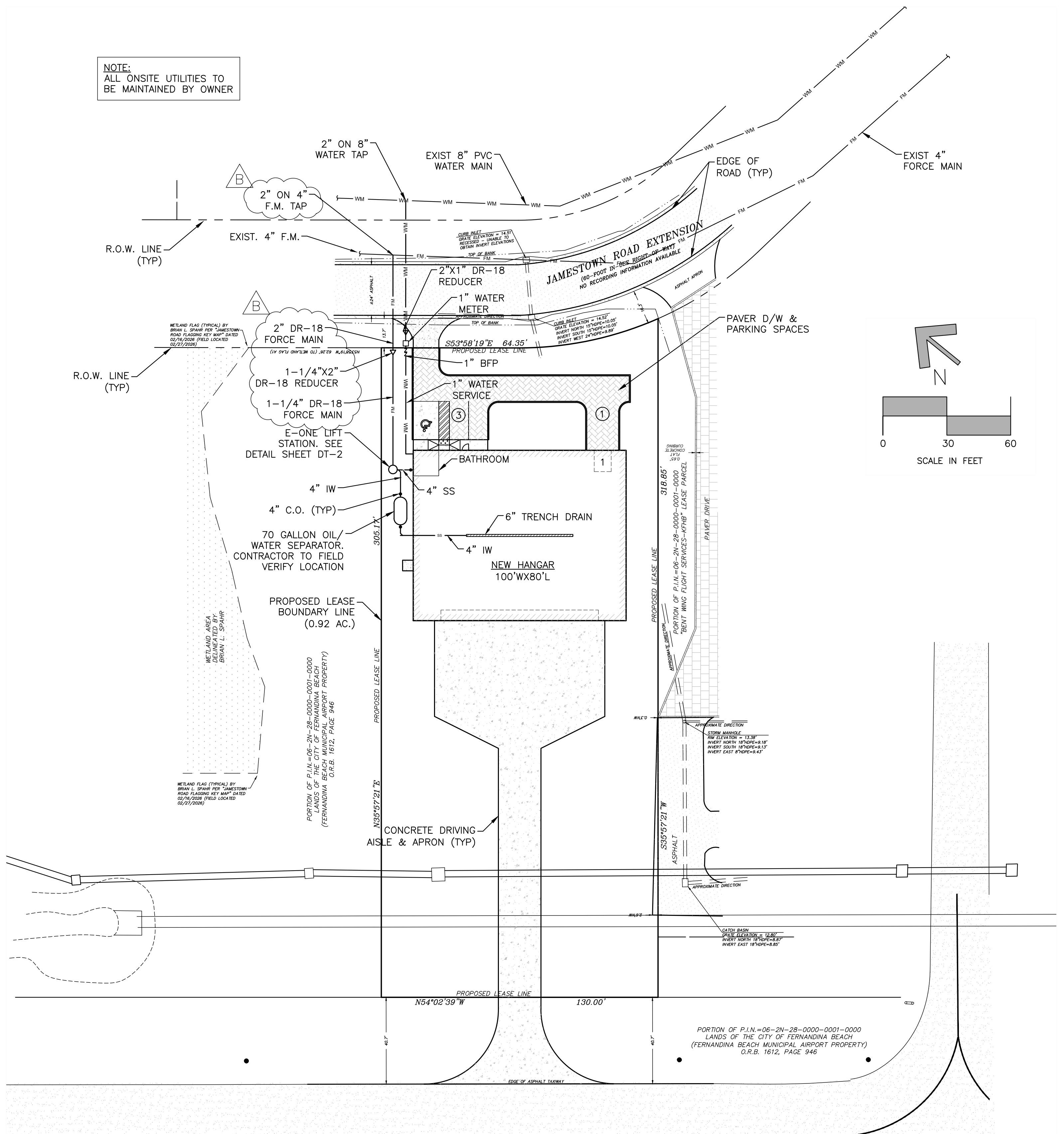
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LEGEND	
	CONCRETE
	ASPHALT
	PERVIOUS PAVERS

**UTILITY PLAN**  
 SCALE: 1:30

No.	By	Date	Revision
L			
K			
J			
H			
G			
F			
E			
D			
C			
B	AG	05/18/26	COFB TRC SUBMITTAL #2: REV. PER COMMENTS
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Scale: SEE PLAN  
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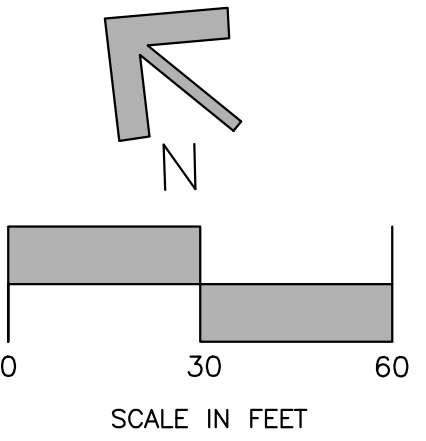
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 PHONE: (904) 261-8819

**AIRPORT HANGAR DESIGN**  
 JAMESTOWN ROAD  
 FERNANDINA BEACH, FLORIDA

CHIP MCCULLOUGH  
 JAMESTOWN ROAD HANGAR

UTILITY PLAN

REGISTERED DESIGN PROFESSIONAL  
 ISSUE DATE: 05/18/26  
 Sheet UT-1  
 Page 5 of 8  
 Project No. XX-XX-XX  
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  - PAVERS: 2,065 SF
  - MAX FLOOR AREA RATIO (PERCENTAGE): 50%
  - PROPOSED FLOOR AREA RATIO (PERCENTAGE): 20.02%

- DRAINAGE NOTES:**
- DRAINAGE STRUCTURE DETAILS ON SHEET DT-1
  - WATER RUNOFF TO BE DIRECTED TO NEAREST DRAINAGE STRUCTURE
  - SUBJECT PARCEL IS PART OF A LARGER MASTER STORMWATER MAINTENANCE SYSTEM. WATER RUNOFF ALREADY ACCOUNTED FOR BY MEANS OF EXISTING ADJACENT WET POND, EXISTING STORM STRUCTURES DIRECTING RUNOFF TO ADJACENT WET POND

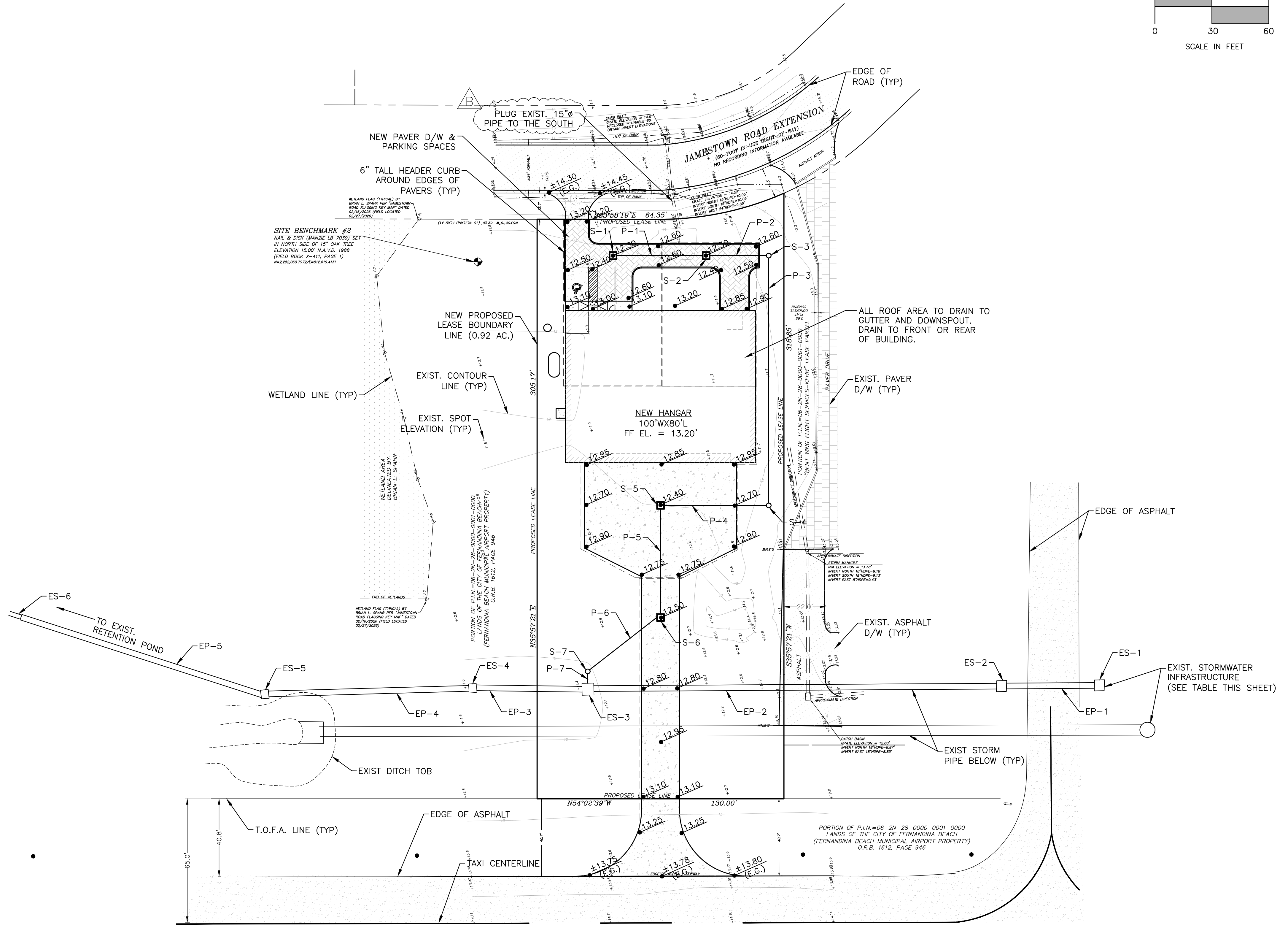
STRUCTURE TABLE - PROPOSED						
NAME	TYPE	TOP/INLET ELEV.	INVERT ELEVATION			
			N	S	E	W
S-1	TYPE C INLET	12.30	-	-	8.80	-
S-2	TYPE C INLET	12.30	-	-	8.69	8.69
S-3	30"Ø MANHOLE	12.75	-	8.61	-	8.61
S-4	30"Ø MANHOLE	12.50	8.28	-	-	8.28
S-5	TYPE C INLET	12.40	-	8.14	8.14	-
S-6	TYPE C INLET	12.50	8.00	8.00	-	-
S-7	30"Ø MANHOLE	12.10	7.88	7.88	-	-

\* NORTHEAST  
\*\* SOUTHWEST

STRUCTURE TABLE - EXIST						
NAME	TYPE	TOP/INLET ELEV.	INVERT ELEVATION			
			N	S	E	W
ES-1	TYPE C INLET	11.65	-	-	-	4.45
ES-2	TYPE C INLET	11.77	-	-	4.26	4.25
ES-3	TYPE C INLET	12.03	7.87	-	3.62	3.54
ES-4	TYPE C INLET	12.02	-	-	3.59	3.50
ES-5	TYPE C INLET	11.61	-	-	3.35	3.29
ES-6	MES	-	-	-	1.62	-

PIPE TABLE - PROPOSED						
NAME	SIZE	TYPE	LENGTH	FROM	TO	
P-1	18"	ADS HP	45'	S-1	S-2	
P-2	18"	ADS HP	30'	S-2	S-3	
P-3	18"	ADS HP	130'	S-3	S-4	
P-4	18"	ADS HP	54'	S-4	S-5	
P-5	18"	ADS HP	56'	S-5	S-6	
P-6	18"	ADS HP	45'	S-6	S-7	
P-7	18"	ADS HP	5'	S-7	ES-3	

PIPE TABLE - EXIST						
NAME	SIZE	TYPE	LENGTH	FROM	TO	
EP-1	36"	RCP	46'	EP-1	EP-2	
EP-2	36"	RCP	212'	EP-2	EP-3	
EP-3	36"	RCP	55'	EP-3	EP-4	
EP-4	36"	RCP	105'	EP-4	EP-5	
EP-5	36"	RCP	133'	EP-5	EP-6	



LEGEND	
	CONCRETE
	ASPHALT
	PERVIOUS PAVERS

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B	AG	05/18/26	COFB TRC SUBMITTAL #2: REV. PER COMMENTS
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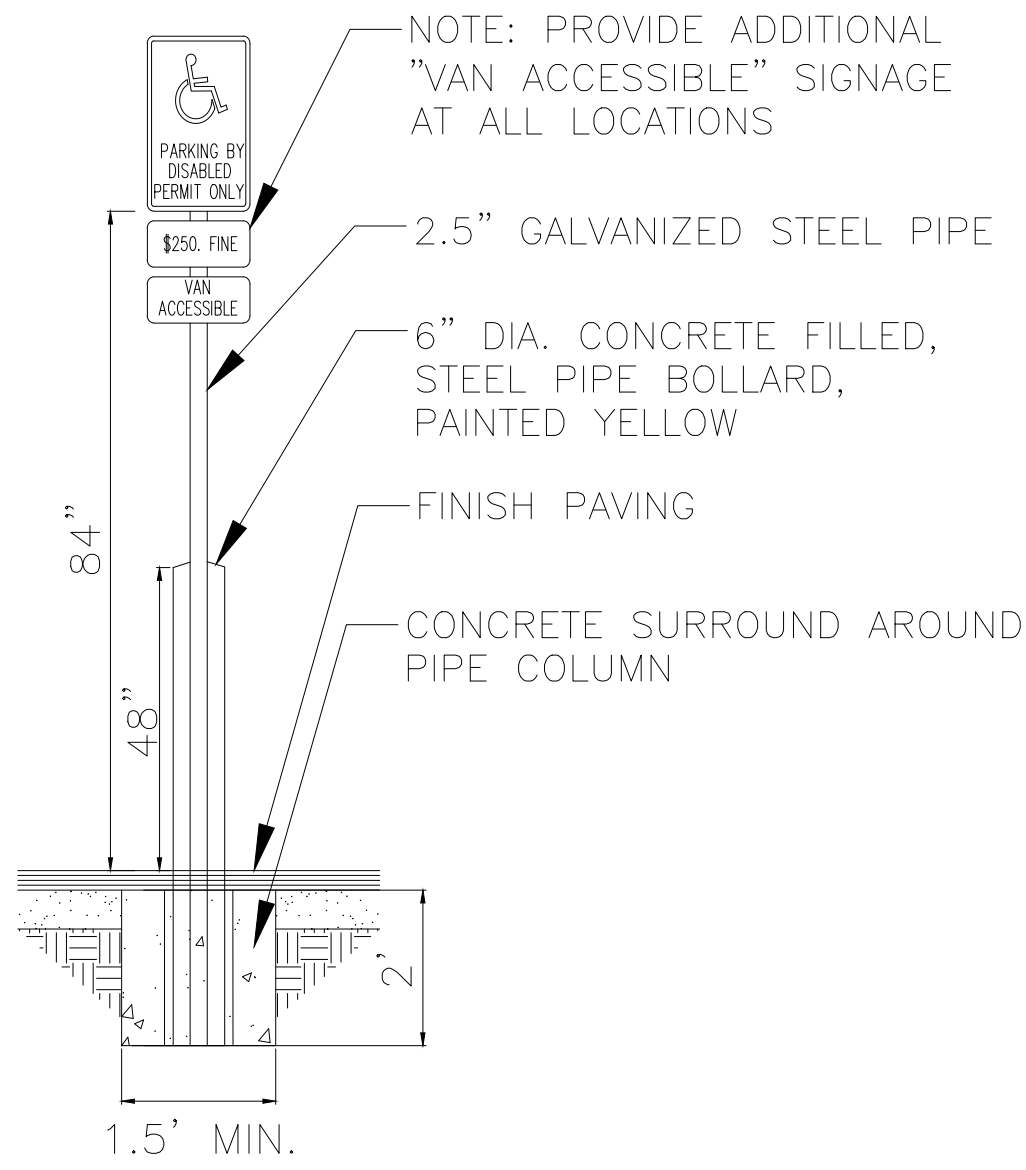
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**AIRPORT HANGAR DESIGN**  
JAMESTOWN ROAD  
FERNANDINA BEACH, FLORIDA

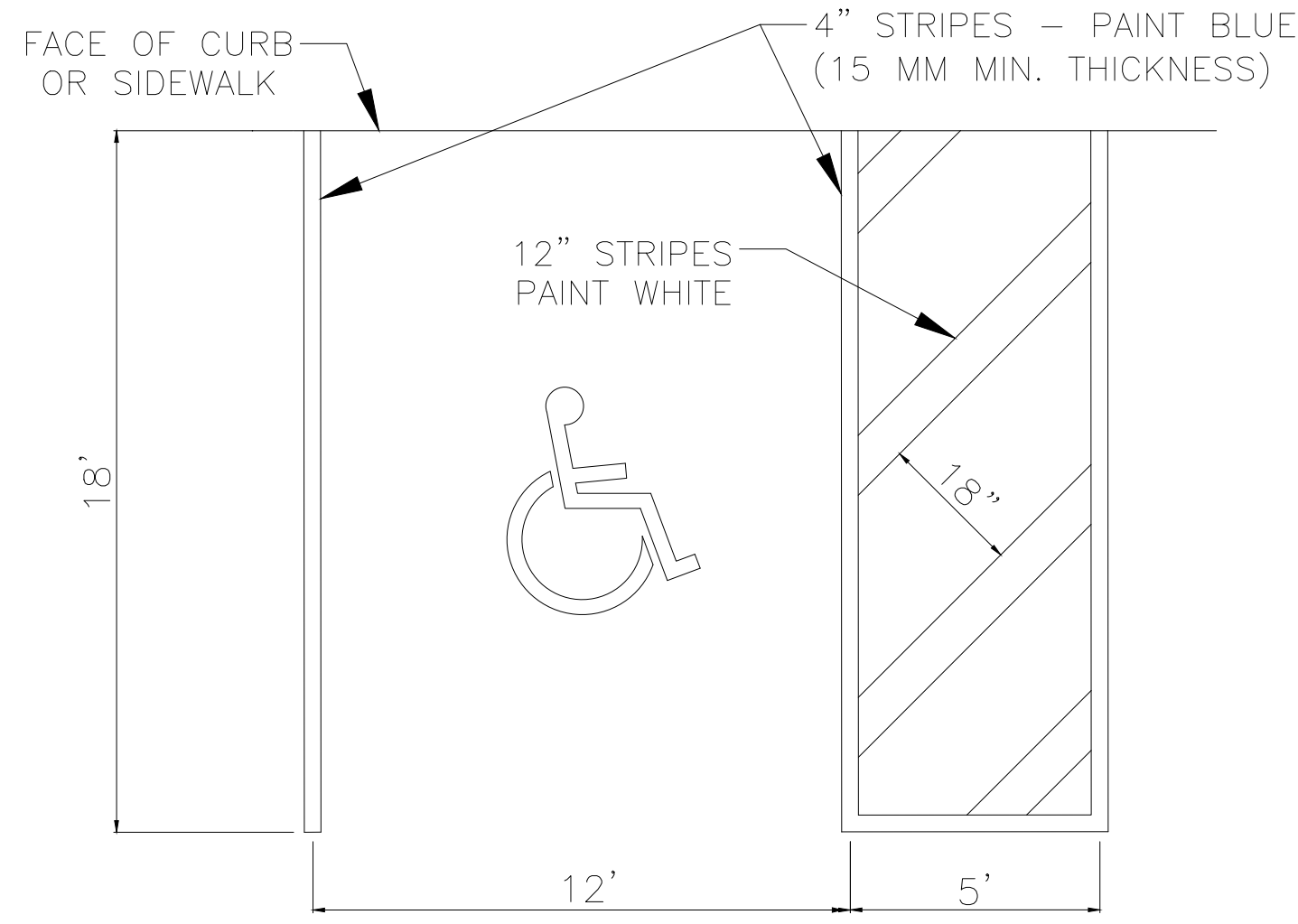
CHIP MCCULLOUGH  
JAMESTOWN ROAD HANGAR

DRAINAGE PLAN

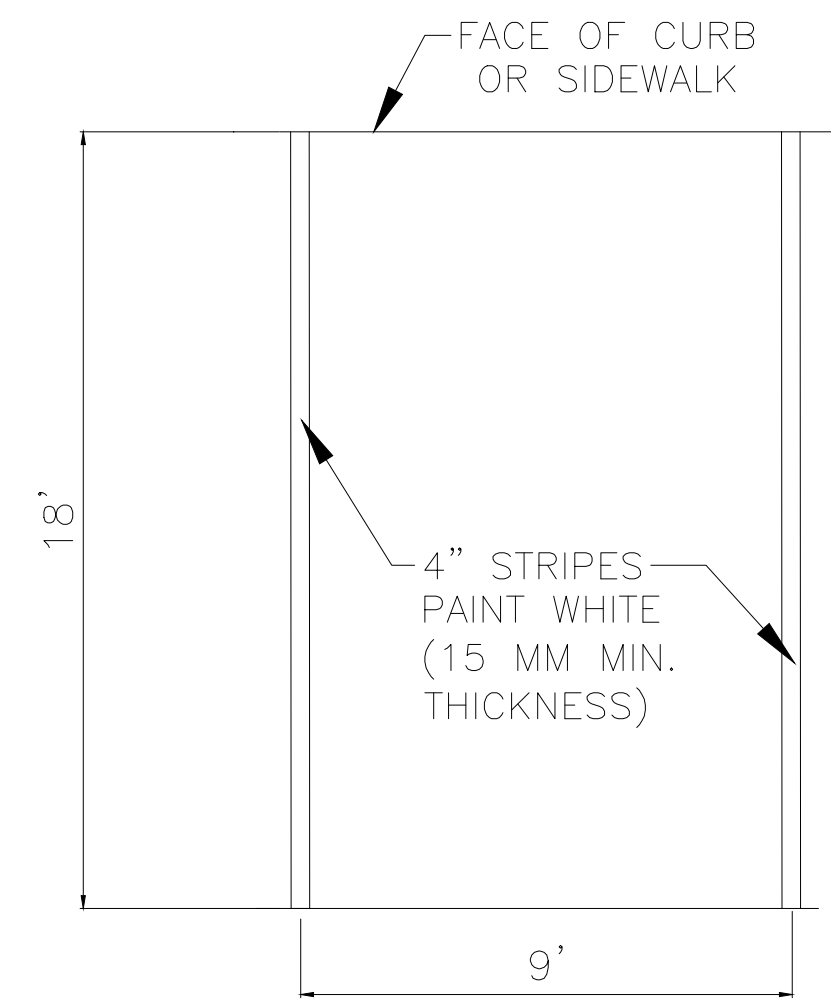
REGISTERED DESIGN PROFESSIONAL	ISSUE DATE: 05/18/26
ASR R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	Sheet DR-1
	Page 6 of 8
	Project No. XX-XX-XX



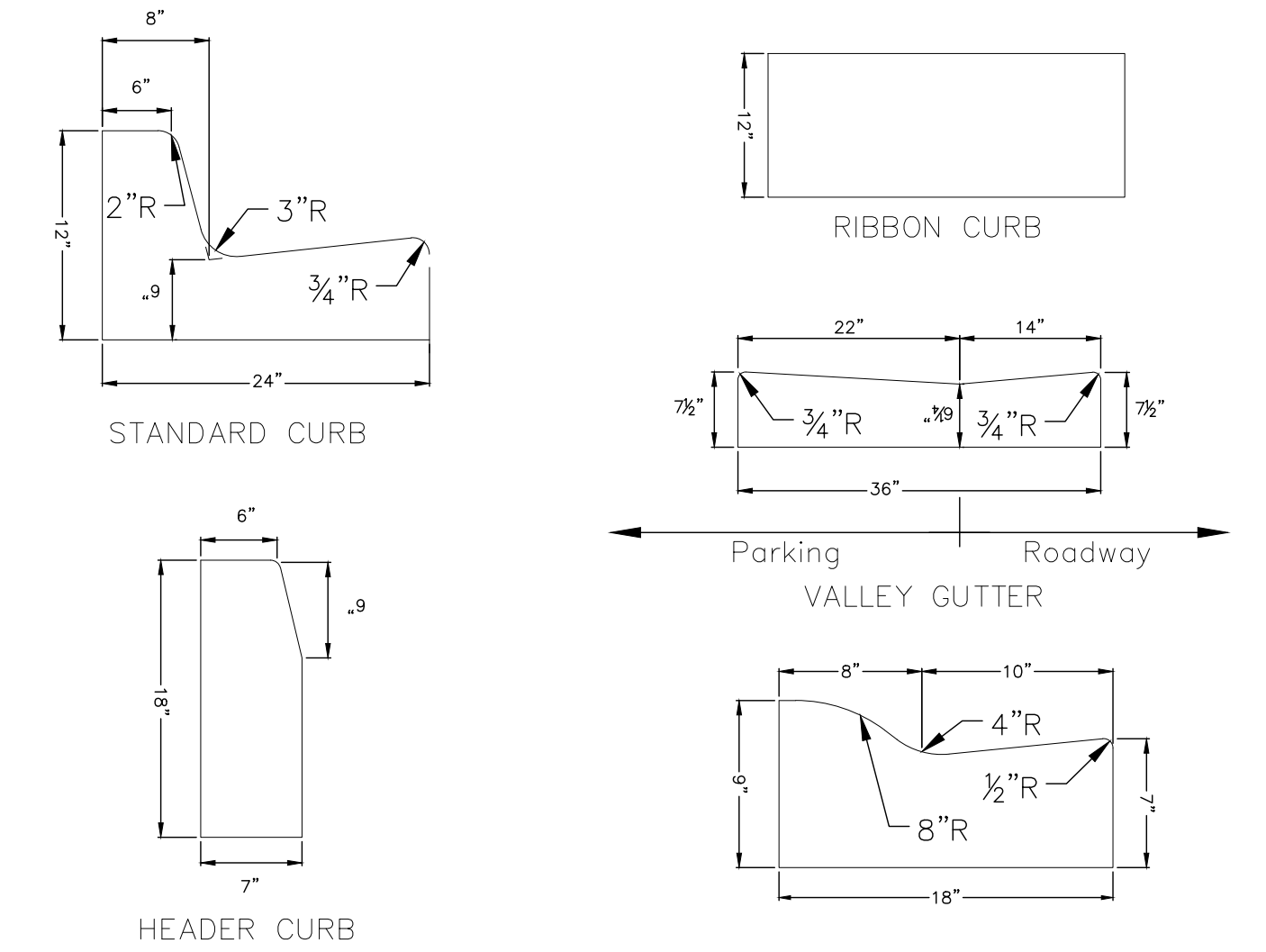
- NOTES:
1. ALL SIGNS SHOWN SHALL CONFORM TO FEDERAL ACCESSIBILITY SPECIFICATIONS.
  2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
  3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
  4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.



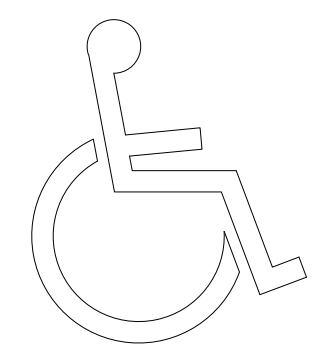
TYPICAL DISABLED PARKING



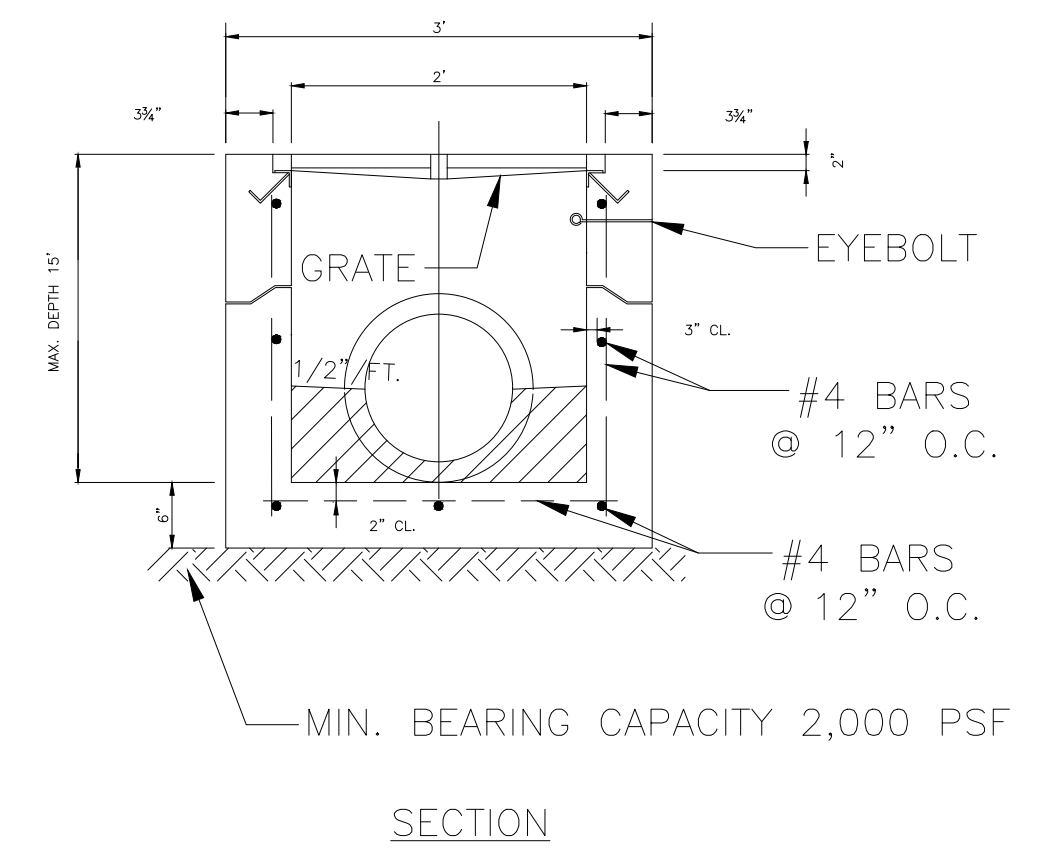
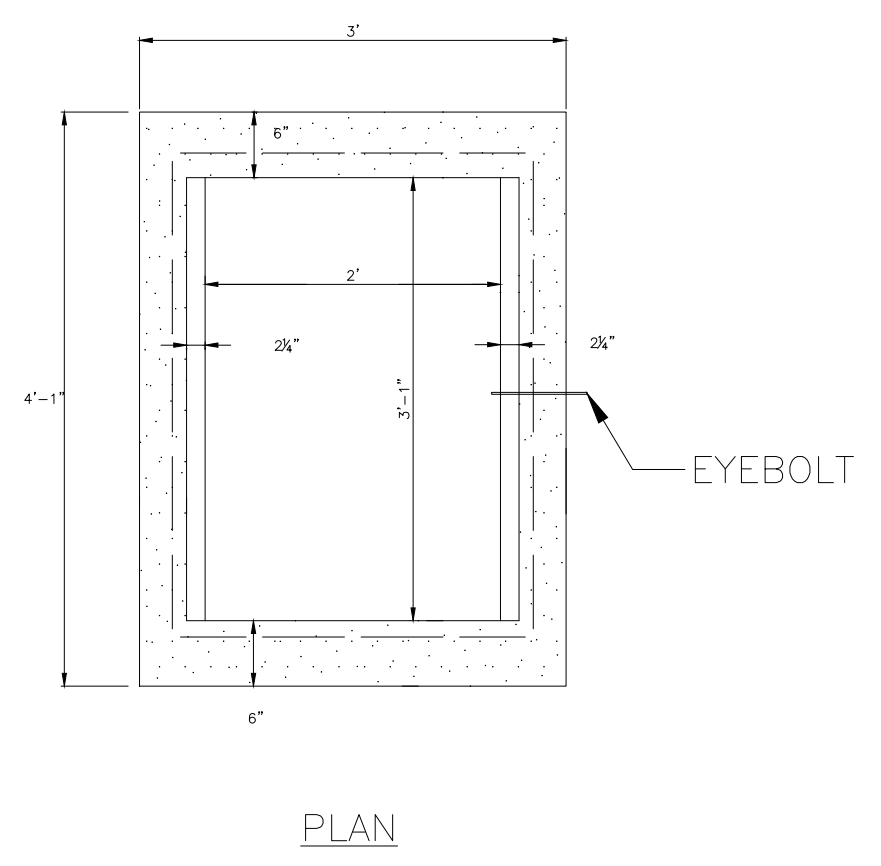
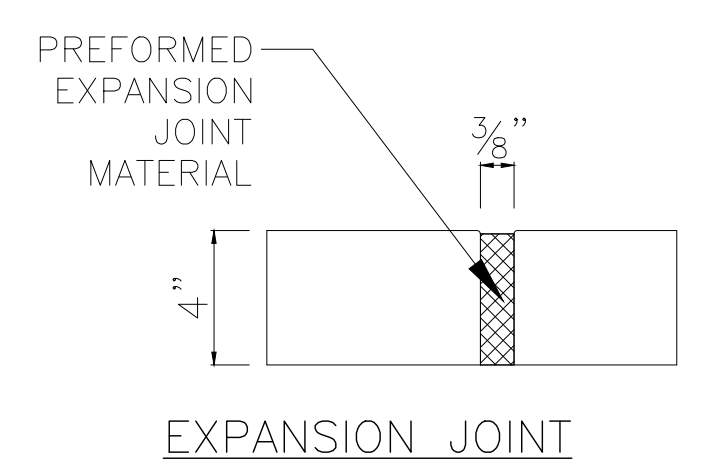
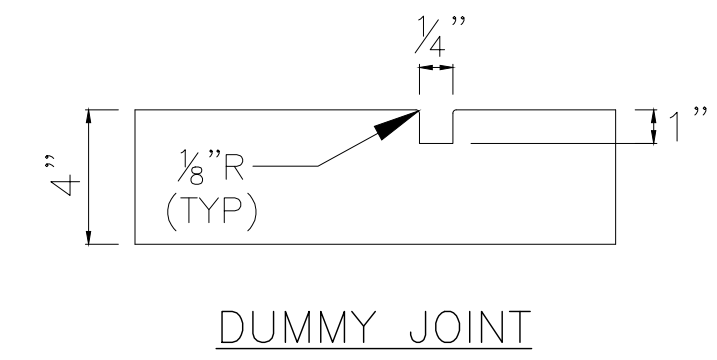
TYPICAL PARKING DETAIL



CURB DETAILS



NOTE: PAINT SYMBOL ABOVE ONTO PAVED SURFACE WITH (2) COATS OF HANDI-CAP BLUE PAINT MANUFACTURED AS PER DEPT. OF TRANS. SPECS.



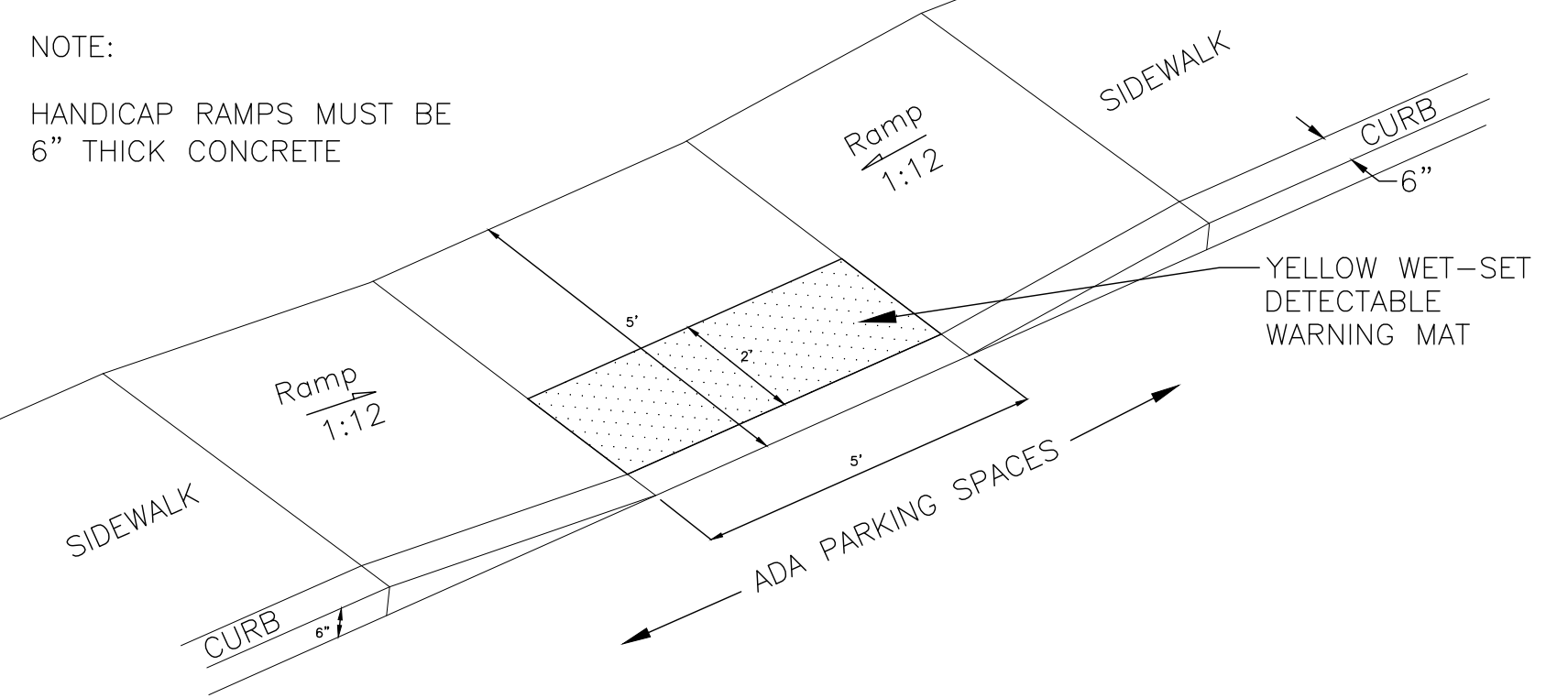
- NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI
  2. PIPES SHALL BE FLUSH WITH INSIDE WALL
  3. SLOT OPENING SHALL NOT BE IN WALLS WITH RATE SEAT

HANDICAP SIGN DETAIL

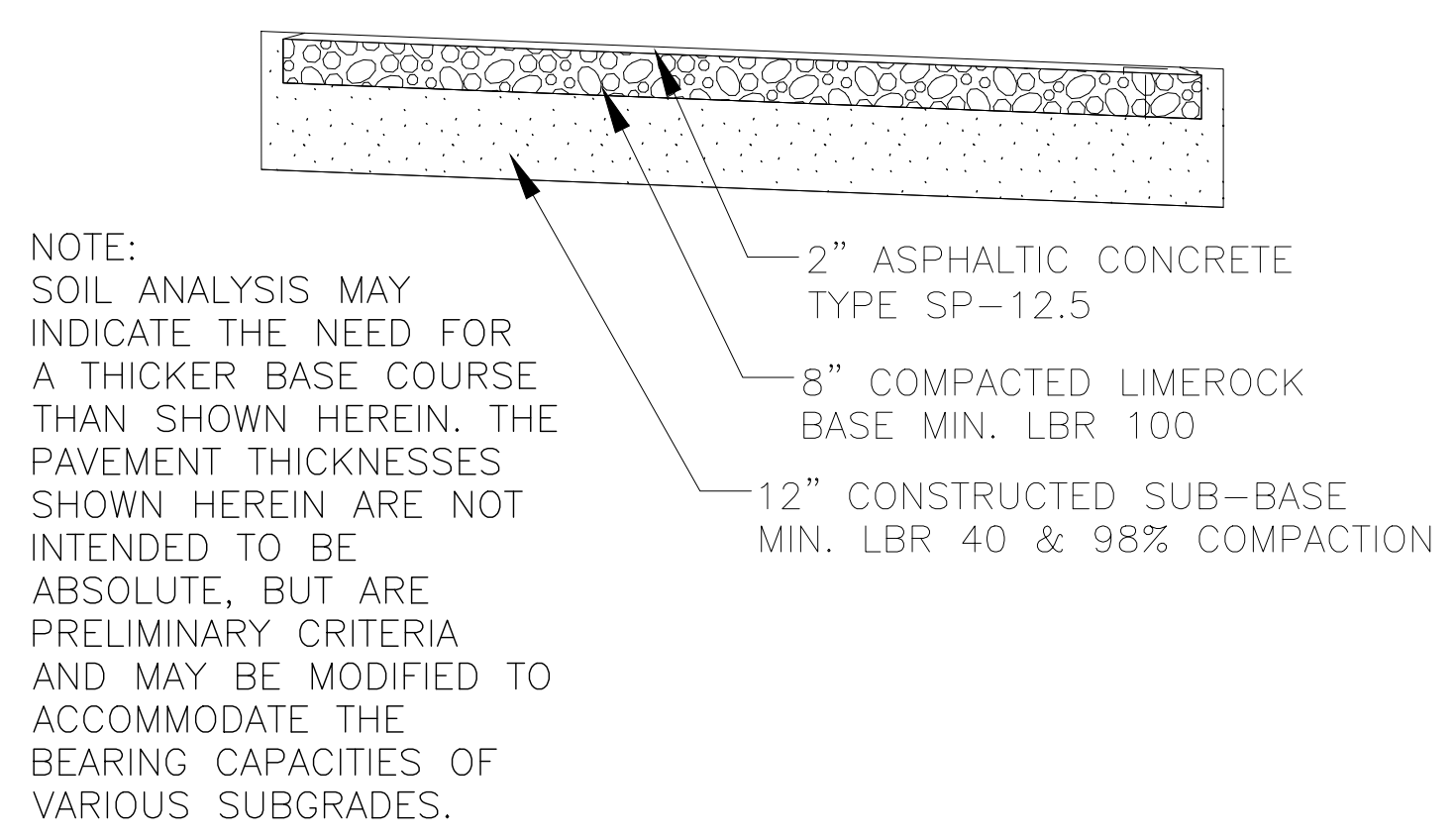
HANDICAPPED SYMBOL

SIDEWALK JOINT DETAILS

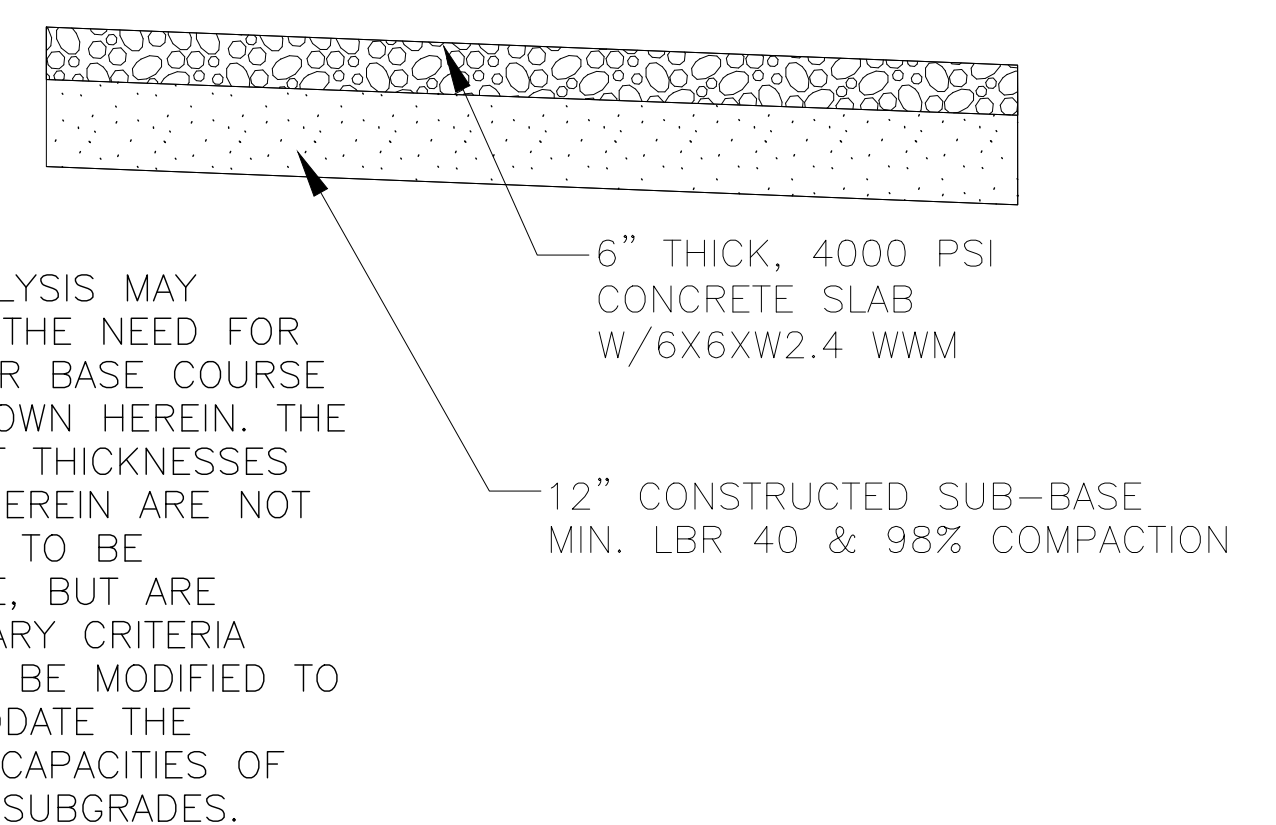
TYPE C INLET DETAIL



PARKING LOT CURB RAMP DETAIL



ASPHALT PAVEMENT DETAIL



CONCRETE PAVEMENT DETAIL

L			
K			
J			
H			
G			
F			
E			
D			
C			
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AIRPORT HANGAR DESIGN

JAMESTOWN ROAD

FERNANDINA BEACH, FLORIDA

CHIP MCCULLOUGH

JAMESTOWN ROAD HANGAR

MISCELLANEOUS DETAILS

REGISTERED DESIGN PROFESSIONAL

ISSUE DATE: 05/18/26

Sheet DT-1

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Project No. XX-XX-XX

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**NOTES:**

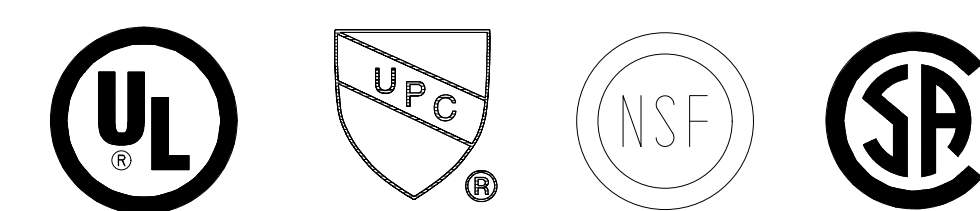
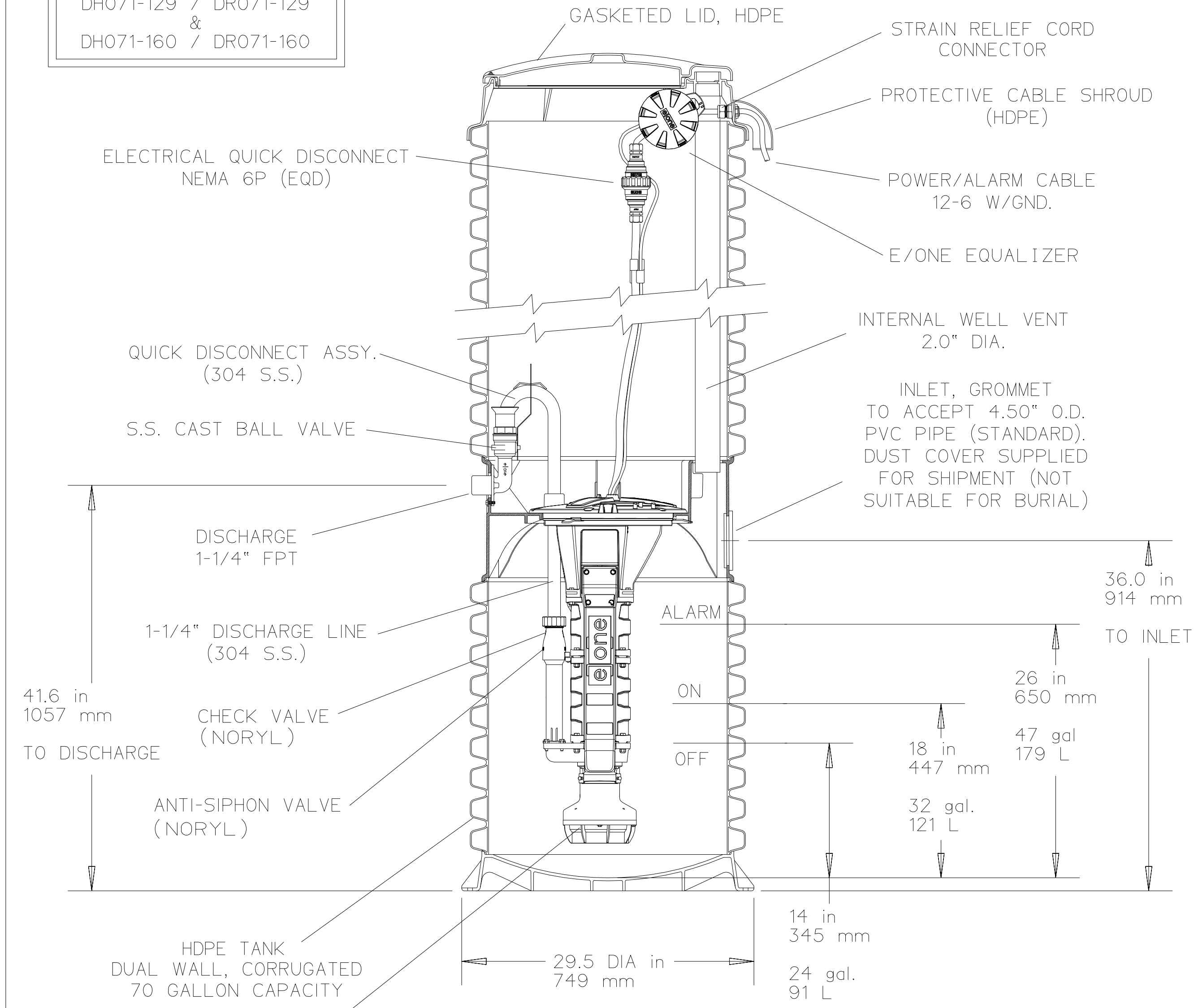
EONE LIFT STATION  
70 GALLON  
1HP  
120/240V  
1725RPM

-DETAIL SHOWN FROM EONE MANUFACTURE.

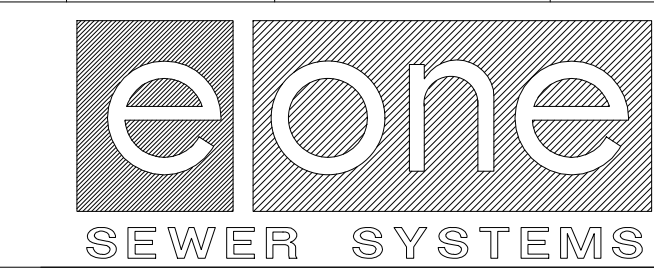
-LIFT STATION USED TO BE SAME OR SIMILAR MODEL WHICH MEETS SPECIFICATIONS ABOVE

FIELD JOINT REQUIRED FOR MODELS  
DH071-129 / DR071-129  
&  
DH071-160 / DR071-160

**OPTIONS :**  **DH071** (HARD WIRED LEVEL CONTROLS)  
 **DR071** (WIRELESS LEVEL CONTROLS)



AD	CH	10/20/10	E	
DR BY	CHK'D	DATE	ISSUE	SCALE



MODEL DH071 / DR071  
DETAIL SHEET

NA0050P02

CONCRETE BALLAST MAY BE REQUIRED  
SEE INSTALLATION INSTRUCTION  
FOR DETAILS

NOTE: DIMENSIONS ARE FOR REF ONLY

L				
K				
J				
H				
G				
F				
E				
D				
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E-ONE LIFT  
STATION DETAILS

REGISTERED DESIGN PROFESSIONAL	ISSUE DATE: 05/18/26
	Sheet DT-2
	Page 8 of 8
ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	Project No. XX-XX-XX