



**AGENDA
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
JUNE 25, 2026
10:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**
 - 4.1 Approval of Minutes from the Regular Meeting of June 11, 2026.
- 5. FIRST STEP REVIEW (PRE-APPLICATION ITEMS)**
- 6. OLD BUSINESS**
- 7. NEW BUSINESS**
 - 7.1 **TRC 2025-0010 - TOM MILLER, 1750 S. 14TH STREET**
Site Plan Review for a commercial flex space.
- 8. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN.**
- 9. COMMITTEE BUSINESS**
- 10. ADJOURNMENT**

NEXT REGULAR TRC MEETING IS SCHEDULED FOR JULY 9, 2026.

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.



**MINUTES
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
JUNE 11, 2026
10:00 AM
CITY HALL COMMISSION
CHAMBERS 204 ASH STREET
FERNANDINA BEACH, FL 32034**

1. CALL TO ORDER: 10:00 AM

2. ROLL CALL

Jacob Platt, Project Coordinator
Jimmy Parr, Building
Jason Higginbotham, Fire
Cathy Sabattini, Public Works Operation

Mia Sadler, Planning & Conservation
David Neville, Arborist/Urban Forester
Sydney Watkins, Stormwater/Utilities
Marco Aguilera, Code Enforcement

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

4.1 Approval of Minutes for the Regular Meeting of May 14, 2026.

Member Watkins proposed a correction to item 5.1 with her comments regarding the requirement of grease traps.

ACTION TAKEN: A motion was made by Member Sadler, seconded by Member Watkins to approve the Minutes for the Regular Meeting of May 14, 2026, as amended.

Motion taken by voice vote, being all ayes, carried.

5. FIRST STEP REVIEW (PRE-APPLICATION ITEMS)

5.1 GULFSTREAM DESIGN GROUP, LLC - ALACHUA STREET TOWNHOMES - 101 ALACHUA STREET.

Site plan review for the construction of 9 townhome units and ancillary infrastructure. (C-3)

This item was heard as the second item as they were waiting for the agent.

John Tolan, Harbor Development Group, 3379 Peachtree Street, Atlanta, and Matt Lahti, Gulfstream Desing Group, 2225 A1A South, St. Augustine, provided insight about the project located at the corner of Alachua Street and N. 2nd Street.

Chair Platt said that 3 parcels were calculated to tie into the Alachua Street stormwater system. Member Watkins indicated the applicant would have to pay a fee to tie into the existing stormwater system. She additionally commented on the connection points, but to verify with the Utility and Stormwater departments for the capacity. She recommended a backflow preventer bank for every service that is being provided.

DRAFT

The applicants stated that there have been new plans developed and will submit those to the department for review.

Ms. Sadler stated that any vertical construction and architectural plans will need to be approved by the historic district. Seeing as this project is located in the Historic District and also in the Community redevelopment Area (CRA) she recommended that the applicant consult the Downtown Historic District Design Guidelines and the CRA Design Guidelines before going into design stages. She also noted that the Certificate of Approval (COA) does need to be issued before the Local Development Order (LDO) by this committee. Ms. Sadler reiterated the need to reestablish those lots of records, address the bike rack, mail kiosk and the dumpster area.

Member Platt stated that because this development is within 25 ft of the railroad, the applicant should initiate a conversation with railroad company as soon as possible about their projects site development, especially the issue pertaining to the right of entry. The applicant asked Member Platt for a contact for the railroad. Member Platt will provide that information.

Member Neville explained that code requires 2 shade trees for every 200 sqft and that they have to be for each lot since they will be individually owned. The applicant asked if they are not able to be achieve the requirement, and inquired if there is a tree bank they can buy into. Member Neville answered in the negative, that mitigation pertains to removed trees. He explained that there is no tree bank per say, but that there could be options available to meet these mitigation requirements and this can be discussed after consultation with planning management.

Member Higginbotham spoke of the required 150 ft T-turn around for fire apparatus and also noted that in some cases there are exceptions for sprinkler systems, but confirmed that there is no other access road or means of entry.

Members discussed other possible means of entry and the need for sprinkler system, but could not find a solution to the issue of proper means of entry.

Chair Platt stated that a summary of the comments would be shared with the applicants.

5.2 ROMAN PM, LLC - 218 ASH STREET
Conversion of the 2nd floor to a living area. (C-3)

Raphael Roman, 8691 Heather Run , Jackonville, requesting a change of use from commercial use to residential on the second floor.

Ms. Sadler explained that residential use is permissible, that the property is in the historic district so any changes to the exterior of the structure will require approval, whether by staff or the board level approval. The applicant indicated that they are aware of this and will let Staff know. He further went into the detail of the changes that have and would occur to the interior.

Member Neville noted that tree requirements are not applicable for this project.

Member Higginbotham stated that a full set of drawings would be required to show all the separations between the commercial level and the residential level. Plans would have to show that these changes meet fire codes, including the stairwell being fireproofed, and the required second means of ingress/egress.

Member Parr spoke on the building code requirements and asked the applicant to seek a design professional.

Chair Platt that if the applicant secures the service of a design professional, he could then move directly to permitting.

5.3 GILLETTE & ASSOCIATES, INC - CRANE ISLAND ACCESS GATE ENTRY REALIGNMENT
Site plan review for Access Gate Entry Realignment for Crane Island Subdivision

DRAFT

Nick Gillette, Gillette and Associates, spoke of the turn arounds challenges on the roadways in Crane Island. He noted that this would create additional impervious area in adding an estimated 1,600 sqft. Add a couple of storm structures. Drainage will be the same and there are no regulated trees that will be taken out.

Member Sadler asked about the pedestrian access to the trail and the impact of this project. The applicant said no changes will occur.

Member Watkins stated that there is a private forced main so if it is impacted during construction the City is not liable. She noted that a pre-construction meeting is required.

Chair Platt stated a Formal TRC application should be submittal for this project to ensure that all changes requested are met.

Ms. Sadler inquired about the type of permitting. Chair Platt confirmed that this should be a Site Work permit.

Member Higginbotham requested that the reinstallation of the “knot switch: be annotated on the site plan.

6. OLD BUSINESS

7. NEW BUSINESS

8. SIGN OFF

8.1 TRC-2026-0003 - GILLETTE & ASSOCIATES INC., AGENT FOR CHIP MCCULLOUGH, 700 AIRPORT RD (2440 JAMESTOWN RD)

Formal Site Plan Review for the construction of an aircraft hangar at the Fernandina Beach Municipal Airport. (IA)

Chair Platt stated that the sign-off would be continued since the FAA has additional comments to provide to the applicant.

9. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN

John Belizario, Sunshine State Professional Services, Inc., inquired about a changed of use for a property at 528 S. 8th Street.

Member Sadler thanked the applicant for coming to the meeting to complete the change of use.

Member Watkins spoke of capacity fees and stated that a Utility Connection application will be required.

Chair Platt confirmed that they could proceed with the LBTR to confirm the use and fill out the Utility Connection application.

Member Sabattini noted that any trash area should be screened. Member Sadler also stated that any new signage will require a sign permit.

Mr. Belizario then address a second project at 1009 S.8th Street for an addition to Cindy Hair Salon.

Mr. Belizario noted that they would like to expand in the rear by about 400 sqft.

Chair Platt confirmed that this MU-8 zoning has no setbacks except for the front setback. Member Sadler noted that the maximum impervious ratio is 60%.

DRAFT

Member Neville mentioned that since there is expansion, tree requirements are in effect. He explained the requirement for commercial property.

Member Watkins voiced some stormwater concerns that need to be addressed with Stormwater Members who are not available this week. Since this will also increase capacity, there will be a need to fill a Utility Connection application, and also there is a need for backflow preventer.

Chair Platt noted that this expansion will necessitate a civil and full site plan review

Member Higginbotham confirmed that there would be no need for a sprinkler system. He noted that plans should reflect the distance to the other building to assess fire rated separation.

Mr. Belizario addressed the reconfiguration of the parking area. Member Watkins suggested they look at the Mocama design which has impervious pavers. He also asked about site grant for the façade.

Member Sadler noted that chain link fencing is not allowed in MU-8 zoning and also suggested contacting Fernandina Beach Main Street regarding site grants for façade.

Chair Platt noted that a summary of comments will be emailed with the next step.

10. COMMITTEE BUSINESS

11. ADJOURNMENT: 11:00AM

Mackannah Tarmey, Recording Secretary

Jacob Platt, Chair



Tom Miller
1750 South 14th Street Partners LLC
5047 First Coast Hwy
Fernandina Beach, FL 32034

Sent Via Email to Project Team: tom.miller@nmrk.com

Applicant Name: Tom Miller
Project Description: South 14th St Flex Spaces
Location: 1740 South 14th Street
PIN(s): 00-00-31-127A-0002-0000
TRC Case Number: **TRC 2025-0010**

Mr. Miller,

The City of Fernandina Beach received your request for site plan review on June 5th, 2026. The Request was deemed complete on June 5th, 2026. All submitted documents provided were routed to the Technical Review Committee (TRC). The comments provided as part of this site plan review are valid for six months from the date of issuance.

If you wish to discuss any of the comments before plans are edited, you may attend any of the TRC meetings and all reviewers will be present to discuss any questions you have concerning the comments provided herein. Please let us know a week ahead of a TRC meeting if you would like to formally appear on the agenda.

If you have any questions, please contact us at TRCinfo@fbfl.city or 904-310-3480.

Sincerely,
TRC Committee



TRC Reviewers: After reviewing proposed plans...

- If you have comments that need to be addressed in a resubmittal, please check the first box and enter comments in the bulletized list, **or**
- If you have no comments or the applicant has satisfactorily addressed all of your previous comments, please check the second box. This is your “sign off” for issuance of the Local Development Order (LDO) once all departments have signed off.
- Add name of reviewer and today’s date

REVIEW COMMENTS:

PLANNING

The Planning Department has reviewed the submittal and noted the following comments:

This project requires 40 Native Shade Trees. Page 11 shows 38 trees will be retained (short 2 native shade trees if retained trees are native shade trees per definition). Please submit a tree survey showing the species of these retained trees. Landscape parking breaks require a tree planting per LDC 4.05.07, please submit a landscape plan showing landscaped parking landscape breaks. Will trees around detention pond in rear be retained? Landscape plan needs to show buffer type C on east side. dn 6/9/26

OR

All previous comments have been addressed and the Department of Planning & Conservation approves issuance of a local development order.

Name of Reviewer: Planning Staff
Today’s Date: Monday, June 15, 2026

BUILDING

The Building Department has reviewed the submittal and noted the following comments

No comments at this time.

OR

All previous comments have been addressed and the Building Department approves issuance of a local development order.

Name of Reviewer: Planning StaffFirst Last
Today’s Date: Tuesday, June 9, 2026

UTILITIES & STORMWATER



The Utilities and Stormwater Department has reviewed the submittal and noted the following comments:

- Please show details about the individual sewer services.
- Inside drop at manhole shows a plug at the end of the tee but should be a 1/2 plug or replace the tee with a bowl system.
- Add detail showing method for coating the manhole after inside drop installation.
- Please provide evidence the existing retention will sufficiently support the project with a formal letter from SJRWMD or a stormwater drainage report. Please provide evidence the existing retention will sufficiently support the project with a formal letter from SJRWMD or with a stormwater drainage report.

OR

All previous comments have been addressed and the Public Works Department approves issuance of a local development order.

Name of Reviewer: Sydney Watkins

Today's Date: Tuesday, June 9, 2026

STREETS

The Public Works Department has reviewed the submittal and noted the following comments:

Dumpster location is appropriate. Crosswalks/pavers across the garage door openings on the east building to connect the sidewalk and facilitate pedestrian circulation is required. Pedestrian connection to the easterly parking area is required. Pedestrian sidewalk to parking spaces to the east. Please provide bike racks per LDC Table 7.01.03(E).

OR

All previous comments have been addressed and the Public Works Department approves issuance of a local development order.

Name of Reviewer: Cathy Sabattini

Today's Date: Monday, June 8, 2026

CODE ENFORCEMENT

The Code Enforcement Department has reviewed the submittal and noted the following comments:

Proposed dumpster location is acceptable; however, please confirm the dumpster area will be fully enclosed with a solid masonry wall, vinyl or wooden fence per section 5.01.07.

OR

All previous comments have been addressed and the Code Enforcement Department approves issuance of a local development order.



Name of Reviewer: Marco Aguilera

Today's Date: Wednesday, June 10, 2026

FIRE

The Fire Department has reviewed the submittal and noted the following comments:

OR

All previous comments have been addressed, and the Fire Department approves issuance of a local development order.

Name of Reviewer: Jason Higginbotham

Today's Date: Monday, June 15, 2026

14TH STREET COMMERCIAL

FOR
TOM MILLER

FERNANDINA BEACH, FLORIDA

OWNER
TOM MILLER
1750 SOUTH 14TH STREET PARTNERS LLC
5047 FIRST COAST HWY
FERNANDINA BEACH, FL 32034

ENGINEER
MC2D
109 READDICK AVE,
KINGSLAND GA
912-322-5516

SURVEYOR:
MANZIE & DRAKE
LAND SURVEYING
117 SOUTH NINTH STREET,
FERNANDINA BEACH, FL 32034
(904) 491-5700



LOCATION MAP

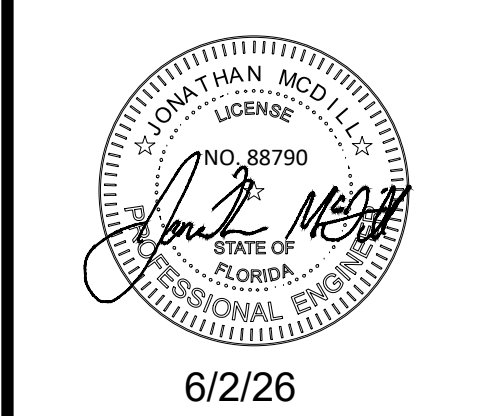
Sheet List Table		
Sheet Number	Sheet Title	Date
01	COVER	6/2/2026
02	EXISTING PLAN	6/2/2026
03	DEMOLITION CONDITIONS	6/2/2026
04	SITE PLAN	6/2/2026
05	GRADING	6/2/2026
06	STORM	6/2/2026
07	STORM PROFILES	6/2/2026
08	SEWER	6/2/2026
09	SEWER PROFILES	6/2/2026
10	WATER	6/2/2026
11	LANDSCAPE PLAN	6/2/2026
12	DETAIL 1	6/2/2026
13	DETAIL 2	6/2/2026
14	DETAIL 3	6/2/2026
15	DETAIL 4	6/2/2026



COVER
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

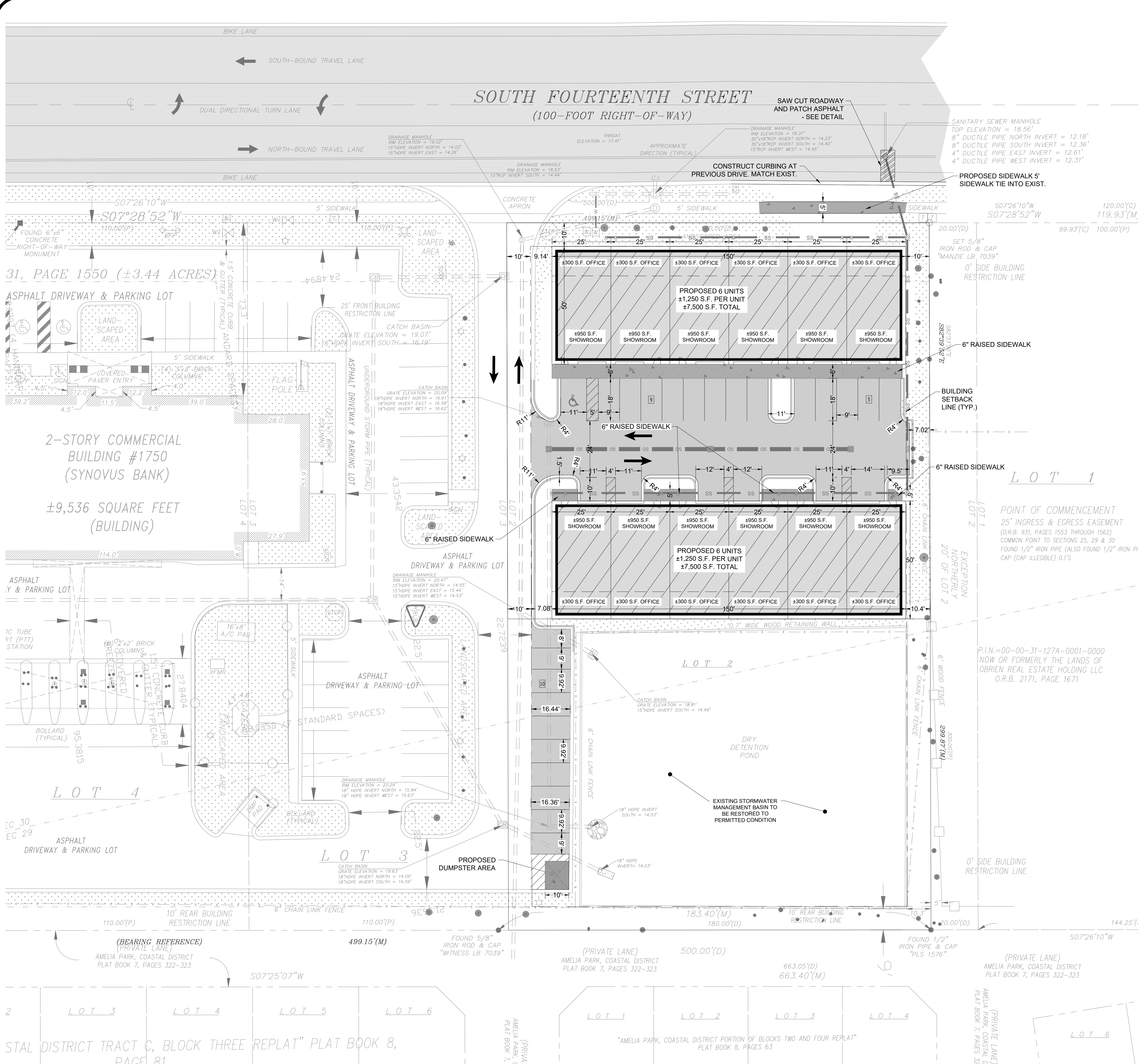
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(SEE SHEET NOTES)

CONTENT:
COVER



- LEGEND**
- PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - EXISTING ASPHALT
 - EXISTING LANDSCAPE
 - PROPOSED WATER
 - PROPOSED SEWER LINE
 - PROPOSED STORM PIPE
 - PROPOSED SEWER MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED SEWER CLEAN OUT

ZONING INFORMATION

LOCATION: FERNANDINA BEACH, NASSAU COUNTY, FLORIDA
 ZONE: C-1 (COMMUNITY COMMERCIAL)
 USE: T.B.D.

ITEM	REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT AREA	NONE REQUIRED	±53,733 S.F. (±1.23 AC.)	±53,733 S.F. (±1.23 AC.)	NO
MINIMUM LOT WIDTH	50 FEET	179 FEET	179 FEET	NO
MINIMUM LOT FRONTAGE	NONE REQUIRED	179 FEET	179 FEET	NO
MINIMUM FRONT SETBACK	NONE REQUIRED	10 FEET	10 FEET	NO
MINIMUM SIDE SETBACK	NONE REQUIRED (1)	N/A	10 FEET	NO
MINIMUM REAR SETBACK	10 FEET	N/A	132 FEET	NO
MAXIMUM BUILDING HEIGHT	45 FEET	N/A	<45 FEET	NO
MAXIMUM IMPERVIOUS COVERAGE	60 PERCENT	37 PERCENT	53.1 PERCENT	NO
MAXIMUM FLOOR AREA RATIO	1.50	N/A	0.28	NO
MAXIMUM DAILY TRIPS	NONE REQUIRED	N/A	T.B.D.	NO

PARKING INFORMATION

ITEM	REQUIREMENTS	PROPOSED	VARIANCE
PARKING REQUIRED	USE T.B.D.	24 SPACES	NO
MINIMUM ADA PARKING SPACES REQUIRED	T.B.D.	T.B.D.	NO
MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	NO
MINIMUM AISLE WIDTH	22 FEET - 2-WAY 12 FEET - 1-WAY	24 FEET - 2-WAY	NO
MINIMUM FRONT SETBACK	10 FEET	66 FEET	NO
MINIMUM SIDE SETBACK	10 FEET	11 FEET	NO
MINIMUM REAR SETBACK	10 FEET	16 FEET	NO
MINIMUM LOT LANDSCAPING MINIMUM INTERIOR LANDSCAPING	20 PERCENT 10 PERCENT	>20 PERCENT >10 PERCENT	NO NO

MCD
 MICHELL DESIGN & DEVELOPMENT

109 Readick Avenue
 Kingsland, GA 31548

SITE PLAN
SPORTS PERFORMANCE BUILDING
 FERNANDINA BEACH, FLORIDA
 PREPARED FOR:
 PAUL NOLAN

REVISIONS

NO.	DESCRIPTION	DATE

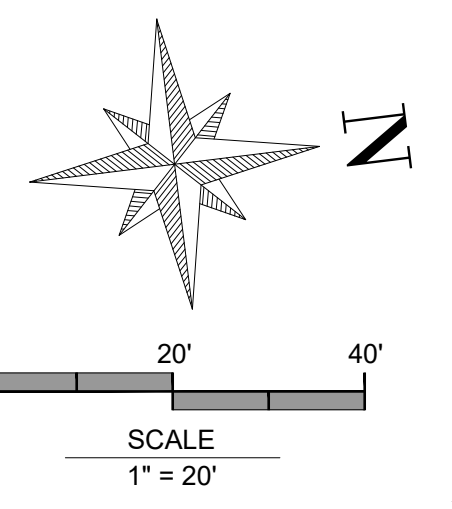
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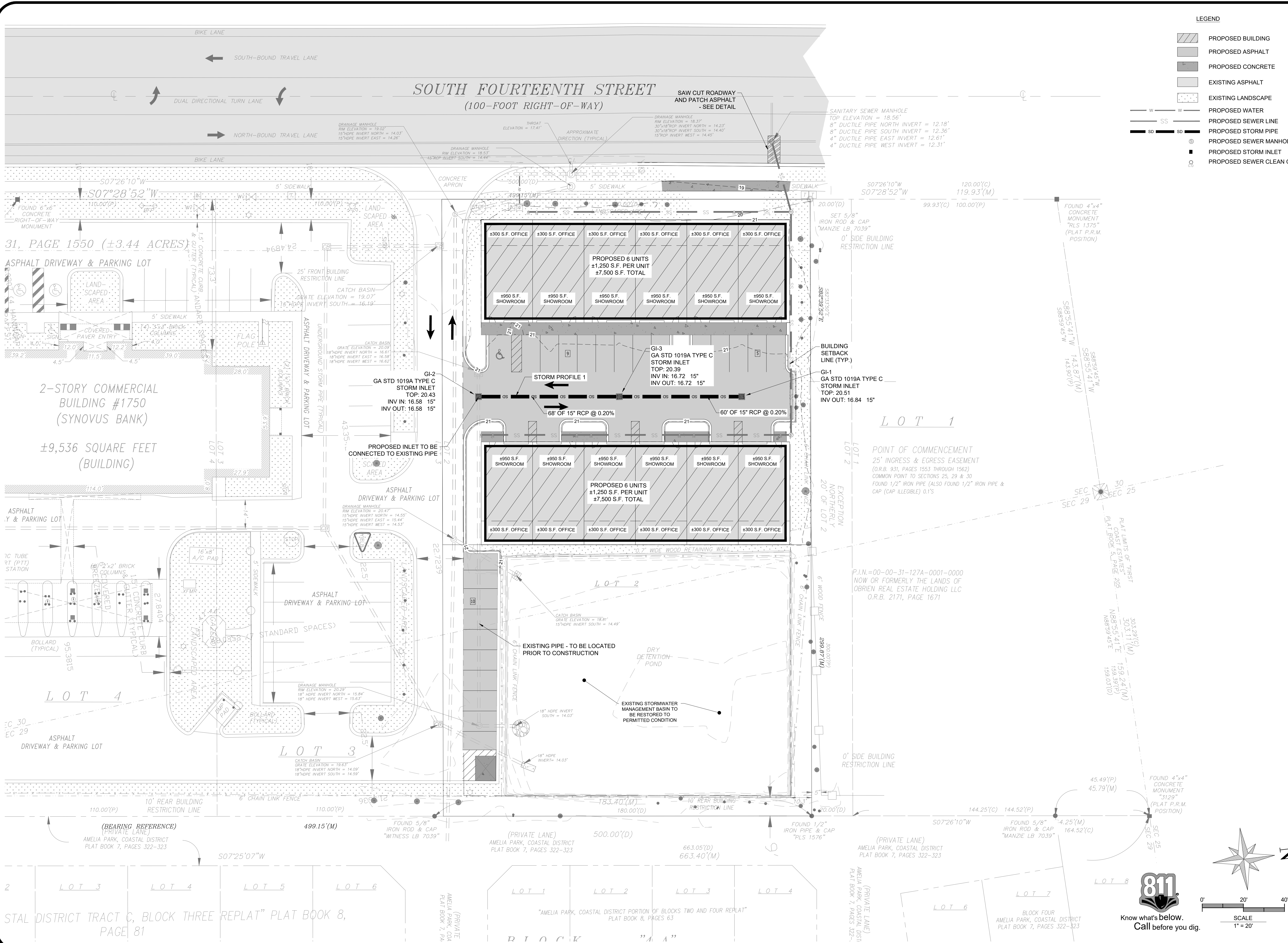
Professional Engineer Seal: **Paul M. Nolan**, No. 88790, State of Florida. License No. 30329(C), 30311(M), 159,246(G), 159,391(H), 189,994(S), 159,021(O).

6/2/26

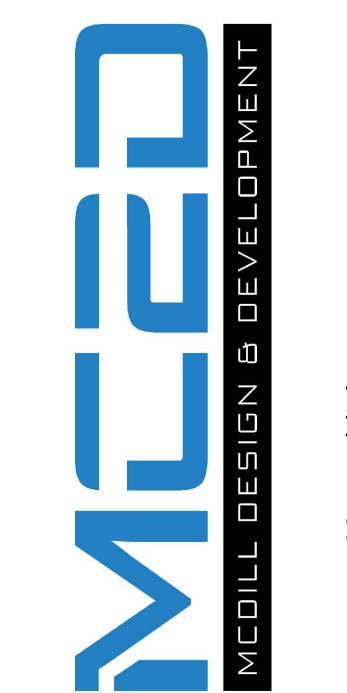
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CONTENT: SITE PLAN





- LEGEND**
- PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - EXISTING ASPHALT
 - EXISTING LANDSCAPE
 - PROPOSED WATER
 - PROPOSED SEWER LINE
 - PROPOSED STORM PIPE
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 - PROPOSED STORM INLET
 - PROPOSED SEWER CLEAN OUT



109 Readick Avenue
Kingsland, GA 31548

STORM
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

NO.	REVISIONS	DESCRIPTION	DATE

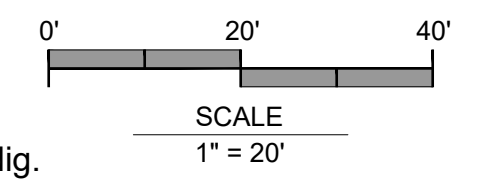
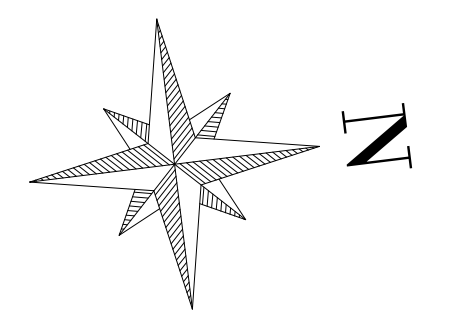
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CONTENT: STORM

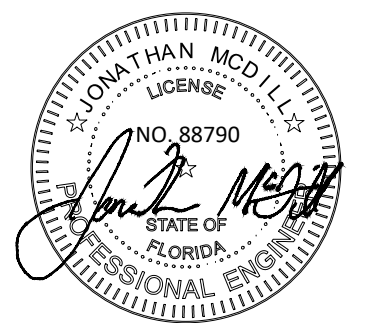
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STORM PROFILES
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

REVISIONS NO.	DESCRIPTION	DATE

PERMIT SET



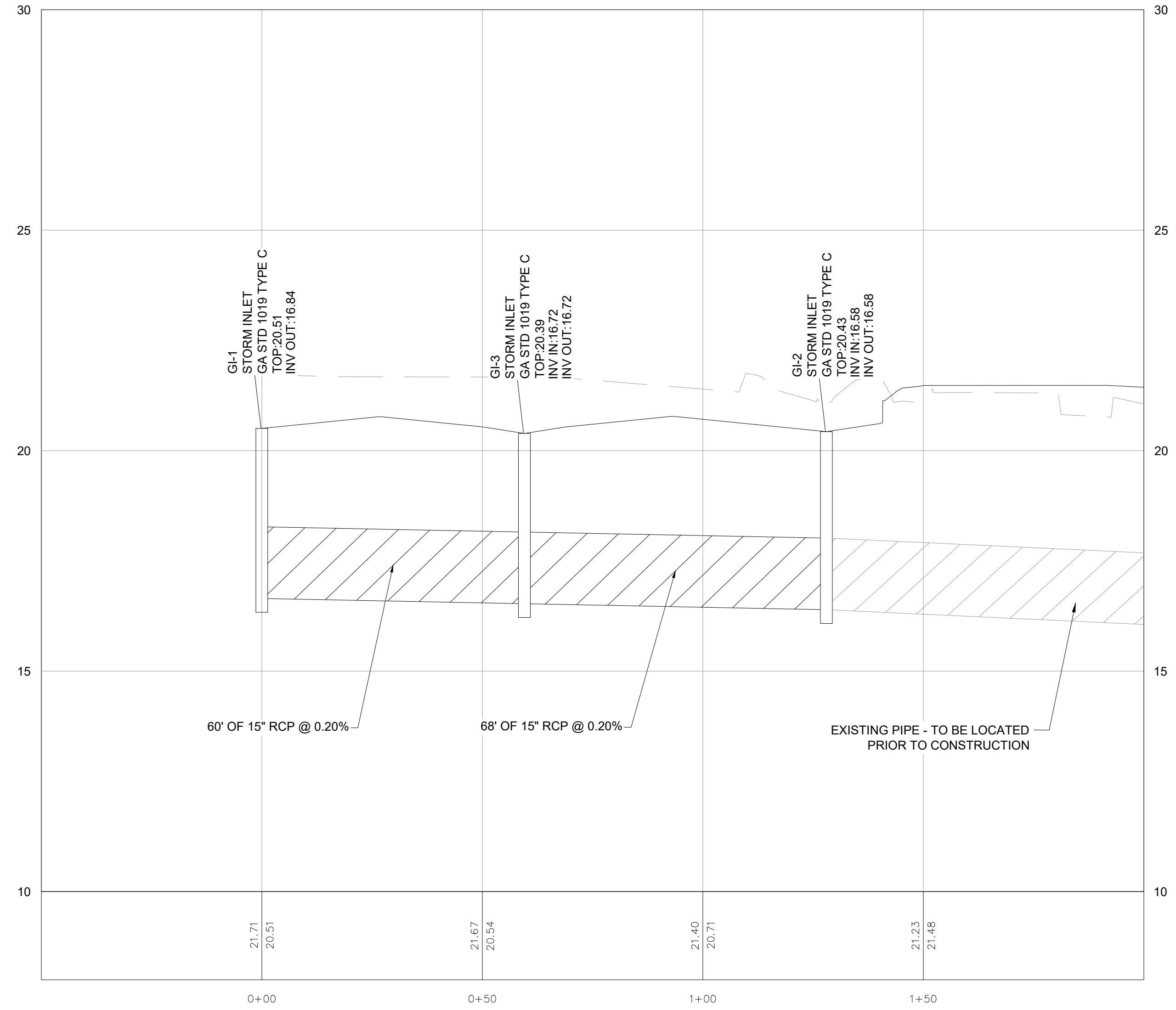
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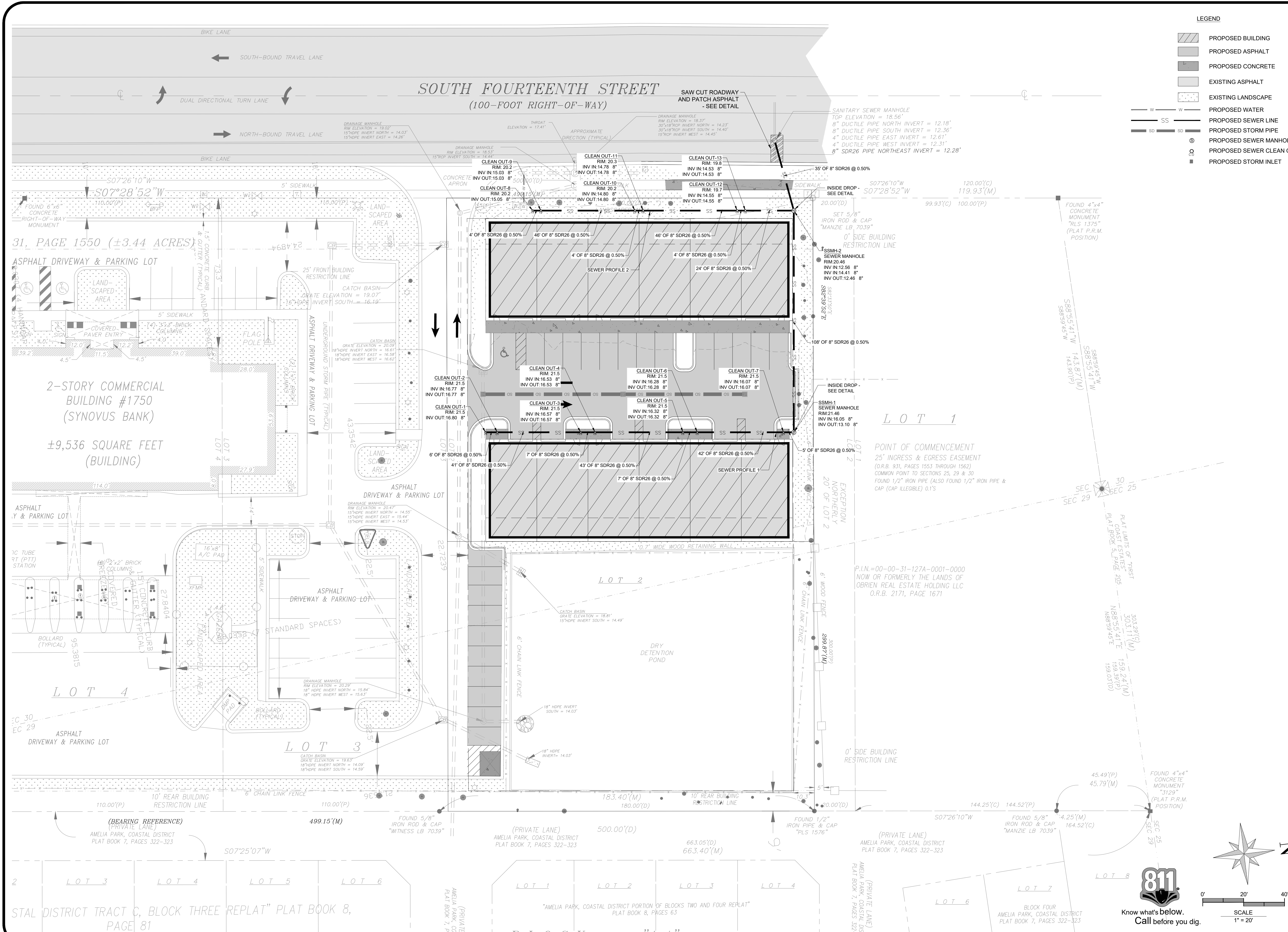
CONTENT:
STORM PROFILES

LEGEND

— PROPOSED SURFACE
- - - EXISTING SURFACE



STORM PROFILE 1



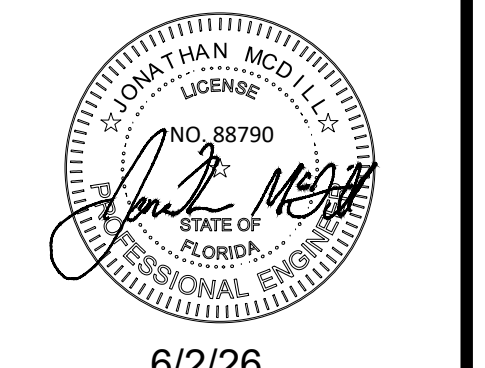
- LEGEND**
- PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
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 - PROPOSED STORM PIPE
 - PROPOSED SEWER MANHOLE
 - PROPOSED SEWER CLEAN OUT
 - PROPOSED STORM INLET



SEWER
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
 PREPARED FOR:
PAUL NOLAN

NO.	REVISIONS DESCRIPTION	DATE

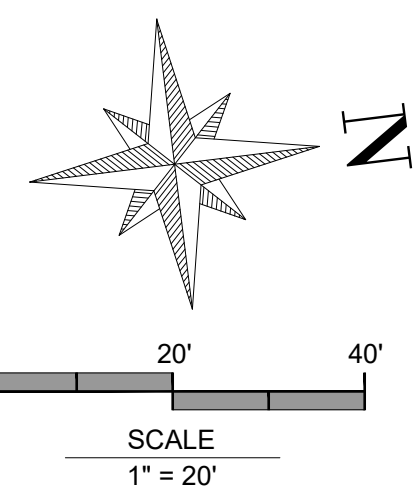
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CONTENT: SEWER

08



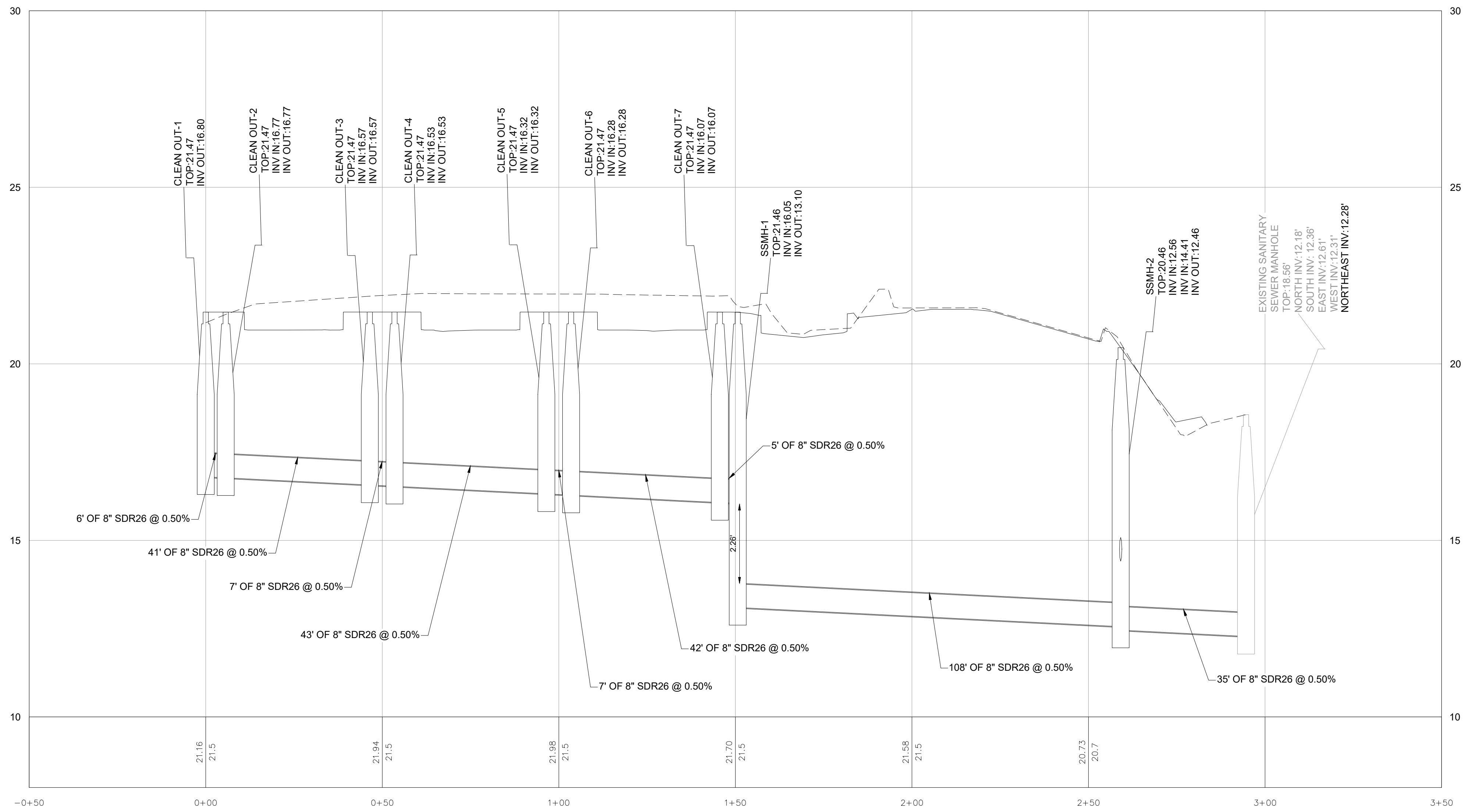
STAL DISTRICT TRACT C, BLOCK THREE REPLAT" PLAT BOOK 8, PAGE 81

"AMELIA PARK, COASTAL DISTRICT PORTION OF BLOCKS TWO AND FOUR REPLAT" PLAT BOOK 8, PAGES 63

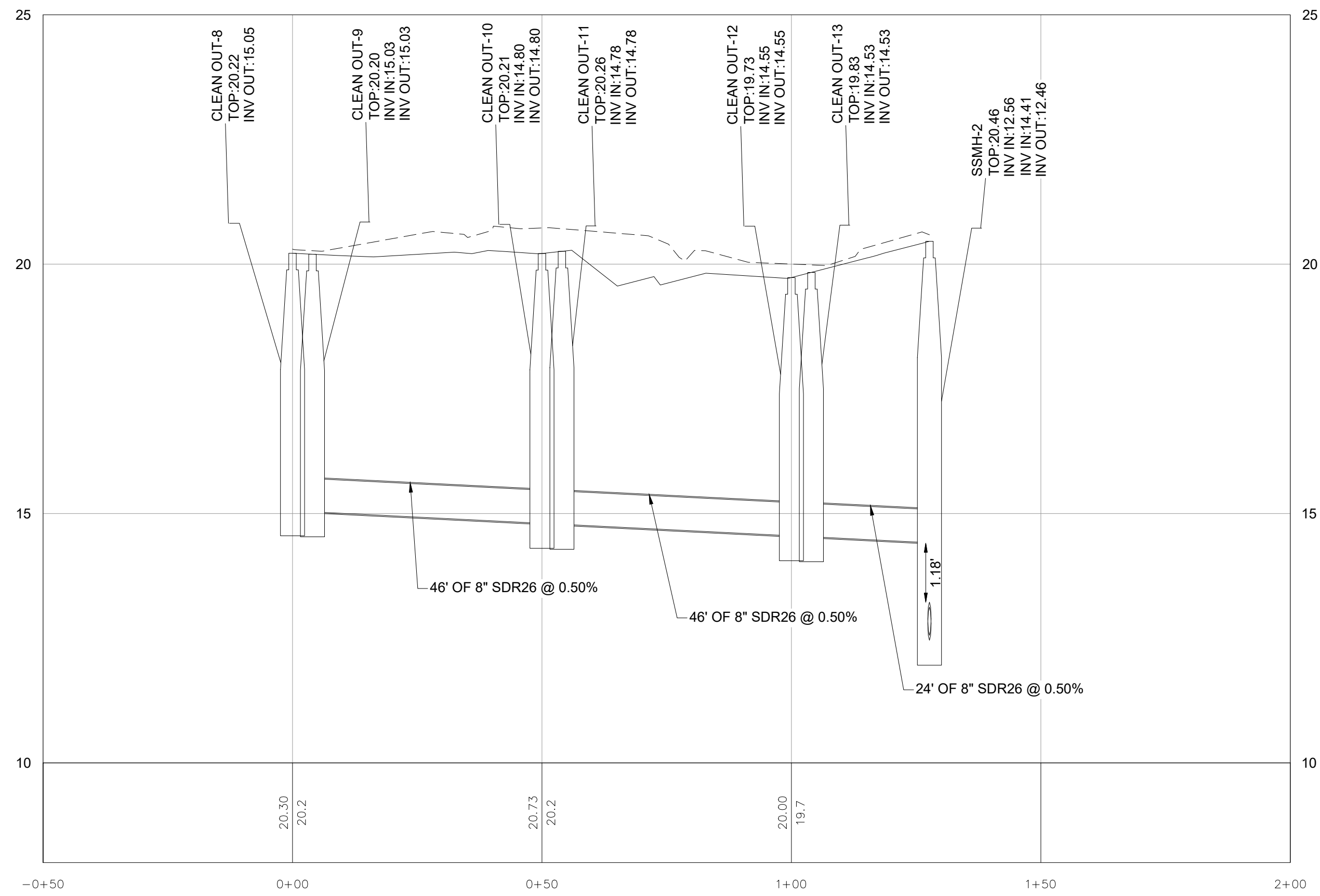
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 AMELIA PARK, COASTAL DISTRICT
 PLAT BOOK 7, PAGES 322-323



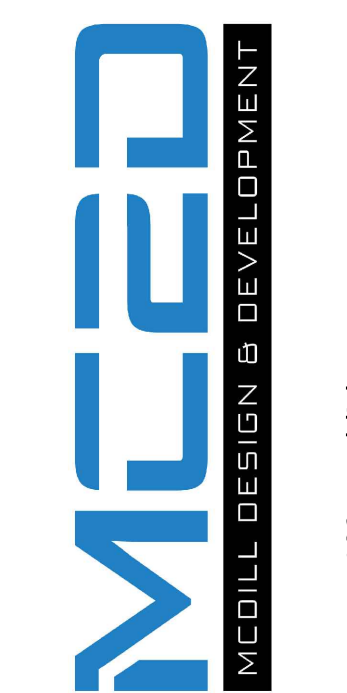
Know what's below.
Call before you dig.



SEWER 1



SEWER 2

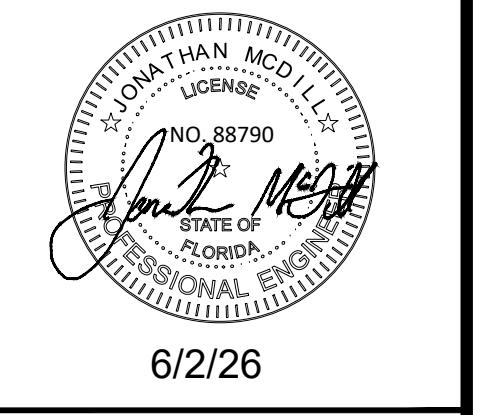


109 Readdick Avenue
Kingsland, GA 31548

SEWER PROFILE
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

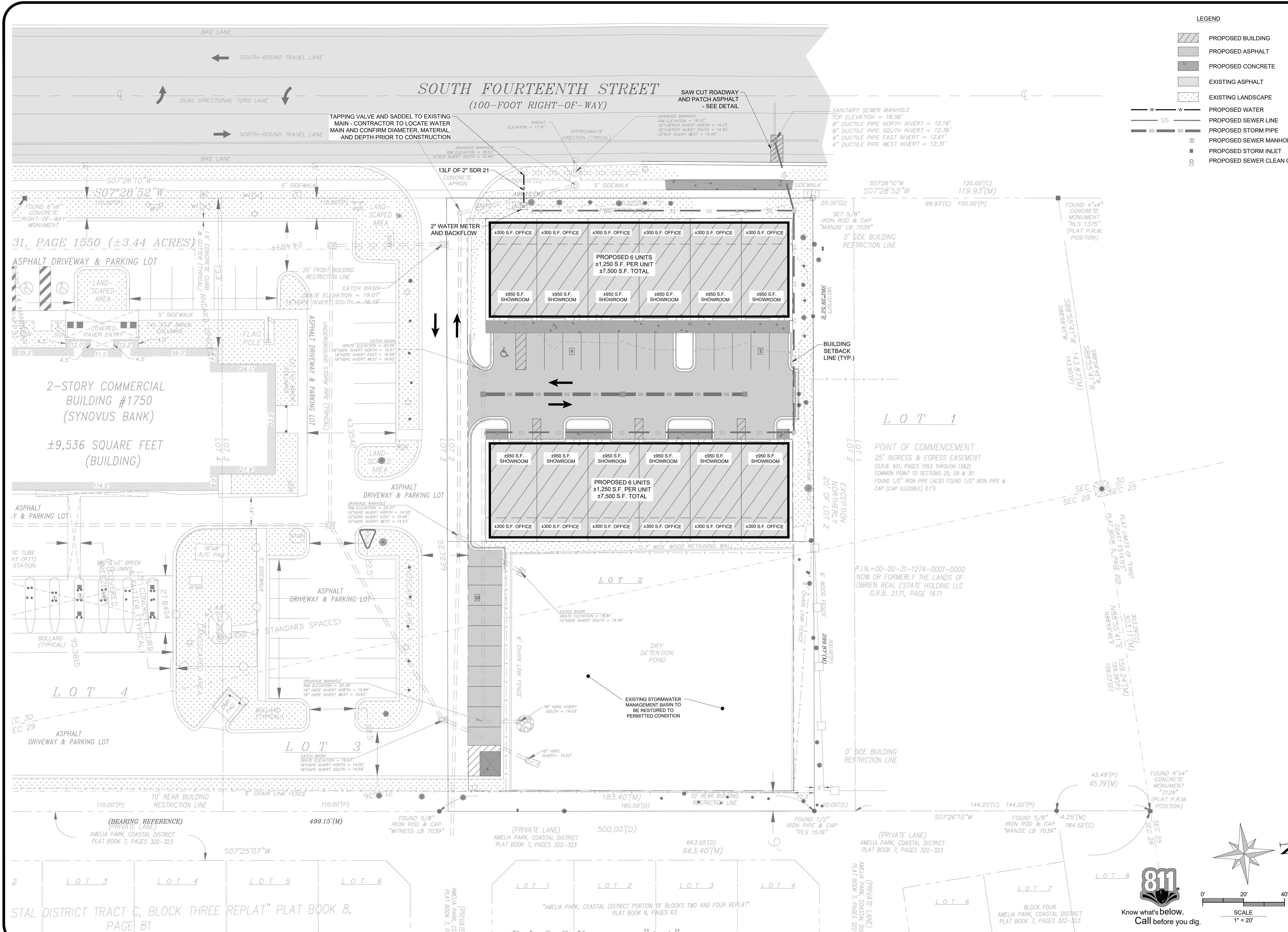
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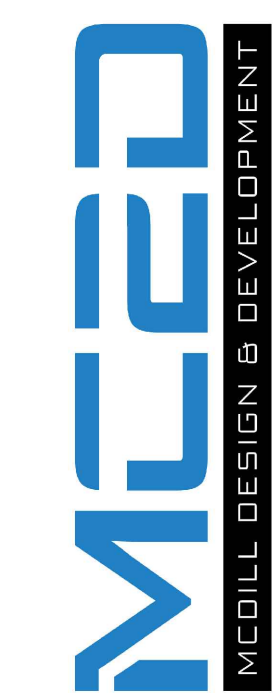


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(SEE SHEET #02)

CONTENT:
SEWER PROFILE



- LEGEND**
- PROPOSED BUILDING
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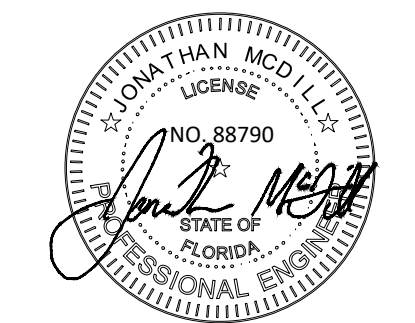


109 Readick Avenue
Kingsland, GA 31548

WATER
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

NO.	REVISIONS DESCRIPTION	DATE

PERMIT SET

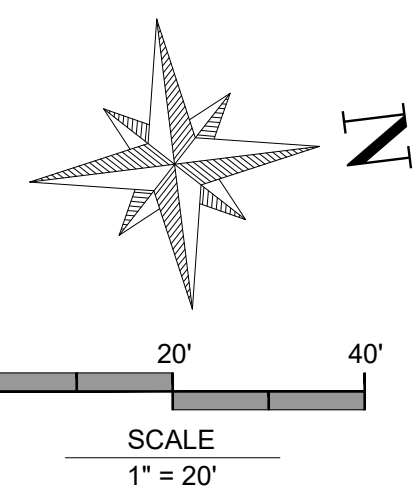


6/2/26

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CONTENT:
WATER

10



STAL DISTRICT TRACT C, BLOCK THREE REPLAT" PLAT BOOK 8, PAGE 81

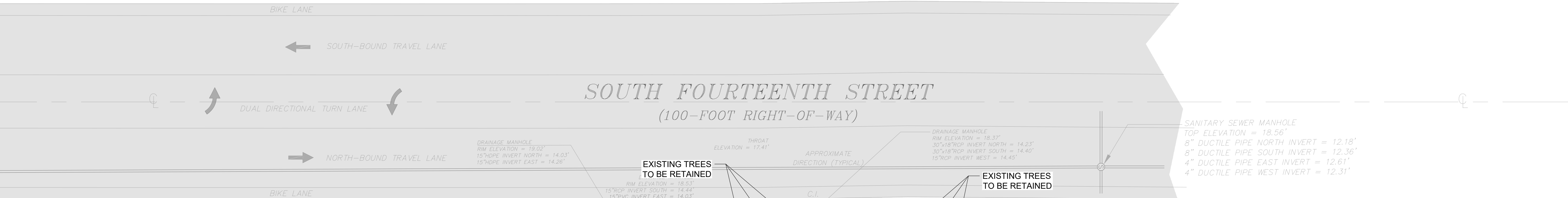
LOT 1 LOT 2 LOT 3 LOT 4

"AMELIA PARK, COASTAL DISTRICT PORTION OF BLOCKS TWO AND FOUR REPLAT" PLAT BOOK 8, PAGES 63

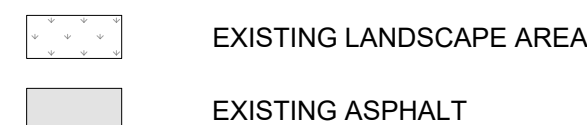
LOT 6 LOT 7

BLOCK FOUR AMELIA PARK, COASTAL DISTRICT PLAT BOOK 7, PAGES 322-323

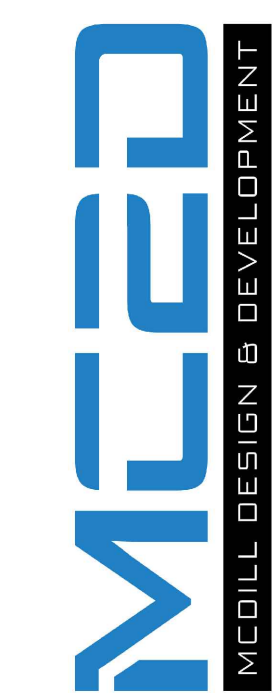
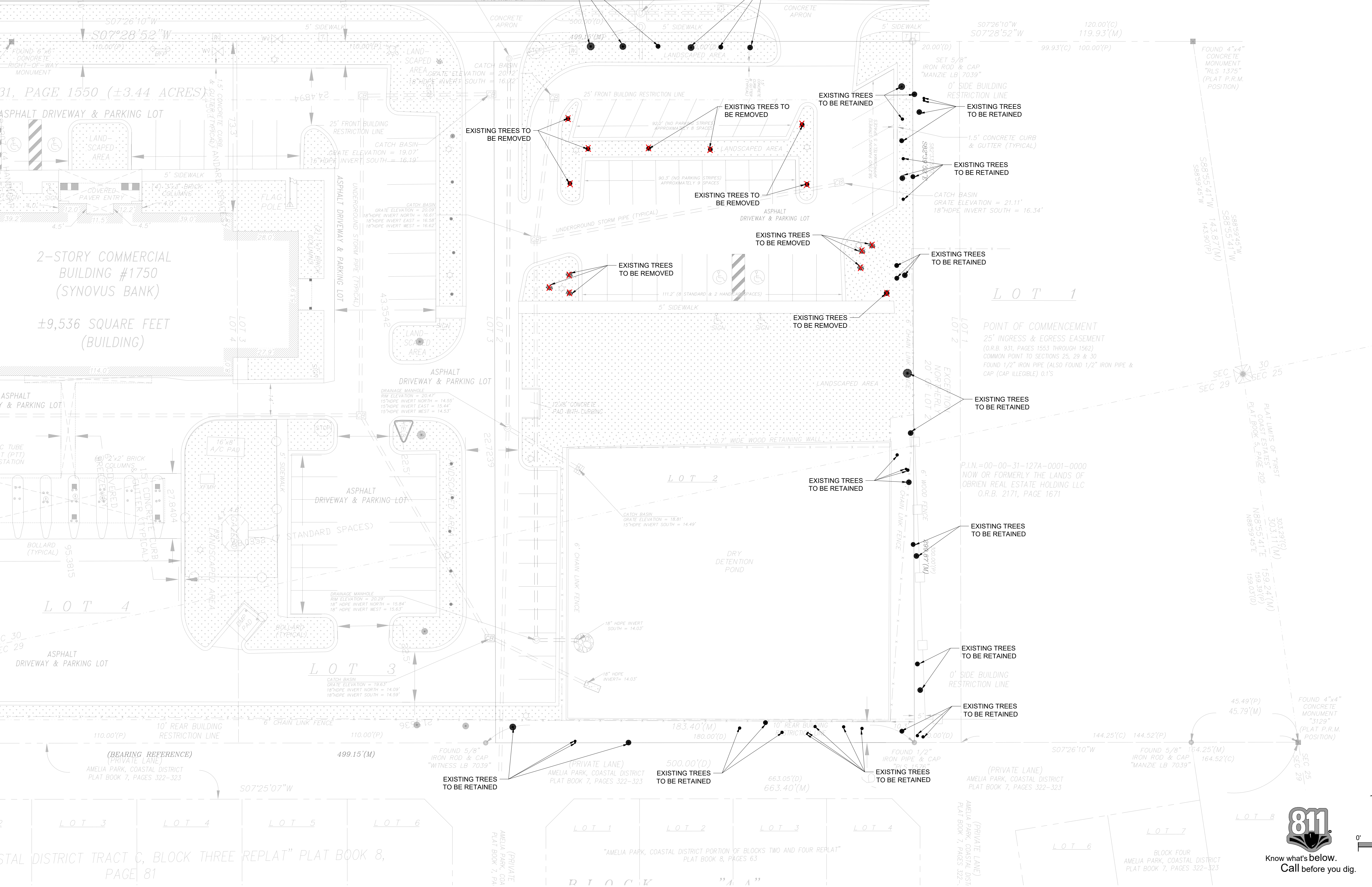
NOTES:



LEGEND



DESCRIPTION	QTY
REMOVED TREES	14
RETAINED TREES	45

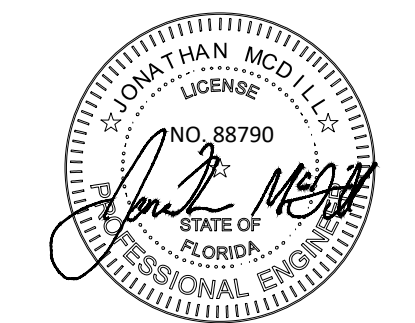


109 Readdick Avenue
Kingsland, GA 31548

LANDSCAPE PLAN
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

NO.	REVISIONS DESCRIPTION	DATE

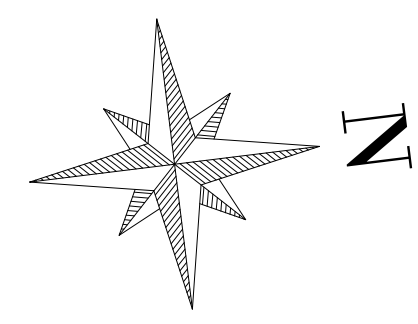
PERMIT SET



6/2/26

DRAWN BY: JM
CHECKED BY: JM
DATE: 6/2/26
SCALE: 1" = 20'

CONTENT:
LANDSCAPE PLAN



HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

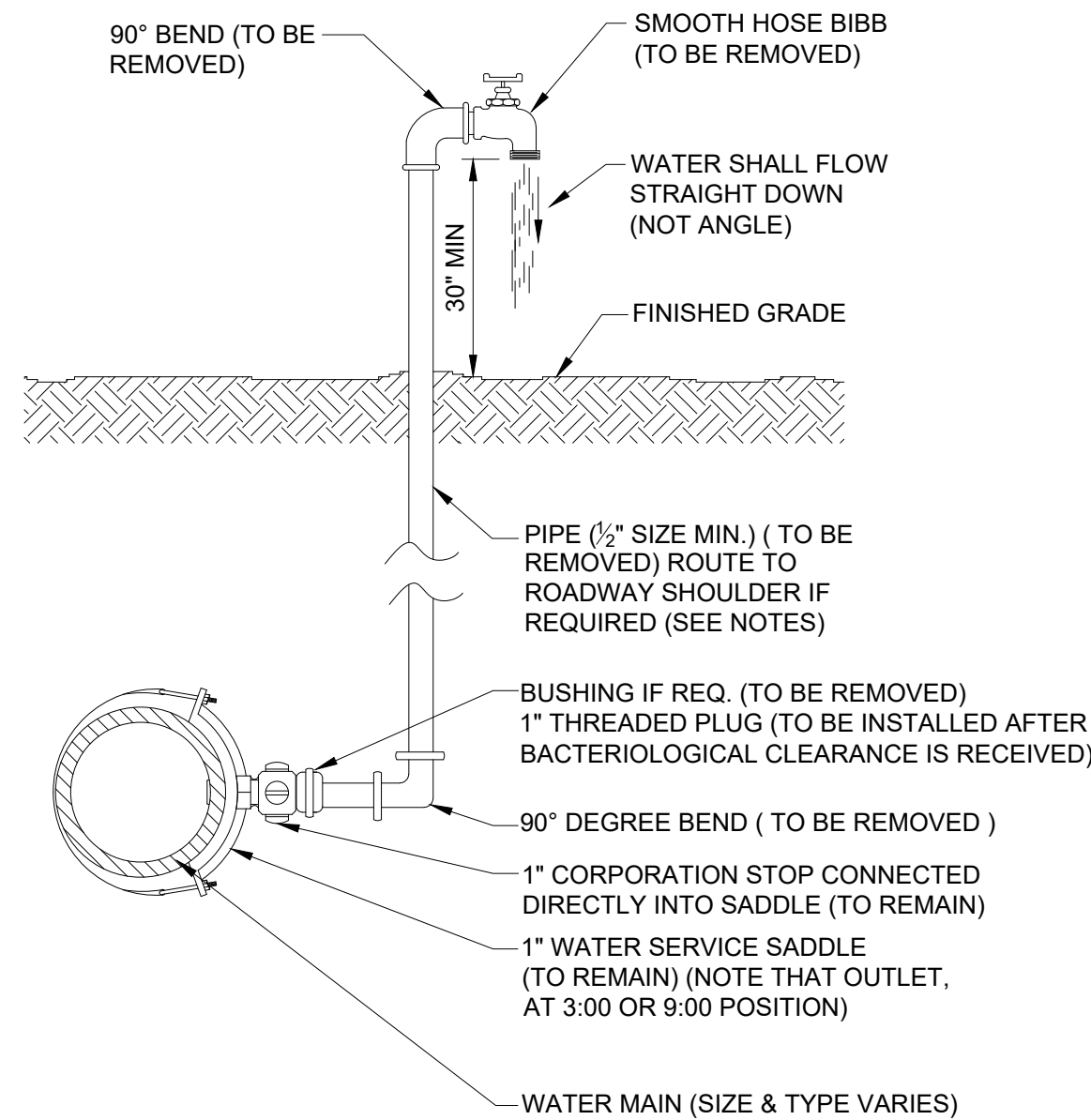
PROPOSED UTILITY

CONFLICTING UTILITY	POTABLE WATER			WASTEWATER GRAVITY AND FORCE MAIN			RECLAIMED WATER			VACUUM SEWERS		
	HORIZ.	VERT.	JOINT SPACING*	HORIZ.	VERT.	JOINT SPACING*	HORIZ.	VERT.	JOINT SPACING*	HORIZ.	VERT.	JOINT SPACING*
POTABLE WATER	3' NOTE 1	12"	3' NOTE 2	6' to 10'	12"	6' NOTE 2	3'	12"	6' NOTE 2	3' to 10'	12"	3' NOTE 2
RECLAIMED WATER	3'	12"	6' NOTE 2	3' NOTE 1	12"	6' NOTE 2	3'	12"	6' NOTE 2	3' NOTE 1	12"	3' NOTE 2
WASTEWATER (GRAVITY AND FORCE MAIN)	6' to 10'	12"	6' NOTE 2	3' NOTE 1	12"	6"	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
VACUUM SEWERS	3' to 10'	12"	3' NOTE 2	3' NOTE 1	12"	6"	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
RIGHT OF WAYS	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A
PERMANENT STRUCTURES (BUILDINGS, SIGNS, POLES, ETC.)	SEE NOTE 7	N/A	N/A	SEE NOTE 7	N/A	N/A	SEE NOTE 7	N/A	N/A	SEE NOTE 7	N/A	N/A
STORM SEWERS	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
GAS	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
TREES	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A
ALL OTHER UTILITIES	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2

- NOTES:
- THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTH, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
 - THE MINIMUM JOINT SPACING REQUIRED FROM CROSSING FROM OTHER UTILITIES WHILE STILL MAINTAINING MINIMUM VERTICAL SEPARATION.
 - DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
 - NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURES.
 - WATER MAIN SHOULD CROSS ABOVE OTHER PIPES WHENEVER POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER UTILITY PIPING, THE MINIMUM SEPARATION SHALL BE 12 INCHES.
 - REFER TO POTABLE WATER PIPING- SECTION 350, III.4.11.
 - SEE SECTION 350, III.4.10 FOR MINIMUM SEPARATION REQUIREMENTS FROM PIPE TO STRUCTURES.

SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS

JANUARY 2025 PLATE W-10



- NOTES:
- LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROADWAY SHOULDERS (NON-TRAFFIC AREAS).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED), AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED.
 - PIPE AND FITTINGS SHALL BE PVC (SCH. 40) OR GALV. MATERIAL.
 - THE USE OF THE ABOVE CONSTRUCTION FOR A TEMPORARY SAMPLE POINT SHALL BE LIMITED TO AREAS WHERE A SAMPLE TAP BY ALTERNATIVE METHODS (SEE W-24) IS NOT FEASIBLE OR IF DIRECTED OTHERWISE BY AHJ.
 - THE CONTRACTOR SHALL COMPLY WITH ALL AHJ RULES AND POLICIES AS OUTLINED BY AHJ'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED AHJ STANDARDS.

TEMPORARY SAMPLE TAP

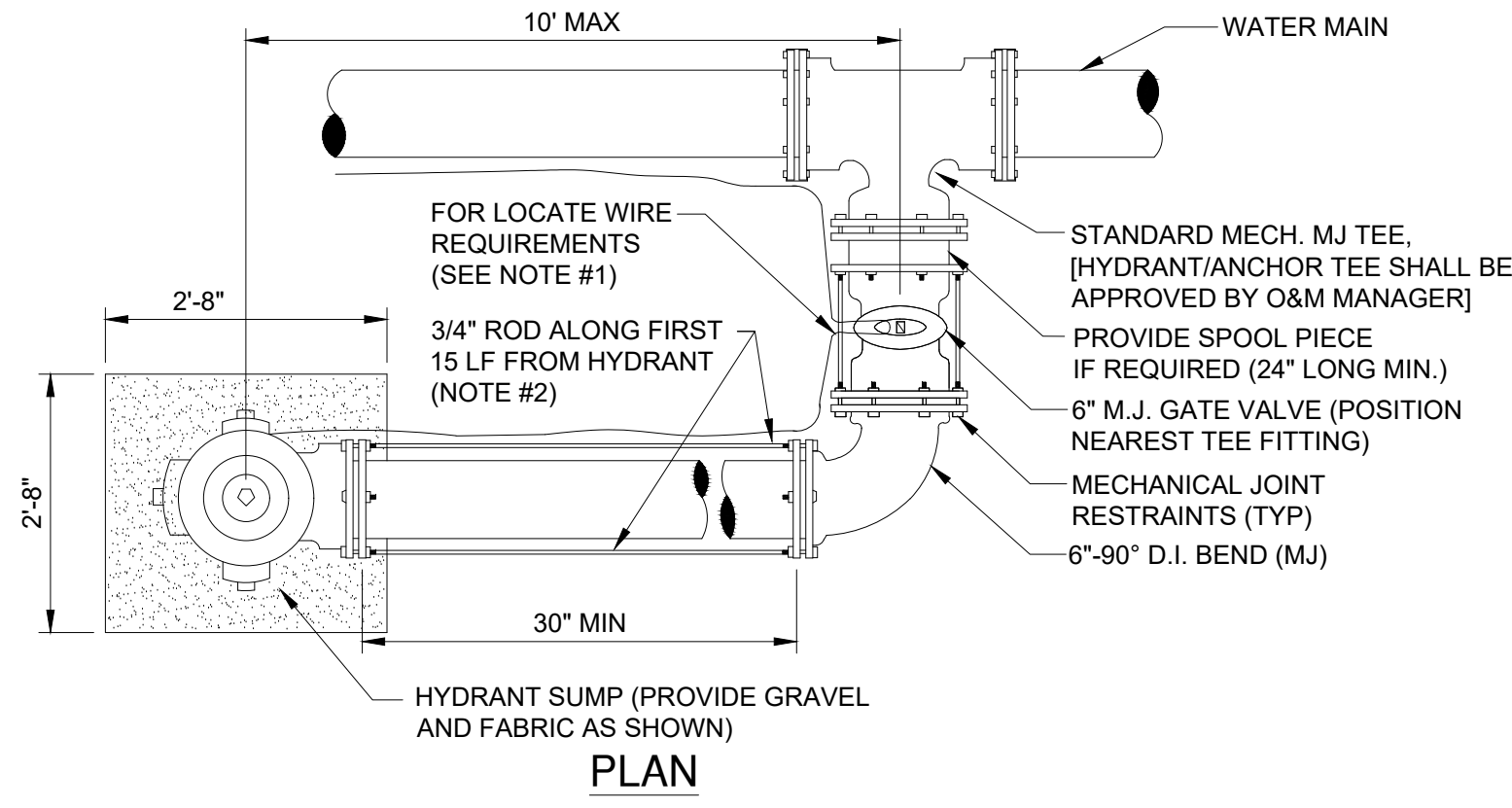
JANUARY 2025 PLATE W-25

WATER MAIN AND NON-WATER MAIN SEPARATION REQUIREMENTS - NOTES

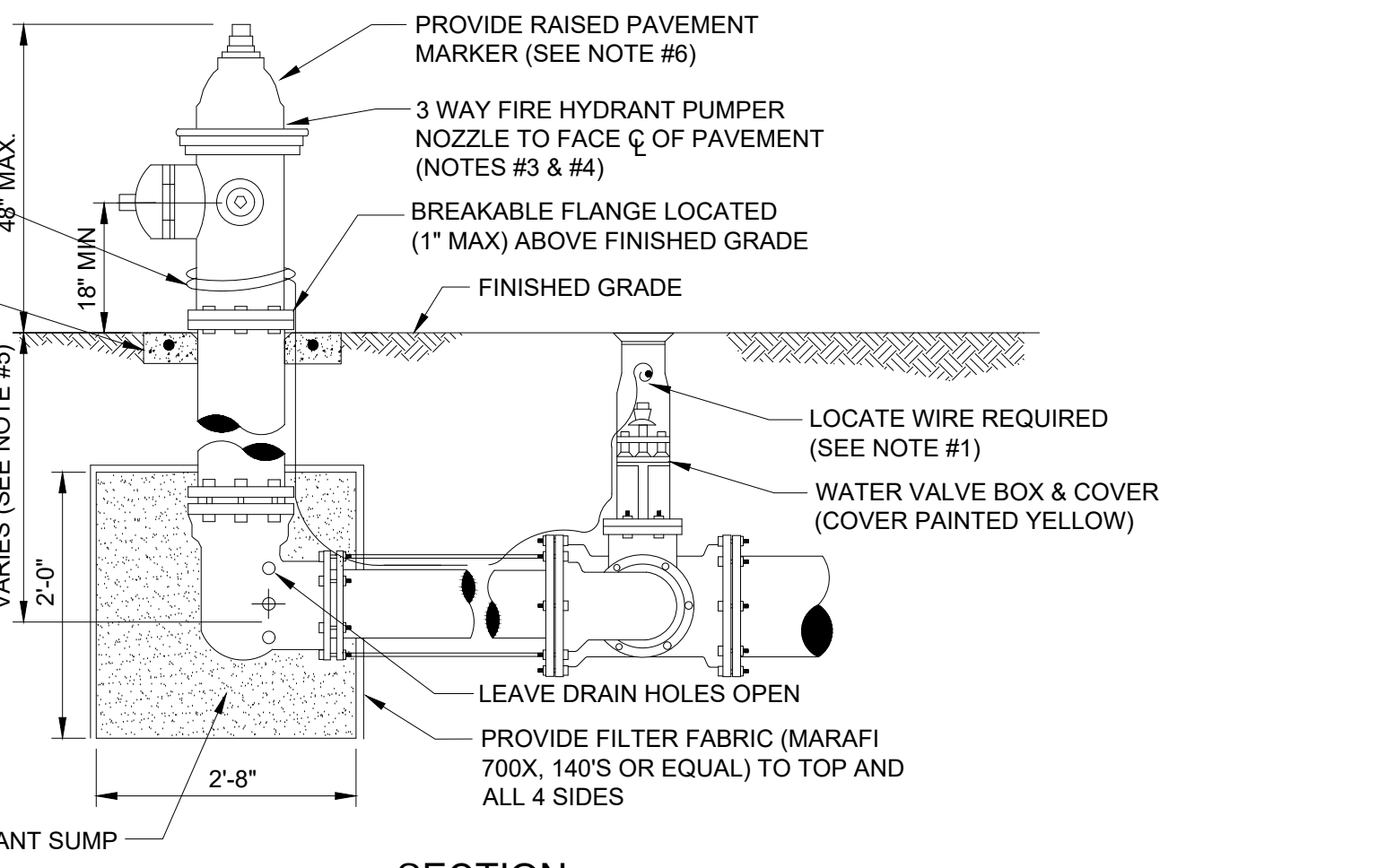
- IT IS REQUIRED THAT "WATER MAINS" BE INSTALLED, CLEANED, DISINFECTED AND HAVE A SATISFACTORY BACTERIOLOGICAL SURVEY PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE AWWA STANDARDS, CHAPTER 62-555, F.A.C. AND LATEST AHJ WATER AND SEWER STANDARDS. FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER. IN ADDITION, THE PHRASE "RECLAIMED WATER" REFERS TO THE WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE SEWER (SPECIAL CASE).
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX (6) INCHES, AND PREFERABLY TWELVE (12) INCHES, ABOVE OR AT LEAST TWELVE (12) INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 4 AND 5 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER.
- NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SO THAT THE HYDRANTS ARE AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER; AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER OR WASTEWATER FORCE MAIN.
- WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE, THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER TO OBTAIN APPROVAL OF ANY ALTERNATIVE CONSTRUCTION METHODS, PRIOR TO CONSTRUCTION.

NOTES ON UTILITY SEPARATION REQUIREMENTS

JANUARY 2025 PLATE W-11



PLAN

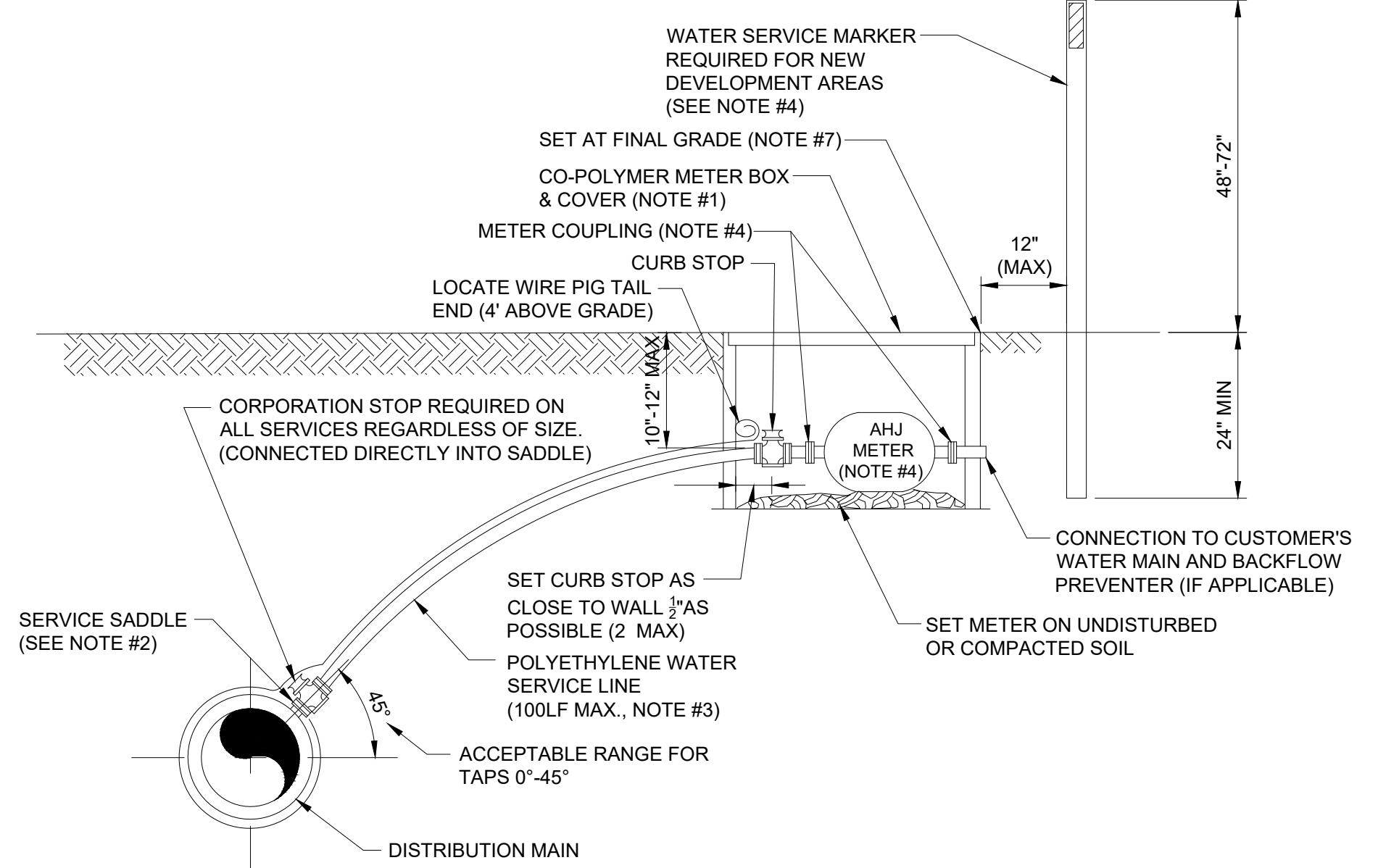


SECTION

- NOTES:
- LOCATE WIRE SHALL BE ROUTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAIN. SEE SECTION 350, LOCATE WIRE INSTALLATION PARAGRAPH.
 - FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK. ALL HYDRANTS SHALL BE LOCATED NO LESS THAN THREE (3) FEET FROM THE EDGE OF PAVEMENT OR BACK OF CURB OF THE ADJACENT ROADWAY AND NO LESS THAN THREE (3) FEET FROM ANY PHYSICAL FEATURE WHICH MAY OBSTRUCT ACCESS OR VIEW OF ANY HYDRANT UNLESS OTHERWISE APPROVED BY THE AHJ. THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY AHJ. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 6" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SERRATED RING WITH RESTRAINT EARS (EBA 15 PF06 OR EQUAL) MAY BE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE FIRST 15 LF SHALL INCLUDE JOINT RESTRAINTS.
 - NO WATER MAIN BRANCHES OR SERVICE TAPS SHALL BE ALLOWED ALONG THE HYDRANT BRANCH MAIN, UNLESS APPROVED BY AHJ.
 - OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE OUTLET FLOW.
 - PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS-KIL ENAMEL-INTERNATIONAL YELLOW OR EQUAL). PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
 - FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE-OFF A 12" OR LARGER WATER MAIN. UNLESS APPROVED OTHERWISE BY AHJ, THE INSTALLATION OF (45") BENDS IS NOT ACCEPTABLE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
 - BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO THE ROADWAY CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO EACH FIRE HYDRANT.

FIRE HYDRANT INSTALLATION LIMITED SPACE

JANUARY 2025 PLATE W-14



- NOTES:
- SEE PLATE W-1 FOR METER LOCATION REQUIREMENTS.
 - SINGLE BAND SADDLES SHALL BE UTILIZED ON NEW 1" WATER SERVICES WHICH ARE INSTALLED ON A DRY 10" SIZE OR SMALLER WATER MAIN (NEW WATER MAIN CONSTRUCTION). FOR WET TAPS OR WATER MAINS 12" SIZE AND LARGER, A DOUBLE BAND SADDLE IS REQUIRED. BRASS SADDLES MAY BE UTILIZED ON NEW 1 INCH AND SMALLER WATER SERVICES WHICH ARE INSTALLED ON A DRY 10 INCH OR SMALLER PVC WATER MAIN.
 - NO OPEN CUT UNDER ROADWAY PAVING ALLOWED UNLESS THE ROADWAY IS BEING RECONSTRUCTED OR IF DIRECTED OTHERWISE BY AHJ. CONSTRUCT POLY LINE WITH 24" (MIN.) COVER UNDER ROADWAYS. THE POLY WATER SERVICE LINE SHALL BE SAME SIZE AS THE METER (1" MINIMUM) AND BE INSTALLED PERPENDICULAR TO THE MAIN AND NOT EXCEED 100LF UNLESS APPROVED OTHERWISE BY AHJ.
 - INSTALL PVC PLUG IN ALL CURB STOPS IF WATER SERVICE IS "NOT IN USE" (I.E. IF NO METER IS INSTALLED). WATER SERVICES SERVING VACANT LOTS (SERVICE NOT IN USE), SHALL INCLUDE A "W" CUT INTO THE CURB (CLOSEST TO THE METER BOX), AND PAINTED BLUE (PAINTED PURPLE FOR RECLAIMED WATER). IN ADDITION, FOR NEW DEVELOPMENT AREAS WHERE THE WATER SERVICE IS "NOT IN USE", A LANDSCAPE TIMBER OR 3x3 MIN. P. T. POST (TOP PAINTED BLUE OR PURPLE FOR RECLAIMED WATER). THE REMOVAL OR TRANSFER OF A WATER SERVICE SHALL INCLUDE BRASS METER COUPLINGS (HEX ON BARREL TYPE).
 - NO 2" AND SMALLER WATER SERVICE TAPS PERMITTED ON WATER MAINS WHICH ARE 20" AND LARGER SIZE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE METER OR ELECTRONIC DEVICES IF DAMAGED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD.
 - METER BOX AND TOP SHALL BE CLEAR OF ALL DEBRIS TO ALLOW FULL ACCESS TO BOX (I.E. NO DIRT, TRASH OR OTHER DEBRIS PLACED ON TOP OF BOX).
 - LOCATE WIRING REQUIRED ON ALL SERVICES 10' OR GREATER IN LENGTH. SEE PLATE W-44.

WATER SERVICE DETAIL- 2" AND SMALLER METER

JANUARY 2025 PLATE W-2



109 Readdick Avenue
Kingsland, GA 31548

DETAIL 1
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

NO.	REVISIONS DESCRIPTION	DATE

PERMIT SET

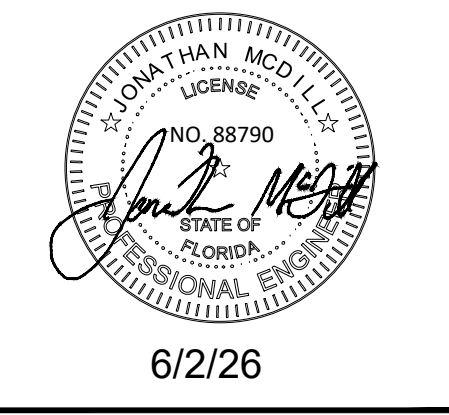


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SCALE: N.T.S.

CONTENT: DETAIL 1

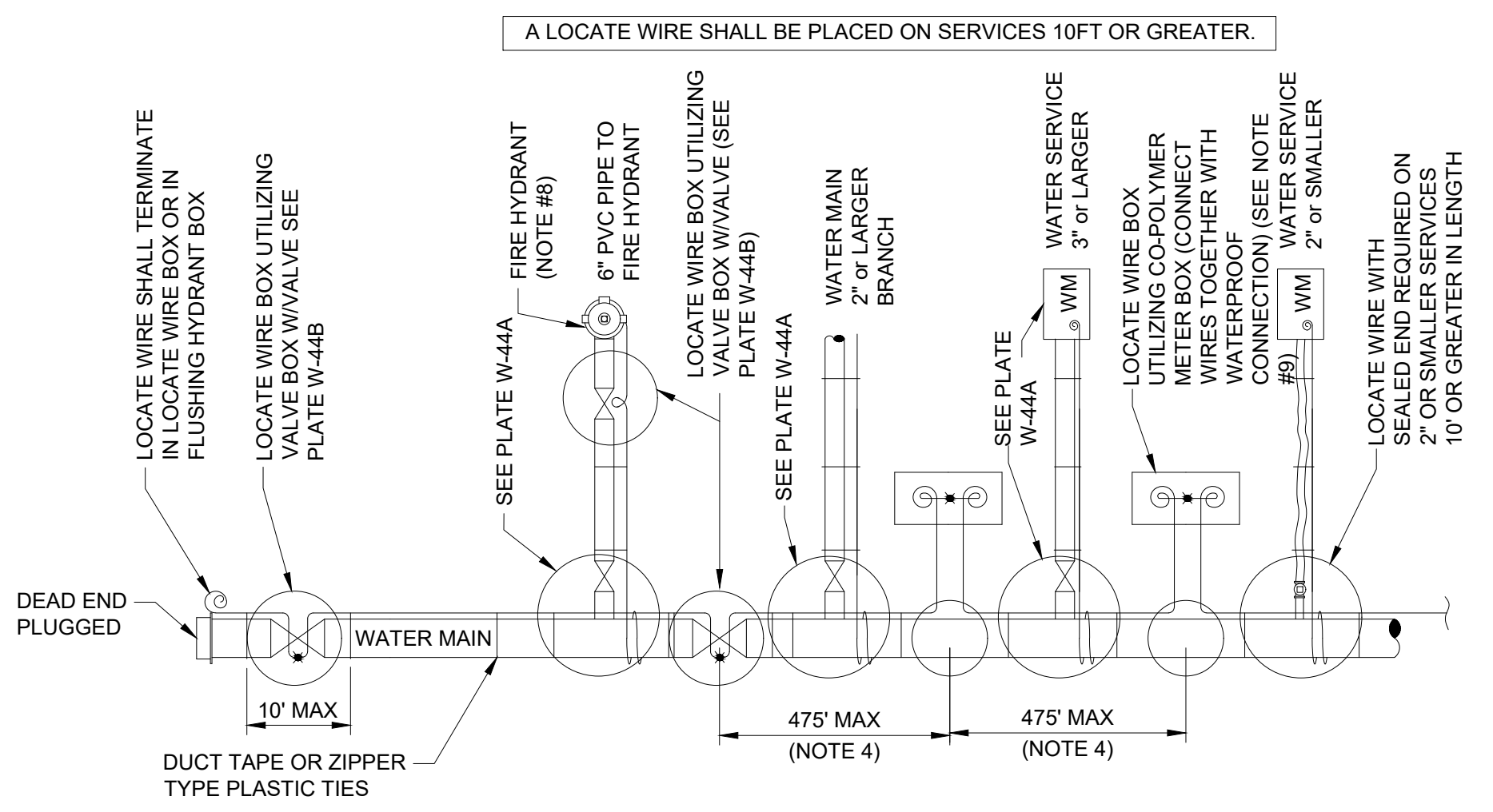
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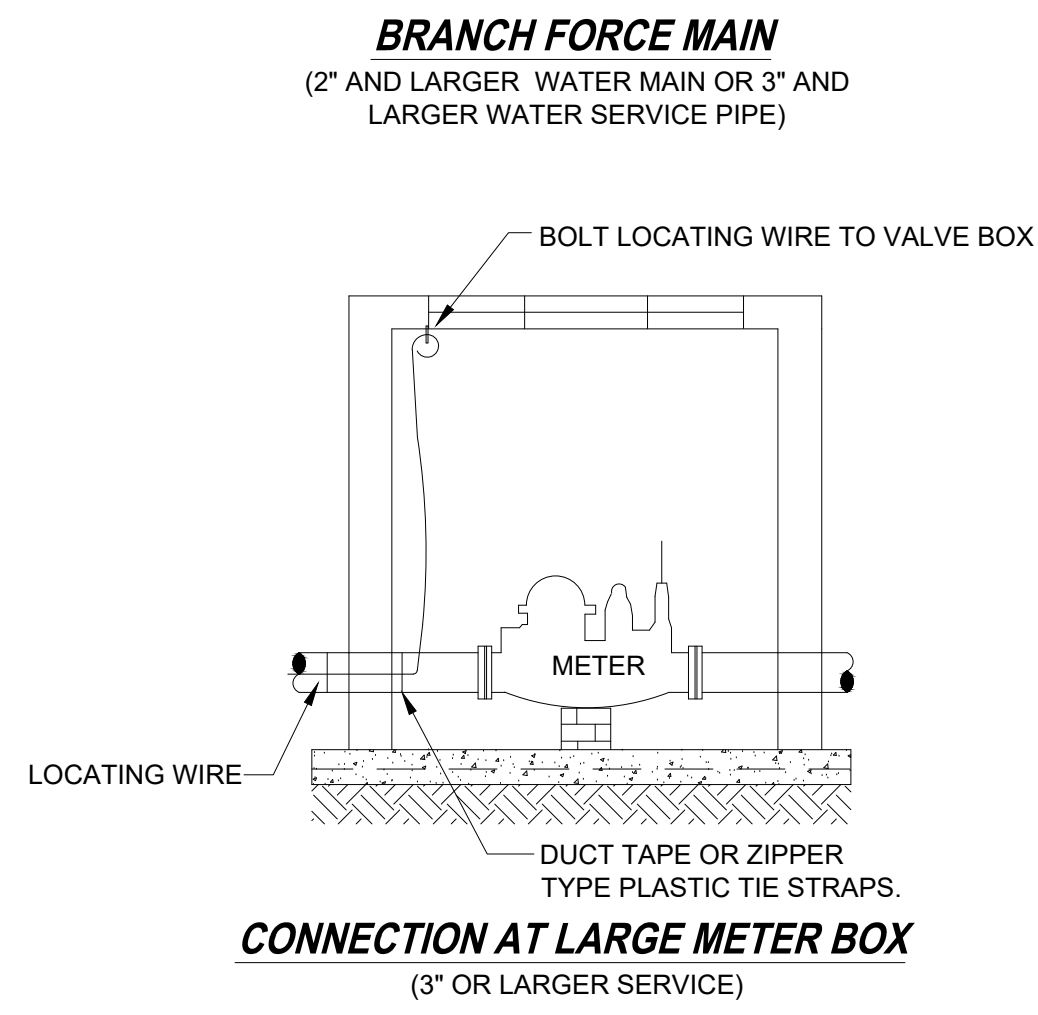
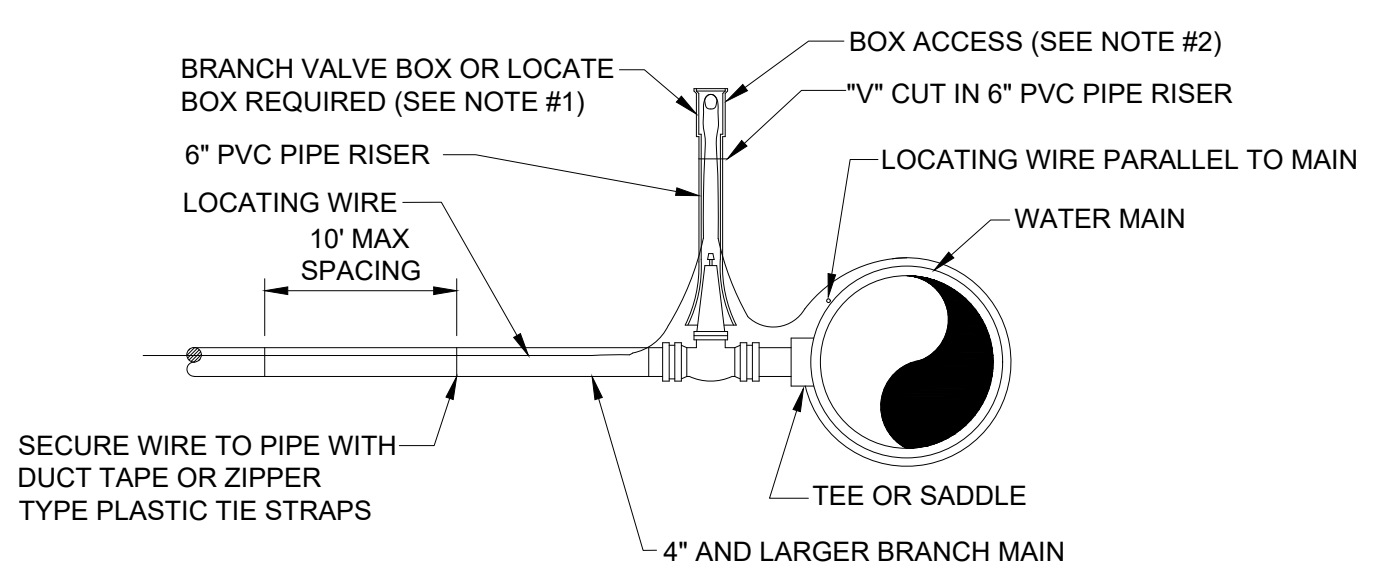
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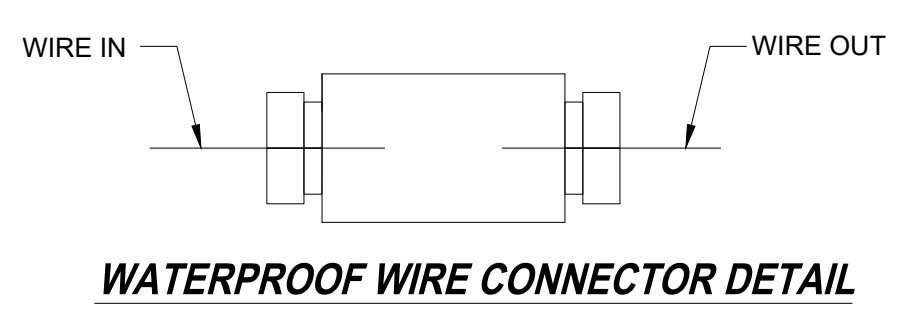
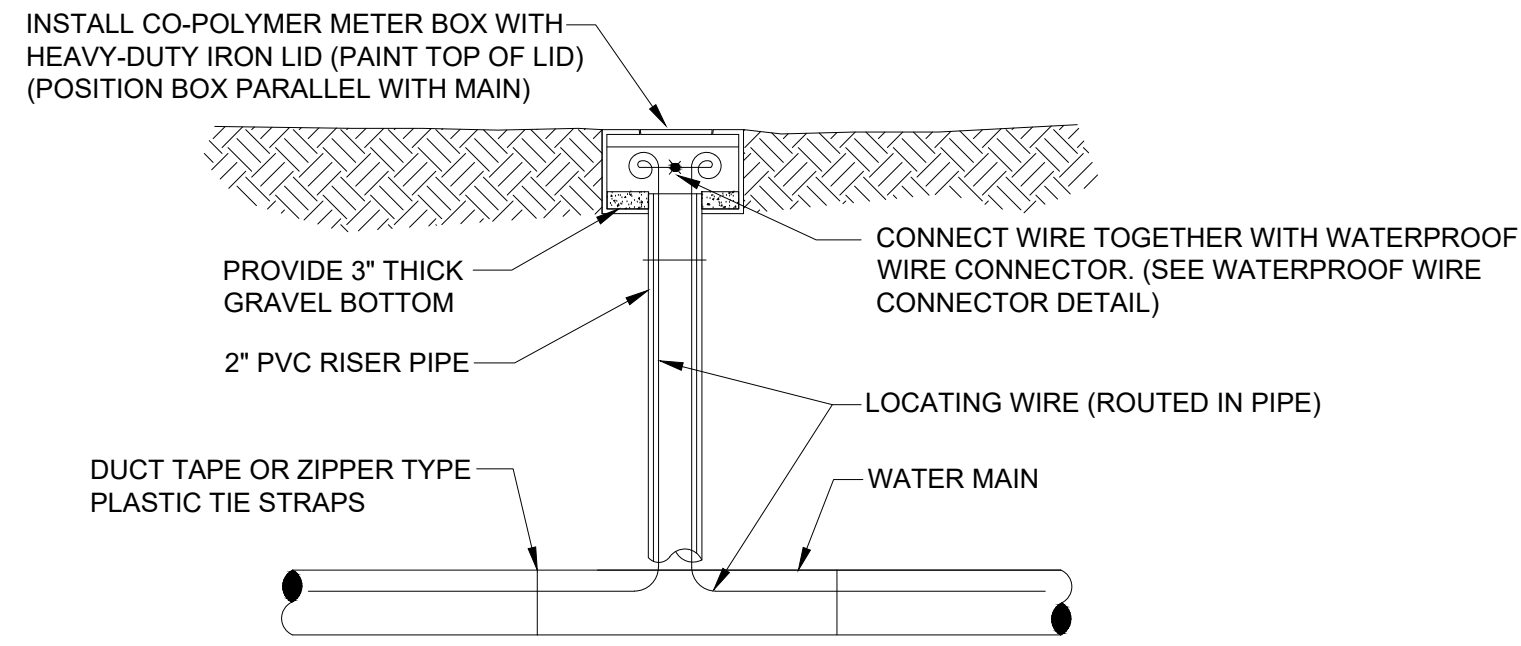
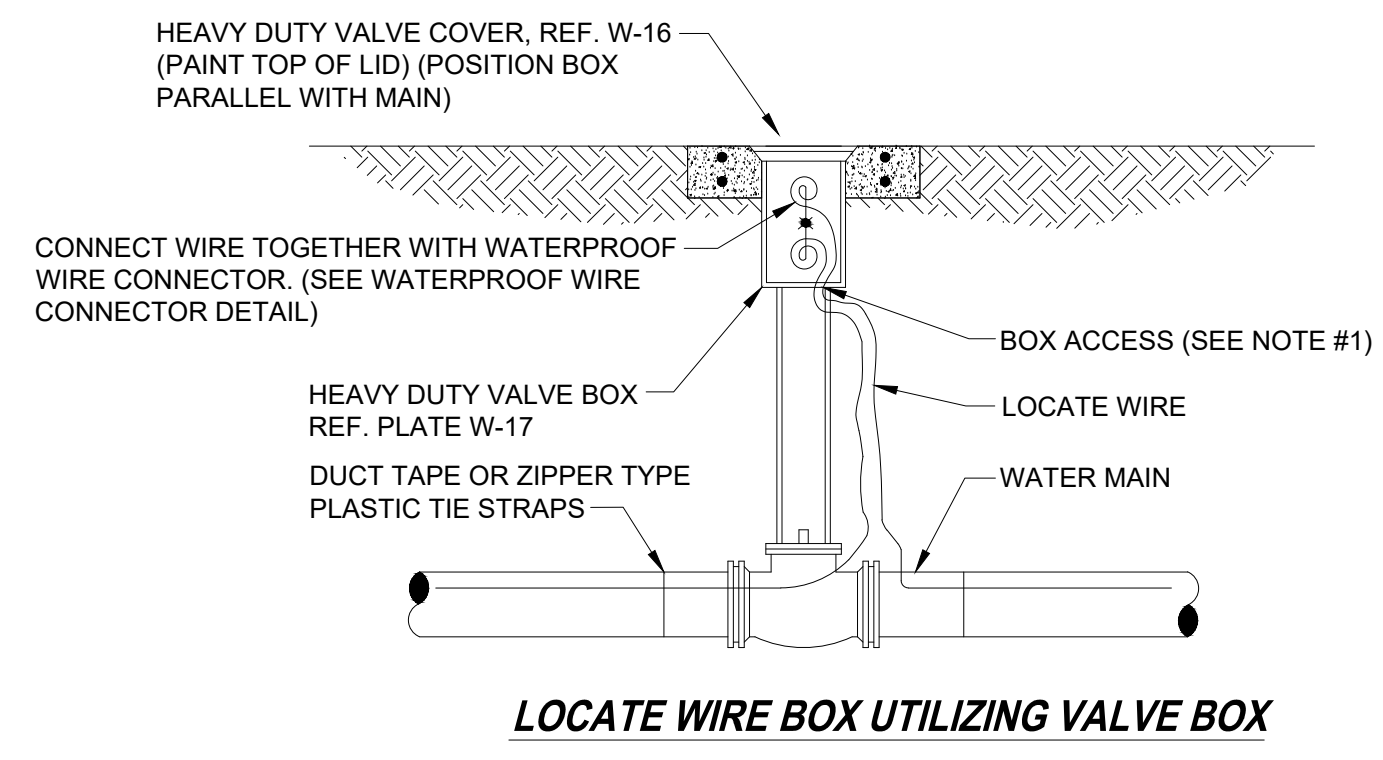
- NOTES:**
- LOCATING WIRE TO BE INSTALLED IN EITHER THE ONE OR ELEVEN O'CLOCK POSITION ON ALL DUCTILE IRON OR PVC (PRESSURE MAINS). LOCATE WIRE SHALL ALSO BE INSTALLED ON ALL (HDPE) POLY MAIN PIPING (1:00 OR 11:00 POSITION, IF POSSIBLE).
 - SECURE LOCATING WIRE TO PVC & D.I.P. WATER MAIN BY USE OF DUCT TAPE OR ZIPPER TYPE PLASTIC TIE STRAPS SPACED AT A MAXIMUM DISTANCE OF TEN (10') AND AT EACH SIDE OF BELL JOINT OR FITTING.
 - THE ENTIRE LOCATING SYSTEM SHALL BE SUBJECTED TO TESTING TO DETERMINE ITS RELIABILITY. WHERE INSTALLED UNDER PAVEMENT AREAS, TESTING SHALL BE DONE PRIOR TO THE PLACEMENT OF PAVEMENT, UNLESS APPROVED OTHERWISE BY A.H.J.
 - LOCATING WIRE SHALL TERMINATE WITHIN AN ACTIVE VALVE BOX (WITH A VALVE) OR A METER BOX (IF NO VALVE) AT 475' INTERVALS. SEE DETAIL PLATE W-44B. WIRE CONNECTIONS BELOW GROUND (OUTSIDE OF A BOX) SHALL BE AVOIDED.
 - REFER TO SECTION 350 FOR LOCATE WIRE SPECIFICATIONS.
 - ** INDICATES THAT THE WIRES ARE CONNECTED TOGETHER WITH A WATERPROOF CONNECTION. (SEE DETAIL W-44B)
 - * INDICATES A WIRE PIG-TAIL (4' LONG)
 - FOR FIRE HYDRANT LOCATE WIRE REQUIREMENTS AND EXCLUSIONS, SEE PLATES W-12,13 AND 14.
 - AN "LW" CUT SHALL BE CARVED IN THE CONCRETE CURB AND PAINTED AT ALL LOCATE WIRE BOXES.
 - FOUR LANES OF TRAFFIC (HAVING TWO LANES OF TRAFFIC IN EACH DIRECTION) OR GREATER THE LOCATE WIRE AND VALVE BOX SHALL BE OFF-SET TO THE RIGHT-OF-WAY.

LOCATE WIRE CONSTRUCTION FOR WATER MAINS
JANUARY 2025 PLATE W-44



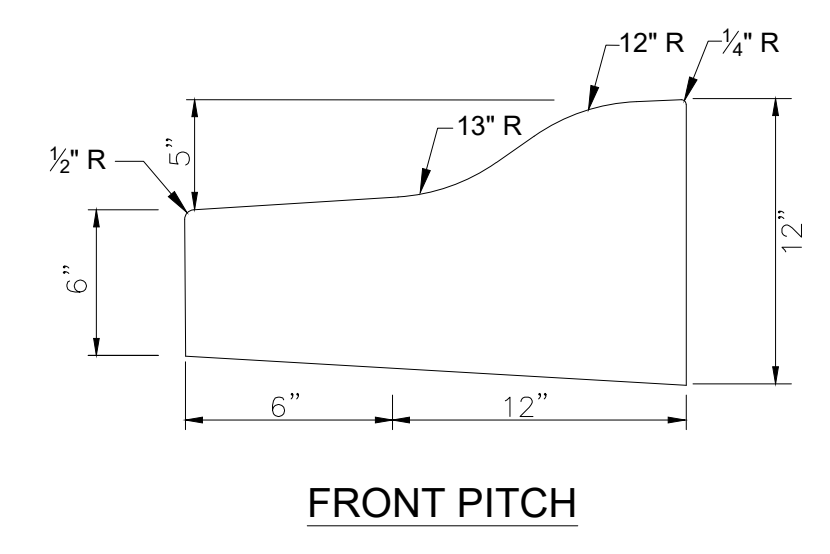
- NOTES:**
- NOTE THAT THE BRANCH WIRE IS NOT CONNECTED TO THE MAIN WIRE.
 - LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A "V" CUT IN THE 6" PVC RISER PIPE SECTION (SEE W-18).
 - LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE AND LOCATE POINTS.

LOCATE WIRE FOR BRANCH MAIN
JANUARY 2025 PLATE W-44A



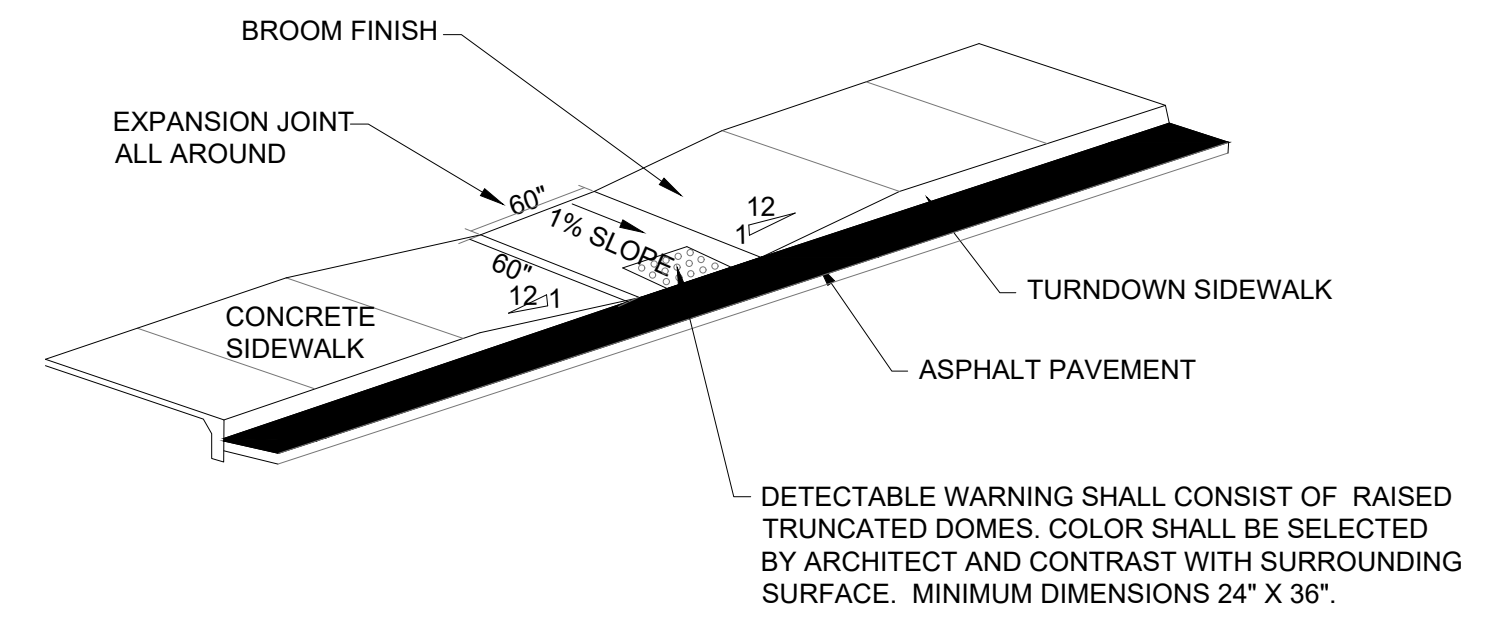
- NOTES:**
- LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A "V" CUT IN THE 6" PVC RISER PIPE (SEE W-18).
 - LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE AND LOCATE POINTS.
 - LOCATE WIRE CONNECTION SHALL ONLY BE A 2 WAY CONNECTION.

LOCATE WIRE BOX
JANUARY 2025 PLATE W-44B

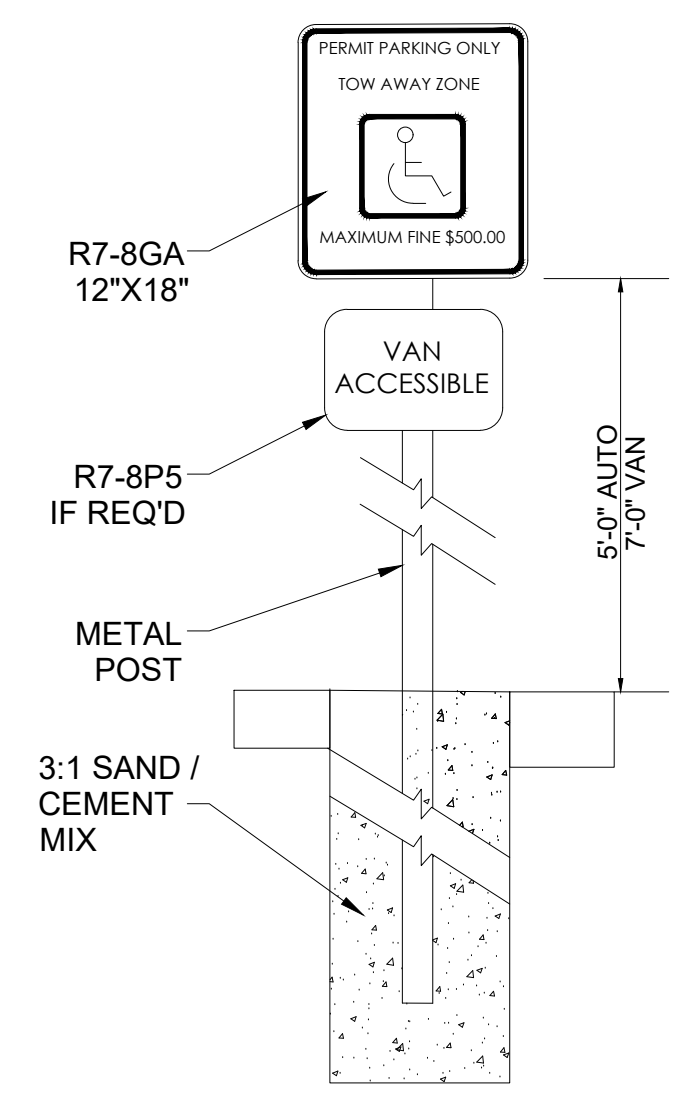


- NOTES:**
- CONCRETE SHALL BE 4000 PSI
 - PROVIDE CONTROL JOINTS EVERY 10'
 - PROVIDE EXPANSION JOINTS EVERY 50'
 - PROVIDE EXPANSION JOINTS WHERE CURB ABUTS ANY STRUCTURE OR SIDEWALK
 - PROVIDE LIGHT BROOM FINISH

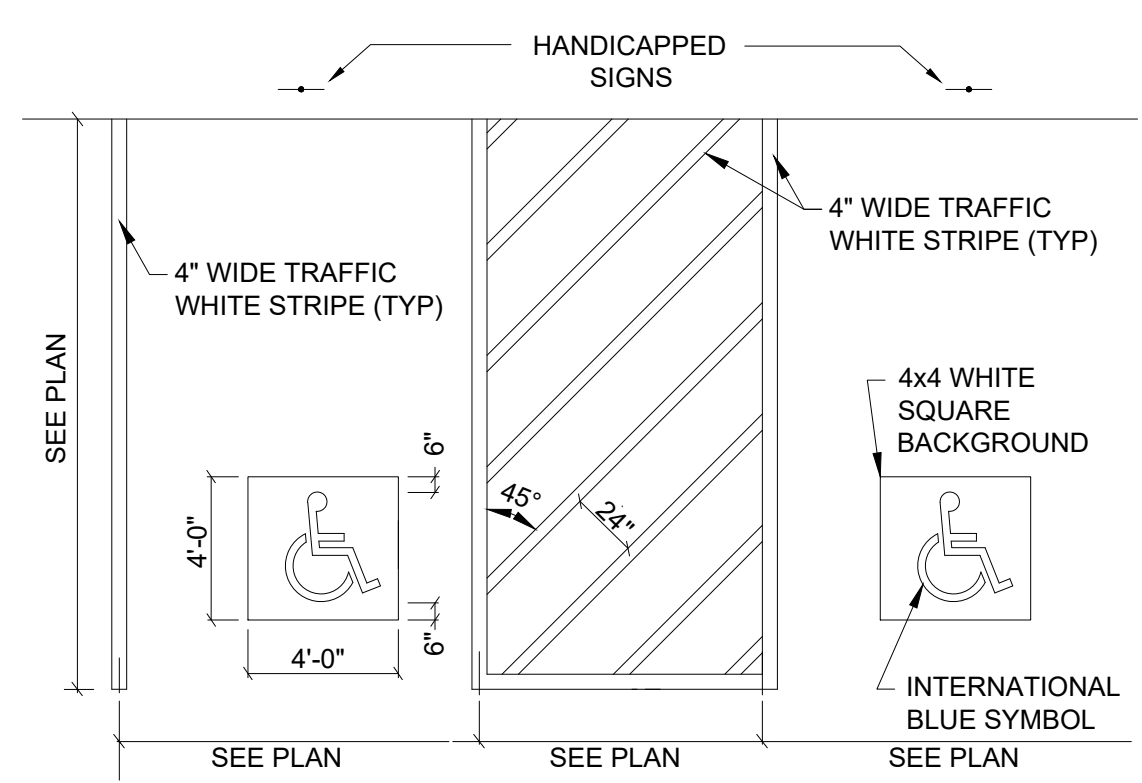
18" ROLLOVER CURB AND GUTTER
NTS



HANDICAPPED RAMP DETAIL
NTS

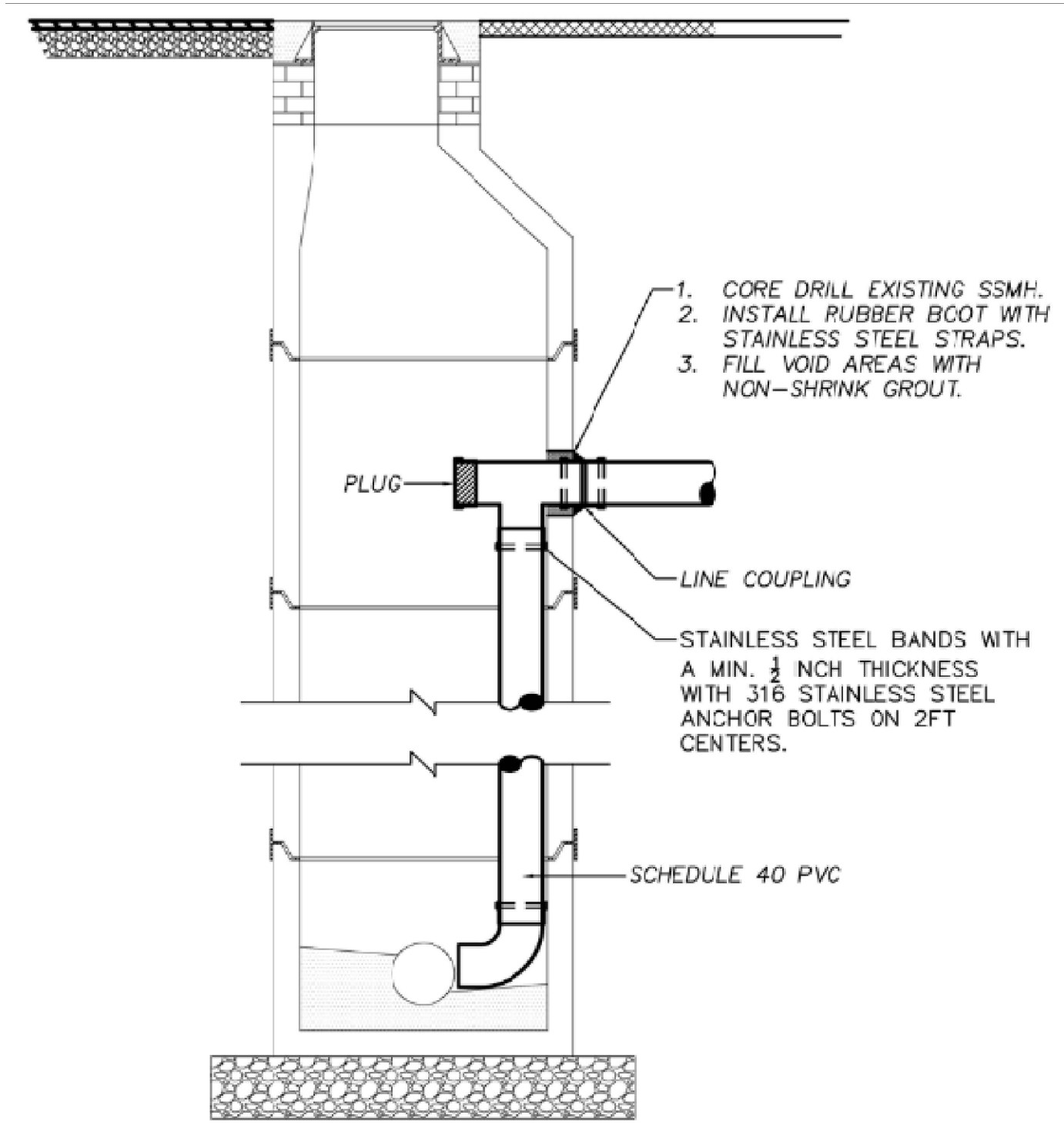
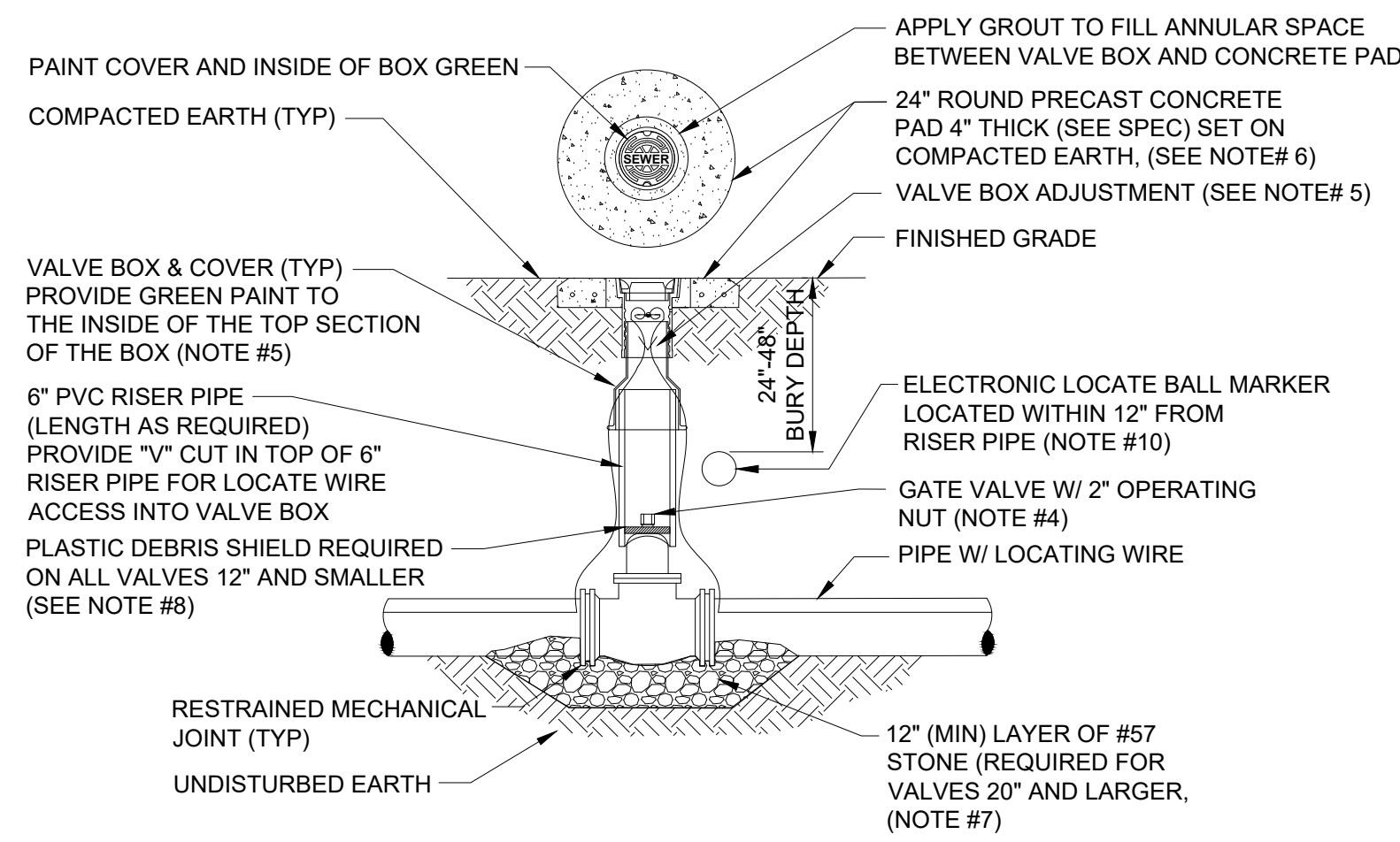


HANDICAP SIGN DETAIL
NTS

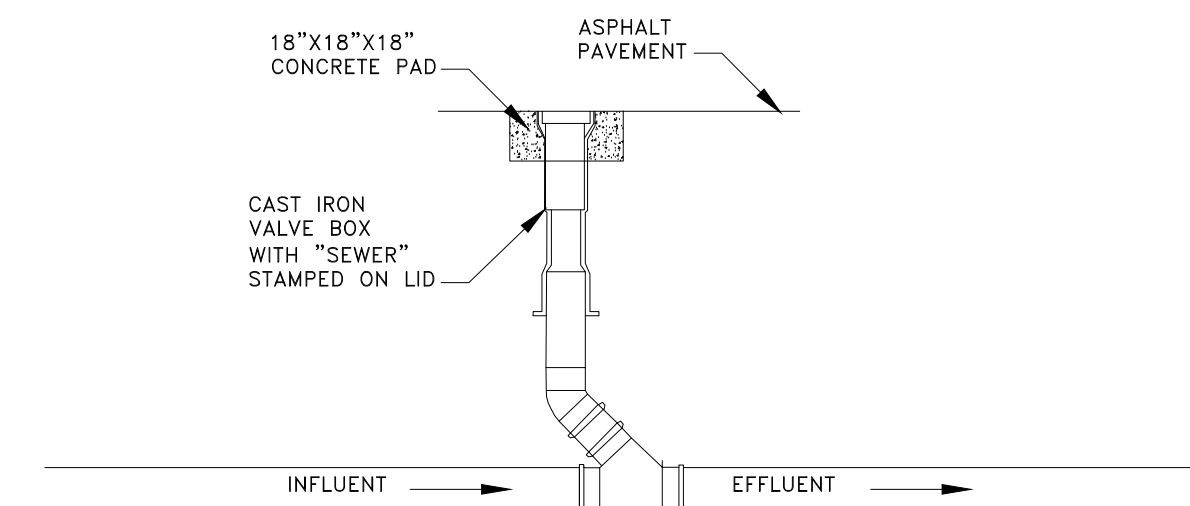


- NOTE:**
- ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC.
 - MAXIMUM SLOPE AND CROSS SLOPE NOT TO EXCEED 1:48.

HANDICAPPED STALL
NTS



INSIDE DROP - SEWER MANHOLE
NTS



CLEAN OUT
NTS

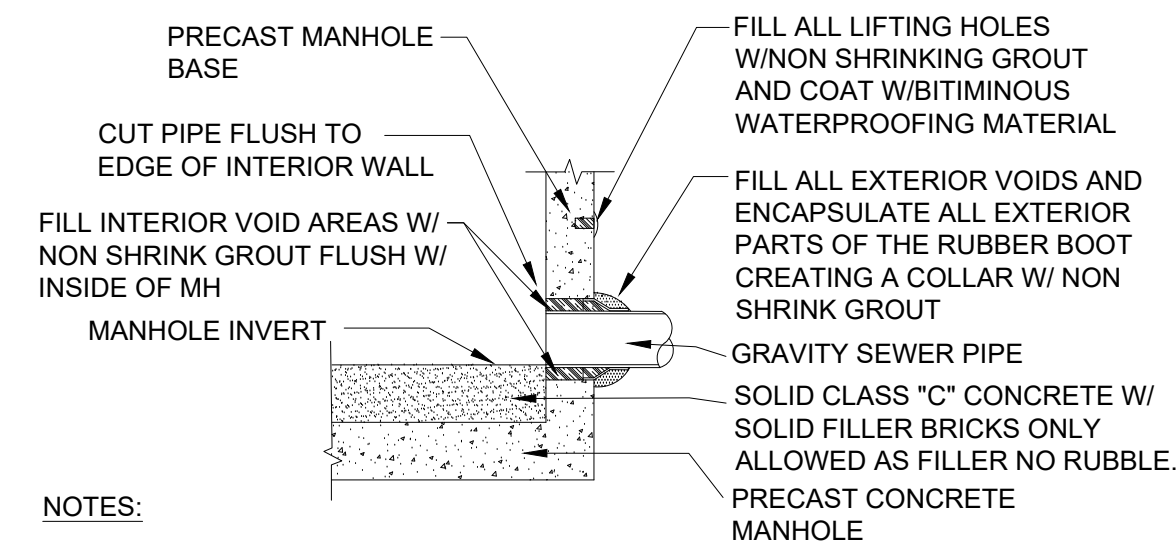
NOTES:

1. FOR UNPAVED LOCATIONS, A PRECAST CONCRETE VALVE PAD SHALL BE PROVIDED AND INSTALLED FLUSH WITH GRADE. CONCRETE PAD IS NOT REQUIRED FOR VALVE LOCATED IN THE ROADWAY, UNLESS SHOWN OR NOTED OTHERWISE.
2. LOCATING WIRE IS REQUIRED ON ALL PRESSURE PIPING (SEE DETAIL S-49).
3. A 1/2\"/>

SEWER VALVE DETAIL

JANUARY 2025

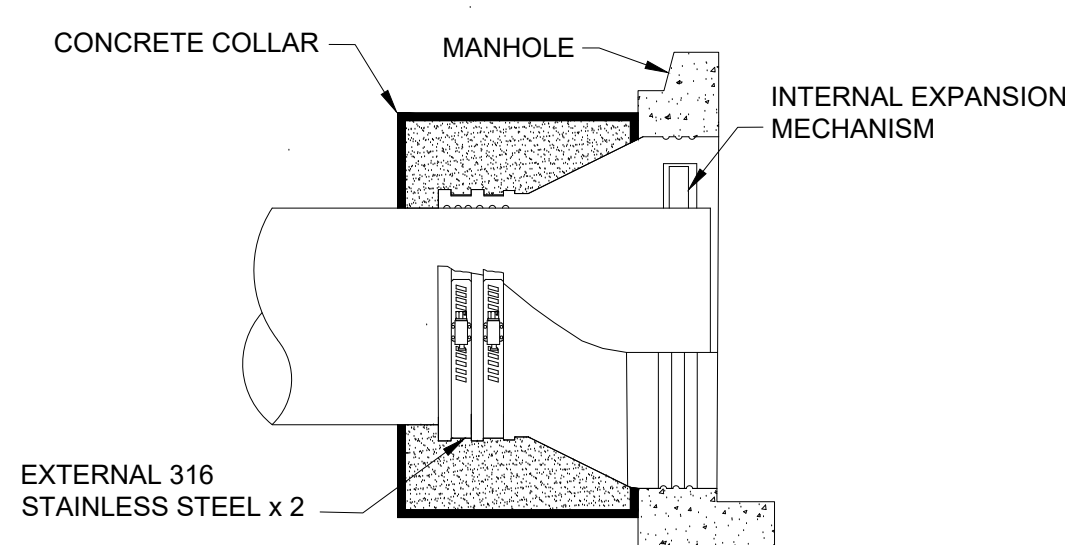
PLATE S-30



NOTES:
RUBBER BOOT, DOUBLE BANDED, 316 S/S CLAMPS, MEETING THE ASTM C923 STANDARD, KOR-N-Seal® | EX SERIES CONNECTOR WITH DOUBLE STAINLESS STEEL BANDS OR EQUAL

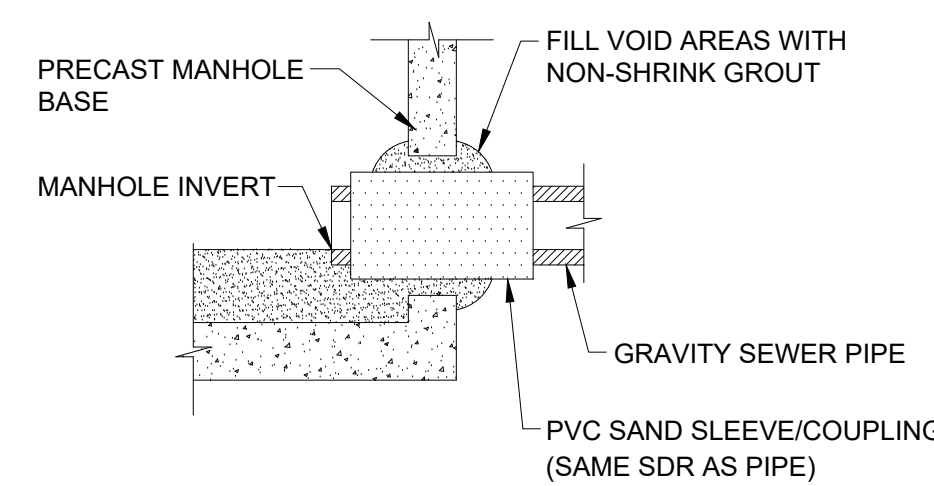
RUBBER BOOT

(FOR NEW M/H CONSTRUCTION ONLY, MAXIMUM DEPTH 15FT)



RUBBER BOOT DETAIL

(FOR EXISTING AND NEW M/H CONSTRUCTION)

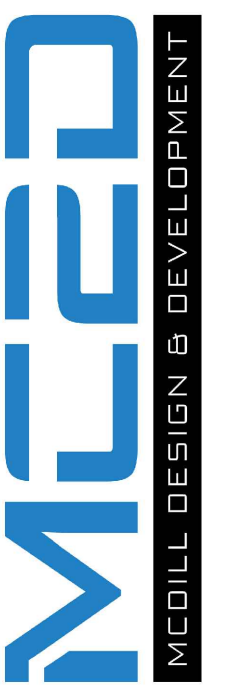


PVC SAND SLEEVE
(FOR EXISTING AND NEW M/H CONSTRUCTION)

CONCRETE AND POLYMER MANHOLE PIPE CONNECTION DETAILS

JANUARY 2025

PLATE S-15

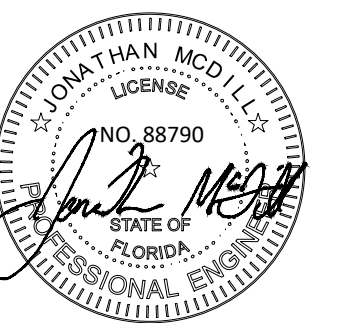


109 Readdick Avenue
Kingsland, GA 31548

DETAIL 4
SPORTS PERFORMANCE BUILDING
FERNANDINA BEACH, FLORIDA
PREPARED FOR:
PAUL NOLAN

REVISIONS	NO.	DESCRIPTION	DATE

PERMIT SET



6/2/26

DRAWN BY: JM
CHECKED BY: JM
DATE: 6/2/26
SCALE: N.T.S.
(FOR APPROVAL)

CONTENT:
DETAIL 4