



**AGENDA
HISTORIC DISTRICT COUNCIL
REGULAR MEETING
JANUARY 17, 2019
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER / ROLL CALL / DETERMINATION OF QUORUM**
- 2. APPROVAL OF MEETING MINUTES**
 - 2.1 November 15, 2018 Regular Meeting**
- 3. OLD BUSINESS**
 - 3.1 HDC 2018-33: SCOTT & JULIE JONES, 908 WHITE STREET**
Certificate of Approval (COA) to construct a two-story, single-family dwelling and two-story accessory structure. *(Quasi-Judicial)*
 - 3.2 *ITEM POSTPONED UNTIL FEBRUARY 21, 2019***
HDC 2018-42: MIRANDA ARCHITECTS, AGENT FOR ST. MICHAEL CATHOLIC CHURCH, 505 BROOME STREET
VARIANCE from Land Development Code Section 7.01.04(B)6 Parking Standards & Parking Lot Design: On Street Parking. *(Quasi-Judicial)*
- 4. NEW BUSINESS**
 - 4.1 HDC 2018-50: TAMMI L. KOSACK, 322 N. 3RD STREET**
Certificate of Approval (COA) to install a rooftop solar array. *(Quasi-Judicial)*
 - 4.2 HDC 2019-01: COTNER ASSOCIATES, INC. ARCHITECTS, AGENT FOR JAMES D. & CONSTANCE N. SCOTT, 123 S. 7TH STREET**
Conceptual Certificate of Approval (COA) to expand a rear addition, demolish a non-contributing accessory structure, and construct a new accessory structure. *(Quasi-Judicial)*
 - 4.3 PRESENTATION: Defensible Decision Making and Sunshine Laws** by City Attorney Bach.
- 5. STAFF APPROVED CERTIFICATE OF APPROVALS**
 - 5.1 HDC 2018-05: JOHN DODD, AGENT FOR LANCE & LISA PERNA, 1133 WHITE STREET**
Staff approved amendment to Board approved COA: Change paint color to SW Pure White (7005)
 - 5.2 HDC 2018-07: THE JOHN STOKES COMPANY, AGENT FOR DAVIS & YAYOI BURBANK, 804 WHITE STREET**
Staff approved amendment to Board approved COA: Change paint color to SW6523 Denim.

- 5.3 **HDC SA 2018-78: MICHAEL & JENNIFER HARRISON, 820 SOMERUELES STREET**
Render CMO piers with two coats of stucco (finish: sand, color: charcoal); Replace lattice with 1x6 PT board, running horizontally; Repaint front door in color SW7047 Porpoise.
- 5.4 **HDC SA 2018-80: FASTSIGNS, AGENT FOR AMELIA SCHOOLHOUSE INN, 914 ATLANTIC AVENUE**
Install freestanding main sign 72" in height and 20sf in size.
- 5.5 **HDC SA 2018-81: RICHARD BOYLES/HYGEMA HOUSE BUILDERS, AGENT FOR MARILYN LEIBMAN, 201 N. FRONT STREET**
Replace sill beam using existing support post.
- 5.6 **HDC SA 2018-82: DESIGN IT WRAPS, AGENT FOR DOROTHEA STILLWELL, 31 S. 5TH STREET**
Install hanging sign from existing mounts (MDO wood with vinyl applied)
- 5.7 **HDC SA 2018-83: ISLAND ART ASSOCIATION, 18 N. 2ND STREET**
Re-roof using AMCO Torch Membrane in Black; Re-locate HVAC to back of building. Install on raised, pressure treated wood platforms.
- 5.8 **HDC SA 2018-84: VERONICA M. WALLACE, 1011 WHITE STREET**
Repair shutters, 2 wood porch posts, gutters, and wood fencing using same material/colors as existing.
- 5.9 **HDC SA 2018-86: CAROL M. HOMEYER, 131 S. 6TH STREET**
Repair/Replace wood siding, deck, and stairs using same material and colors as existing.
- 5.10 **HDC SA 2018-88: WRIGHT RUNWAY, LLC, 311 CENTRE STREET**
Install tile over cement walkway.
- 5.11 **HDC SA 2018-89: JOHN GIBBONS / FLIP THE SPRINGS, LLC, 818 SAN FERNANDO STREET**
Replace 10 windows with Integrity Wood-Ultrex Traditional Double Hung windows, replace window trim, replace 1 door with Craftsman 6 lite, replace 1 door with Ext Sgl 3/0 x 6/8 Fir, repaint exterior using SW Black Magic and SW High Reflective White.
- 5.12 **HDC SA 2018-90: MIKE MCCLOSKEY, AGENT FOR D&M LLC, 802 ASH STREET**
Repair/repaint existing wood windows; Replace alley metal door with new Hollow Metal Entry Door: FL Product Approval #14102103 in White.
- 5.13 **HDC SA 2018-91: GARY WICKLESS, AGENT FOR FERNANDINA PORT DEVELOPMENT, 501 N 3RD STREET**
Replace 2 support beams and 1 railing section board for board. Colors to match existing.

6. BOARD BUSINESS

7. STAFF REPORT

- 7.1 **Regulations for Keeping Chickens on Private Property - (Ord. 2019-XX).** Scheduled to be heard by the City Commission January 15, 2019

- 7.2 **Historic Preservation Trust Fund** - Resolution scheduled to be heard by the City Commission on February 5, 2019.

8. PUBLIC COMMENT

9. ADJOURNMENT

NEXT HDC REGULAR MEETING IS SCHEDULED FOR FEBRUARY 21, 2019.

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired). All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Planning Department (904) 310-3135.



**MINUTES
HISTORIC DISTRICT COUNCIL
REGULAR MEETING
NOVEMBER 15, 2018**

1. CALL TO ORDER – 5:00 PM

ROLL CALL / DETERMINATION OF QUORUM

MEMBERS PRESENT:

James Pozzetta (Vice Chair)
Michael Harrison
Michael Spino (Chair)

Benjamin Morrison (Alt1)
Ricky Escalante (Alt 2)

MEMBERS ABSENT:

Angela Conway
Robert Erickson

OTHERS PRESENT

Tami Bach, City Attorney
Sal Cumella, Historic Preservation Planner
Samantha Rogic, Recording Secretary

ACTION TAKEN: A motion was made by Member Harrison, seconded by Member Pozzetta to seat Alternate Members Morrison and Escalante as voting members.

Motion passed by unanimous voice vote.

2. APPROVAL OF MEETING MINUTES

2.1 October 18, 2018 Regular Meeting

Member Harrison noted that item 4.3 in the October 18, 2018 minutes reads “Town Street” and should read “Towngate Street”. He also noted that in his farewell proclamation he would like included that he “thanked the board for their help and support”.

ACTION TAKEN: A motion was made by Member Harrison, seconded by Member Pozzetta to approve the October 18, 2018 minutes as amended.

Motion passed by unanimous voice vote.

3. OLD BUSINESS

3.1 *CONTINUED TO JANUARY 17, 2019 REGULAR MEETING*

HDC 2018-33: SCOTT & JULIE JONES, 908 WHITE STREET

Certificate of Approval (COA) to construct a two-story, single-family dwelling and two-story accessory structure. (*Quasi-Judicial*)

3.2 HDC 2018-36: PJD'S AMELIA LLC, AGENT FOR STARK BUILDING, 12 S. 2ND STREET

Certificate of Approval (COA) to extend an existing second floor deck over accessory structure. (*Quasi-Judicial*)

David Voorhees, the applicant, provided information and details specific to the request.

ACTION TAKEN: A motion was made by Member Harrison, seconded by Member Pozzetta, to approve HDC case number 2018-36 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2018-36, as presented, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays, and being all ayes, carried.

3.3 ***CONTINUED TO JANUARY 17, 2019 REGULAR MEETING****

HDC 2018-42: MIRANDA ARCHITECTS, AGENT FOR ST. MICHAEL CATHOLIC CHURCH, 505 BROOME STREET

Variance from Land Development Code section 7.01.04(B)6 Parking Standards & Parking Lot Design: On Street Parking. (Quasi-Judicial)

3.4 **HDC 2018-45: DONALD SKIPPER, AGENT FOR TIMOTHY J. & PATRICIA L. GREEN, 1119 SOMERUELUS STREET**

Certificate of Approval (COA) to construct a 1-story, 2,047 square foot primary structure and a 500 square foot detached accessory structure with two carports. (*Quasi-Judicial*)

Tim and Patricia Green, owners of the property, provided information and details specific to the request.

ACTION TAKEN: A motion was made by Member Morrison, seconded by Member Harrison, to deny HDC case number 2018-45 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2018-45, as presented, is not substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays, and was as follows:

Member Harrison:	Aye
Member Pozzetta:	Nay
Member Morrison:	Aye
Member Escalante:	Nay
Chair Spino:	Nay

Motion failed.

ACTION TAKEN: A motion was made by Member Escalante, seconded by Member Pozzetta, to approve HDC case number 2018-45 with the condition that the owners provide a more specific layout of the driveway through the property, with presentation to staff; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2018-45, as presented, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays, and was as follows:

Member Harrison:	Nay
Member Pozzetta:	Aye
Member Morrison:	Nay
Member Escalante:	Aye
Chair Spino:	Aye

Motion passed.

- 3.5 **HDC 2018-46: GARY A. & PHYLLIS M. PONGETTI, 1102 WHITE STREET (LOTS 11 & 12)**
Certificate of Approval (COA) to construct a 1-story, 1,311 square foot primary structure and a 450 square foot detached accessory structure. (*Quasi-Judicial*)

ACTION TAKEN: A motion was made by Member Harrison, seconded by Member Morrison, to approve HDC case number 2018-49 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2018-49, as presented, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays, and being all ayes, carried.

Correction for record: Member Harrison incorrectly referenced HDC 2018-49 in discussion and motion. All Board members agreed that the discussion, motion, and subsequent vote was intended for HDC 2018-46: Gary A. & Phyllis M. Pongetti, 1102 White Street (Lots 11 & 12), not HDC 2018-49 as stated.

4. NEW BUSINESS

- 4.1 ***CONTINUED TO APRIL 18, 2019 REGULAR MEETING***
HDC 2018-47: MICHAEL & JENNIFER HARRISON, 800 SOMERUELUS STREET
Certificate of Approval (COA) to construct a 1,520 square foot primary structure with a detached 480 square foot accessory dwelling. (*Quasi-Judicial*)
- 4.2 **HDC 2018-49: GILLETTE & ASSOCIATES, INC., AGENT FOR ALACHUA GROUP LLC., 201 ALACHUA STREET**
Conceptual Certificate of Approval (COA) to construct a miniature golf course with associated customer service buildings and deck. (*Quasi-Judicial*)

Asa Gillette, agent to the owner, provided information and details specific to the proposed request.

Tim Poynter, owner, provided additional information.

ACTION TAKEN: A motion was made by Member Morrison, seconded by Member Harrison, to approve HDC case number 2018-49 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2018-49, as presented, is substantially compliant with the Land Development Code, and the Waterfront Community Redevelopment Area Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

5. STAFF-APPROVED CERTIFICATES OF APPROVAL

- 5.1 **HDC SA 2018-67: LOUIS S. THARIN, 412 N. 3RD STREET**
Replace walkway with old brick to match original brick walkway.
- 5.2 **HDC SA 2018-68: POZZI ENTERPRISES, STEVEN & CAROLYN POZZI, 300 ASH STREET**
Install water treatment cylinder (10"x 64") and small recharge tank (10" x 20") located next to the electric box (gray).
- 5.3 **HDC SA 2018-69: BRUCE MEGER, 213 N. 6TH STREET**
Install 6ft wood fence on south side of property with first 25ft being 4ft high and install 4ft high black aluminum fence on east frontage of property.

- 5.4 **HDC SA 2018-70: LUCA MISCIASCI/614 CENTRE LLC, 614 CENTRE STREET**
Install acrylic 18" Red lettering on frontage wall sign.
- 5.5 **HDC SA 2018-71: ANNE & BILL KAVANAUGH, 112 N. 6TH STREET**
Re-roof using Georgia Metals, 24 Gauge, Snap Lock Galvalume in Silver (FL product approval # 17353-rl)
- 5.6 **HDC SA 2018-72: JOHN D. SMITH, AGENT FOR MUFFIE AUSTIN, 325 S. 6TH STREET**
Replace existing windows with Pella 850 Series Aluminum Clad Double Hung Windows in White.
- 5.7 **HDC SA 2018-74: PEPPERS / LOS ARRAYANES INC., 530 CENTRE STREET**
Install 2 new projecting signs on existing brackets and pavers and retaining wall at west elevation.
- 5.8 **HDC SA 2018-75: GARY LEPIERRE, AGENT FOR PATRICIA TOUNDAS, 101 CENTRE STREET**
Re-roof using Tamko 30 Year Architectural Torch in White (FL approval #1956.6)
- 5.9 **HDC SA 2018-76: ROOFCRAFTERS ROOFING, LLC, AGENT FOR EILEEN MOORE, 208 S. 7TH STREET**
Re-roof using McElroy 26 Gauge 5v in Silver (FL approval #11560.12)
- 5.10 **HDC SA 2018-77: CARLOS SERRANO, CELEBRATION CHURCH, 416 ALACHUA STREET**
Reduce logo sticker (2x4) and parking lot sign (4x4) to 2x2. Design to remain the same.
- 5.11 **HDC SA 2018-79: GREG POWER, AGENT FOR MARIA CATON, 714 SAN FERNANDO STREET**
Replace damaged 2x2 ballusters with 3x3 ballusters in White.
6. **BOARD BUSINESS**
7. **STAFF REPORT**
Mr. Cumella spoke to the Historic Resources Survey Update Report and informed the Board that the December HDC meeting has been cancelled.
8. **PUBLIC COMMENT**
9. **ADJOURNMENT – 6:29 PM**

Samantha Rogic, Recording Secretary

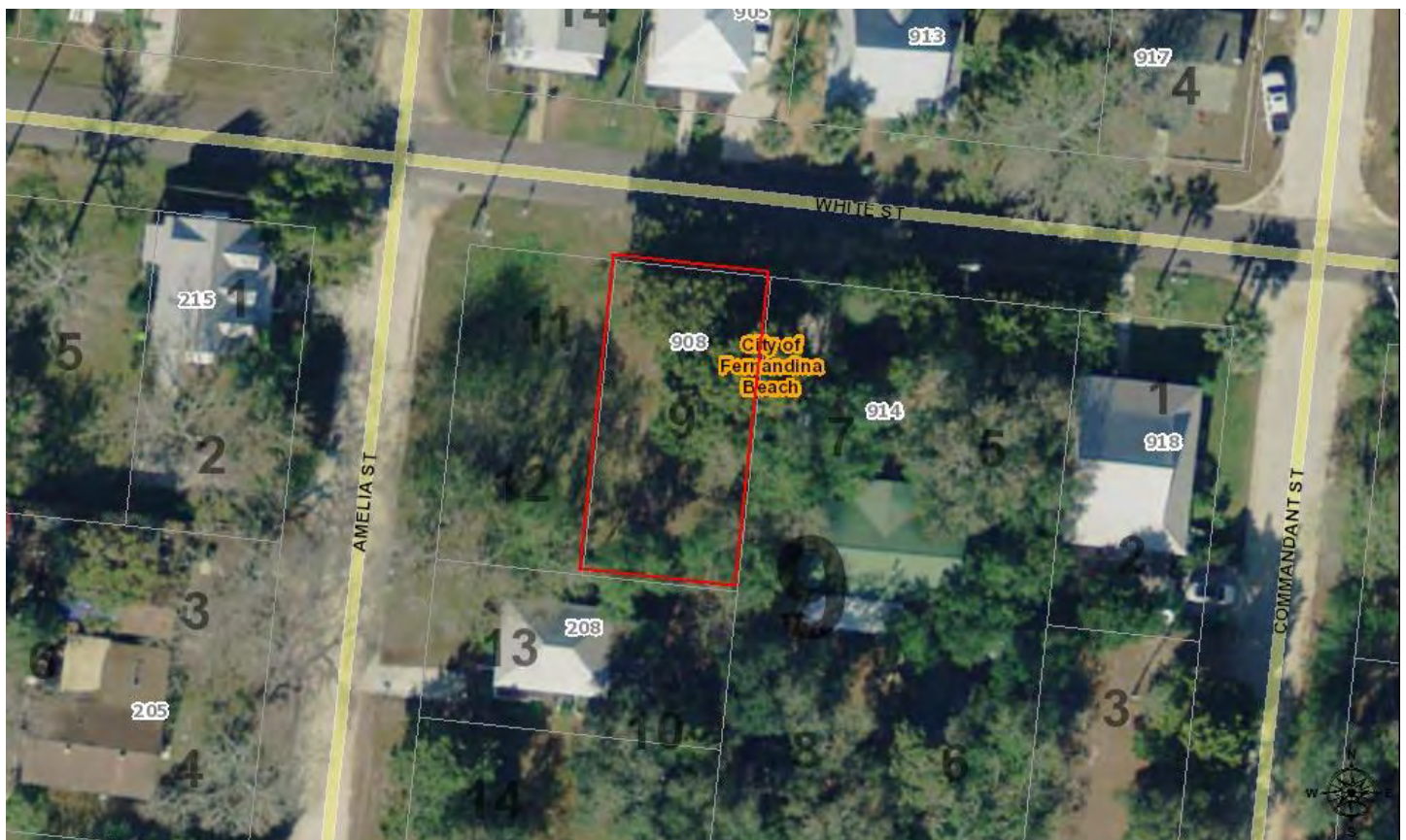
Michael Spino, Chair



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2018-33
JANUARY 17, 2019

Owner/Applicant:	Scott and Julie Jones				
Property Address:	908 White Street (Lot 9 Block 9 Old Town)				
Requested action:	Certificate of Approval (COA) to construct a two-story, single-family dwelling and two-story accessory structure.				
Current zoning:	OT-1				
FLUM land use category:	Old Town				
Existing uses on the site:	Vacant				
FL Master Site File #	N/A				
Year Built:	N/A				
Contributing Status:	Non-Contributing				
Adjacent Properties:	North	Single-Family Residential	OT-1	c.2015	
	South	Single-Family Residential	OT-1	c.1938	
	East	Single-Family Residential	OT-1	c. 1982	
	West	Vacant	OT-1		

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

The applicant is seeking a Certificate of Approval (COA) to construct a two-story, single-family dwelling and two-story accessory structure.

Lot 9 Block 9 of Old Town Fernandina is a full peonia with dimensions of 46'6"x93'2".

This case was continued from the August 16, 2018 regular HDC meeting in order to allow the applicant time to provide more detailed drawings for review.

Conceptual approval, with the condition that the applicant incorporates board and staff recommendations, was granted October 18, 2018.

APPLICABLE GUIDELINES:

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐

10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Findings: Complies ☒ Does not Comply ☐ N/A ☐

CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

8.00.01 Intent

It is declared as a matter of public policy that protection, enhancement, perpetuation and use of sites of aesthetic, archaeological, architectural, cultural, historical and paleontological merit or value is in the interests of the health, prosperity, safety and welfare of the people of Fernandina Beach. The City Commission finds that the irreplaceable loss of these resources to the community would detrimentally affect the community as a whole. It is therefore the intent of this chapter to:

- A. Effect and accomplish the protection, enhancement and perpetuation of buildings, structures, improvements, sites, districts, landscape features, and archaeological and paleontological resources that represent distinctive elements of the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific, and social history;
- B. Safeguard the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific and social heritage, as embodied and reflected in such structures, sites, and districts;
- C. Foster awareness and pride in the accomplishments and events of the City's past;
- D. Protect and enhance the City's attraction to residents, tourists, and visitors, and serve as an economic stimulus to business and industry;
- E. Stabilize and improve property values and encourage compatible redevelopment;
- F. Enhance the visual and aesthetic character of the City; and
- G. Promote the use of individual structures, sites, and districts for the education, leisure, and welfare of the people of Fernandina Beach.

8.00.03 Relationship to Comprehensive Plan

The following standards implement Goal 11: Historic Preservation Element of the Fernandina Beach Comprehensive Plan to identify, preserve, and protect historic and cultural resources within the City.

8.01.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.
- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.

- D. The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:
1. Scale, including height and width;
 2. Setbacks;
 3. Orientation and site coverage;
 4. Alignment, rhythm, and spacing of buildings;
 5. Form and detail, considering the link between old and new buildings;
 6. Maintaining materials within the district or on the landmark site;
 7. Maintaining quality within the district or on the landmark site;
 8. Facade proportions and window patterns;
 9. Entrances and porch projections;
 10. Roof forms; and
 11. Horizontal, vertical, or non-directional emphasis.

8.01.01.02 Specific Requirements within the OT-1 and OT-2 Zoning Districts

- A. A peonia is a lot within the Old Town Historic District. The peonia lot is 46.5 feet by 93 feet or 4,324.5 square feet.
- B. Construction of a dwelling unit on a media (one-half (½) of a peonia) peonia shall require that such media peonia be joined with an abutting media peonia or peonia in order to comply with the maximum density established in Section 4.01.01.
- C. General requirements
1. Guidelines adopted by reference: The Old Town Preservation and Design Guidelines are hereby adopted by reference and incorporated herein.
 2. Purpose
In the Old Town Historic District, the major emphasis is on building placement according to the historic plan and appropriate scale and construction, rather than architectural styles. Building form is discussed in the context of building typology rather than architectural styles. Typological discussions concentrate on the architectural elements that make a building compatible with the context of Old Town. Variances to the guidelines may be granted based on architectural merit. These regulations do not supersede existing codes covering health and safety issues.
 3. Building types
 - a. A primary building is defined as the principal unit of occupancy. While this usually refers to a private dwelling unit, it also applies to appropriate commercial buildings allowed in the OT-2 zoning district.
 - b. Outbuildings are ancillary to the primary building in size and degree of occupancy. Outbuildings may be attached by connecting elements or remain detached. Outbuildings include, but are not limited to, garages, storage sheds, greenhouses, workshops, gazebos, and playhouses.
 - c. Connecting elements are those architectural components that link primary and outbuildings with each other or act as a transition to the landscape. Connecting elements are considered to be enclosed spaces that are not permanently conditioned. Connecting elements create openness and give human scale to the building elements and allow owners to take advantage of the climate. Connecting elements include, but are not restricted to, porches, pergolas, colonnades, loggias, breezeways, and carports. The design of connecting elements shall be compatible with the typology and scale of the building elements; however, these elements can take on many inventive forms to achieve this result. Additions of connecting elements to registered historic structures

must be taken on with great care from both an architectural and technical point of view.

- D. The total lot coverage of all building elements on one (1) peonia shall not exceed forty-five (45) percent.
- E. No more than one (1) primary building shall be placed on one (1) peonia.
- F. The number of outbuildings is limited by the total square footage requirements and the dimensions set out for these buildings but not by number.
- G. The space between an outbuilding and a primary building shall be a usable space of not less than five (5) feet. The use of connecting elements to link primary and outbuildings with indoor-outdoor space is strongly encouraged. Connecting elements and landscape elements are excluded from building separation requirement to encourage the design of spaces that take advantage of the climate. Thus, enclosed square footage may be easily expanded by the precise use of connecting elements such as porches and breezeways.
- H. The area of a tower is included in the calculation of the total allowable area of the primary building. A minimum of twenty-five (25) percent of the tower shall not be permanently conditioned space, typically the upper space opening to the sky and surrounding view.
- I. Garages and outbuildings that house more permanent types of occupancy, such as an accessory dwelling, shall not exceed 500 square feet in area, per level, shall not exceed 24 feet in height, shall not contain a kitchen or kitchenette, and shall not be rented out. The area of all other out buildings is limited to 350 square feet and shall not exceed 16 feet in height.
- J. Nonresidential structures shall have sites of sufficient area for the structures to meet minimum requirements in this section.
- K. Lot visibility corridors. The term "visibility corridor" is used in place of "setbacks" to emphasize the spatial effect of building placement. Careful siting of properly scaled building elements on a lot ensures that the historic lot divisions remain visible regardless of the architectural style or number of buildings that exist within the City at any given time. The visibility corridors are subdivided into frontage corridors, side yard corridors and mid-lot corridors.
 - 1. The frontage corridor is a lot line with minimum setback of five (5) feet. This encourages the use to define the private space of the lot and the public space of the street. Outbuildings shall not be located on the frontage portion of peonias or the corner media peonia lots.
 - 2. For side yard corridors there shall be a required minimum setback of five (5) feet separating lots on the north-south orientation. If two (2) or more adjacent properties are owned, then the corridor dimensions are cumulative. Primary and outbuildings shall not cross lot lines without the use of an open space or connecting element that maintains the dimensions of the side yard corridor.
 - 3. Mid-lot corridors shall have a minimum setback of five (5) feet. This setback makes the historic lot division visible along the east-west orientation. Mid-lot corridors on frontage lots make the media peonia lots visible and are required regardless of ownership. On interior peonia lots, this corridor appears at midblock. If an aggregate of peonias extends from street to street, a visibility corridor shall be present in the design of the buildings indicating the mid-block dimension. Primary and outbuildings shall not cross lot lines without the use of an open space or connecting element that maintains the dimensions of the mid-lot corridors. For example, if an owner holds an entire row of media peonias along a north-south street and plans to build the maximum allowable percentage of lot coverage, then all building elements shall demonstrate a mid-lot visibility corridor at the lot lines.
 - 4. Every point of the required corridors shall be open from its lowest point to the sky unobstructed, except for the ordinary projection of sills, belt courses, buttresses, ornamental features, chimneys, and eaves, provided that none of such projections shall project into a side yard any more than twenty-four (24) inches. Connecting elements such as balconies, porches, or bay windows may also be allowed as projections under these dimensional restrictions.

Landscape elements are not covered under this restriction.

5. In instances where media-peonias are owned in aggregate or assembled to meet the minimum density or area requirements, the visibility corridor may be crossed by an enclosed primary structure or connecting element which clearly indicates the existence of the visibility corridor (i.e., substantial changes in the roof elevation, substantial indentions or breaks in exterior wall elements and similar architectural features) as may be approved by the Historic District Council (HDC).

8.02.02 Historic District Council Roles and Responsibilities

The HDC shall have the duty and responsibility to:

- C. Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.

OLD TOWN FERNANDINA PRESERVATION AND DEVELOPMENT GUIDELINES

4.1 Importance of Building Setting and Placement:

Help maintain a balance between building density and sense of openness. Applies to all primary and outbuildings. Primary structures required to front the street and have a five (5) foot setback.

4.2 General Approach to New Residential Construction:

Major emphasis on scale and construction rather than appropriate architectural styles.

4.3 Building Elements:

Building Elements are subdivided into Primary Buildings and Out Buildings.

A Primary Building is defined as the principal unit of occupation.

Out Buildings are ancillary to the primary structure in size and degree of occupation. Out Buildings may be attached by Connecting Elements or remain detached. Out Buildings include, but are not limited to, garage apartments, garages, storage sheds, greenhouses, workshops, gazebos, and playhouses

Garages should not be built into a primary structure.

4.4 Residential Building Design:

Recommendations:

- Raise new construction above the ground on piers or continuous foundations.
- Maintain open spaces between piers.

Avoid:

- Designing buildings with slab on grade foundations.
- Vinyl lattice/pier infill.
- Enclosing a pier foundation with continuous infill that prevents ventilation and destroys the openness of the feature.

4.5 Lot Visibility Corridors: Terminology used instead of “setbacks.” Five feet is the minimum requirement on all sides.

4.6 Frontage Corridors: Five foot minimum requirement. Connecting and landscape elements should be built to zero lot line. Out buildings may not be located on frontage of peonias or corner media-peonias.

4.7 Sideyard Corridors: Five foot minimum requirement.

4.8 Mid-Lot Corridors: Make the historic lot divisions visible; required on media-peonia frontage lots regardless of ownership. Visibility corridor should be present in design of buildings indicating mid-block dimension. Primary and out buildings may not cross lot line without use of open space or connection element that maintains the dimensions of the mid-lot corridors.

4.9 Extensions into the Visibility Corridors: Visibility corridors should remain open from lowest point to the sky unobstructed except for projection of certain architectural elements not more than 24”. Landscape

elements are not included in this restriction.

4.10 Lot Density: Lot coverage cannot exceed more than 45%. Connecting elements are not included in this calculation.

5.2 Parking: Not permitted on frontage portion of any corner lot. Pervious material required. Side by side drives are discouraged. No surfacing of right-of-way, utilities to be placed underground, no fences or walls in this area.

ANALYSIS:

Site Plan –

- **Housing Type** – Single-family detached homes are a permissible housing type in OT-1 Zoning District. The site will also include a two-story accessory dwelling.
- **Lot Density** – Total lot coverage is at approximately 36% which is below the maximum allowable lot coverage of 45% per LDC 8.01.01.02(D). Considered a “connecting element,” The porches and breezeway are not included in the 45% lot coverage maximum per section 4.4 of the Old Town Design Guidelines.
- **Mechanical** – Per LDC 4.02.03(A)7, “*Mechanical equipment may be located within the side or rear yard setback, but not closer than five (5) feet to side or rear yard lot lines.*” Mechanical equipment is appropriately sited at the side of the property
- **Visibility Corridors** – Meets frontage, and rear yard setbacks, with no encroachments.
- **Parking** – Driveway material will be crushed shell. The proposed driveway is adjacent to the neighboring driveway, which is discouraged by design guideline 5.2 *Parking*. Adjacent drives are discouraged in order to “prevent the domination of the street by space and construction allocated for vehicles.” If driveways are to be adjacent it is recommended that they be divided by a fence or line of vegetation.
- **Orientation** – All primary structures are required to front the street. The proposed primary structure is sited to front White Street, which is appropriate. Home is sited 6’ from front property line.

Elevations –

- **Scale** – the building is appropriately scaled and in proportion with existing development in Old Town.
- **Height** – Height of the primary structure is 27’ 6 ¼”, which is below the maximum 35’ height allowable. The accessory structure has a height of 22’ 10 ¾” which is below the maximum 24’ height allowable.
- **Materials** – The project features materials that replicate traditional materials. The home features cementitious lap siding, a metal roof with natural finish, wood elements for porches and rails. Cementitious siding will be smooth in finish. The first floor and second floors will be divided with a trim band that will divide the lap siding at the lower level from the board and batten siding at the second floor.
- **Foundation** – project will be constructed on a CMU pier foundation, with wood lattice infill between piers. Finish for the piers is to be smooth stucco/shell finish.
- **Windows** – The windows are Jeld-Wen, 1/1 single-hung windows, which are on the approved window list for new construction.
- **Doors** – Front door is a Jeld-Wen Craftsman styled door in a wood finish with transom. The rear door is a steel half-lite, 2-panel door painted MAG *Panna Cotta*
- **Accessory structure** – the accessory dwelling unit has a footprint of just under the 500 square foot maximum. It will match the primary structure in design and materials.

Other Notes –

- **Archaeological Sensitivity** – Old Town Fernandina represents an area of high archeological potential. As such, the applicant should be mindful of Secretary of the Interior Standard number 8, which states that

“significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.” If archeological resources are discovered on site at any point in the project, the applicant should consult the appropriate organizations to assist in identifying a mitigation strategy.

STAFF RECOMMENDATION:

Staff finds that the requested action, as presented, is consistent with the Land Development Code, the Secretary of the Interior’s Standards, and the Old Town Preservation and Development Guidelines.

Staff recommends:

APPROVAL of HDC 2018-33

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2018-33 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2018-33, as presented, **is or is not** substantially compliant with the Land Development Code, the Secretary of the Interior’s Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2018-33 Application and Backup Materials

Respectfully Submitted,

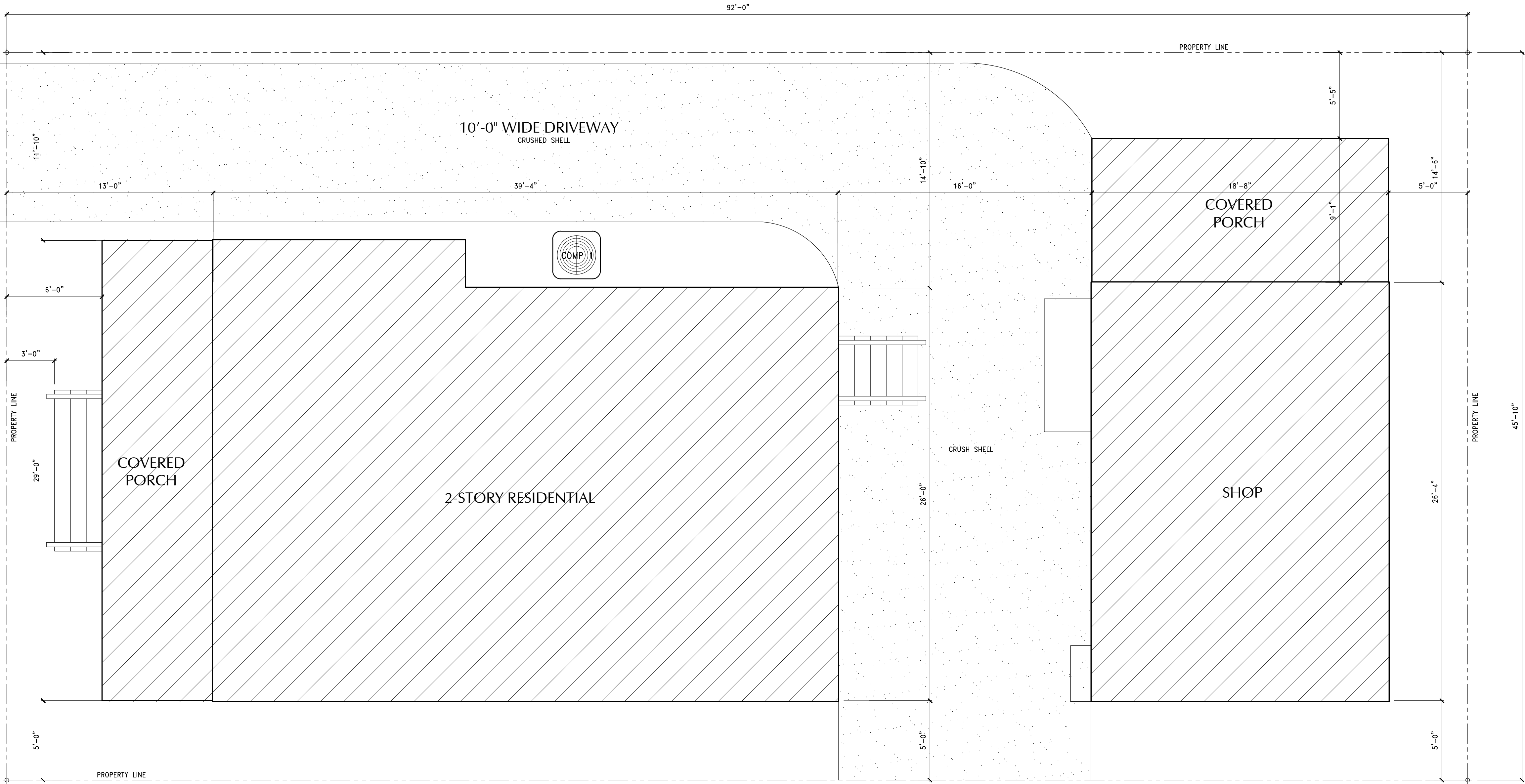


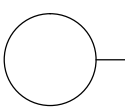
Salvatore J. Cumella
Historic Preservation Planner

HDC 2018-33

EXHIBIT 1

Application and Backup Materials



 SITE PLAN
Scale: 1/4" = 1'-0"

DRAWING ISSUE	DRAWING ISSUE
DATE:	DATE:
REVISED: ZZ:	

SEAL

GENERAL CONTRACTOR

David P. King, Jr
ARCHITECT

7500 SW 61ST AVE
SUITE 400
OCALA, FL 34476
352.873.3737 (PH)
352.873.0737 (FAX)

REGISTRATIONS:	
STATE OF FLORIDA	AR 12,999
STATE OF GEORGIA	5044
PROJECT	

NEW
SINGLE FAMILY
RESIDENCE

FOR

SCOTT & JULIE
JONES

908 WHITE STREET
FERNANDINA BEACH, FLORIDA

DRAWN BY: DWS

CHECKED BY:

APPROVED BY: DPK

ARCHITECT'S PROJECT No.:

SHEET TITLE:

SITE PLAN

SHEET NUMBER

A0.0

GENERAL CONTRACTOR

7500 SW 61ST AVE
SUITE 400
OCALA, FL 34476
352.873.3737 (PH)
352.873.0737 (FAX)

AR 12,995
5044

FOR

908 WHITE STREET
FERNANDINA BEACH, FLORIDA

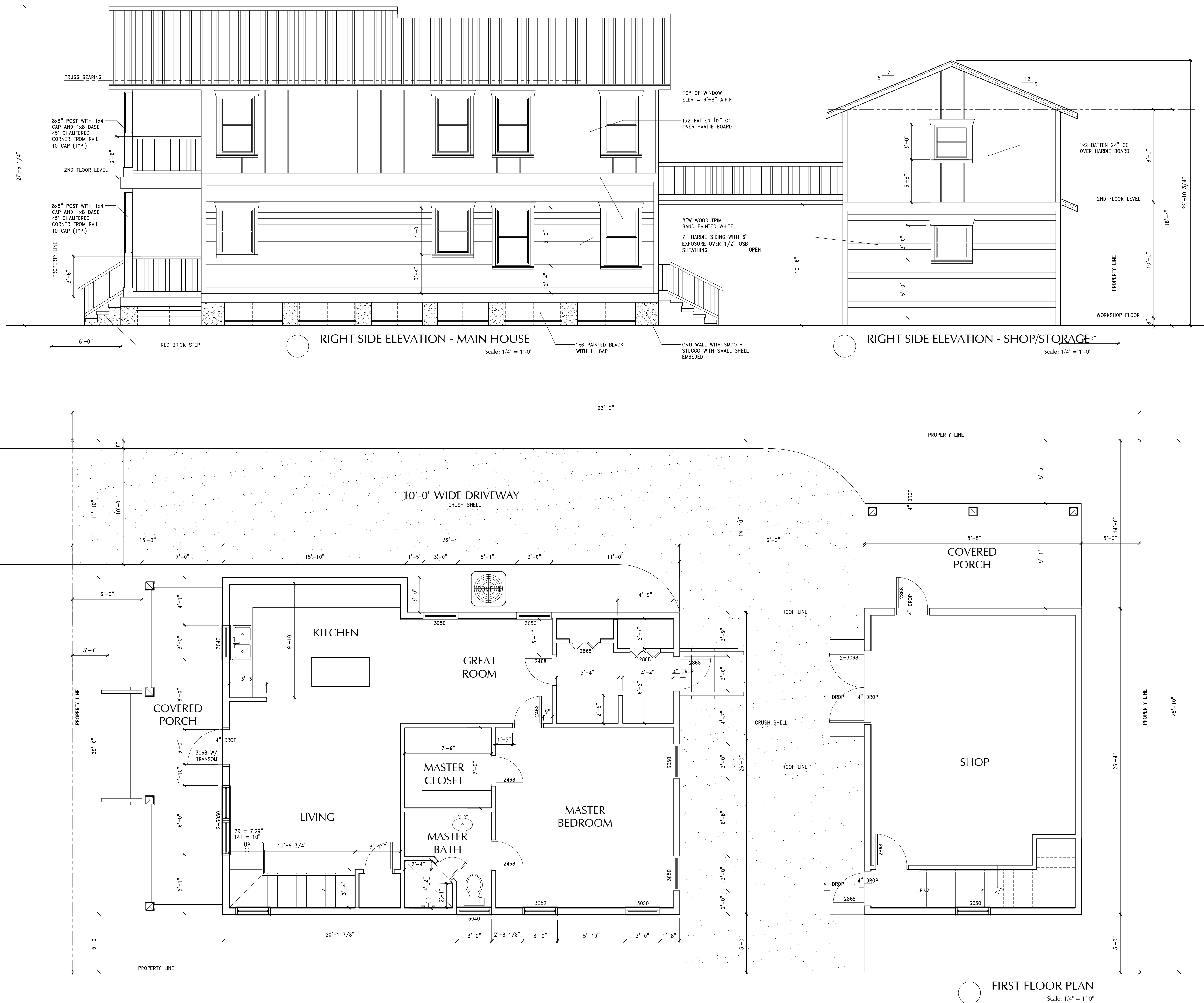
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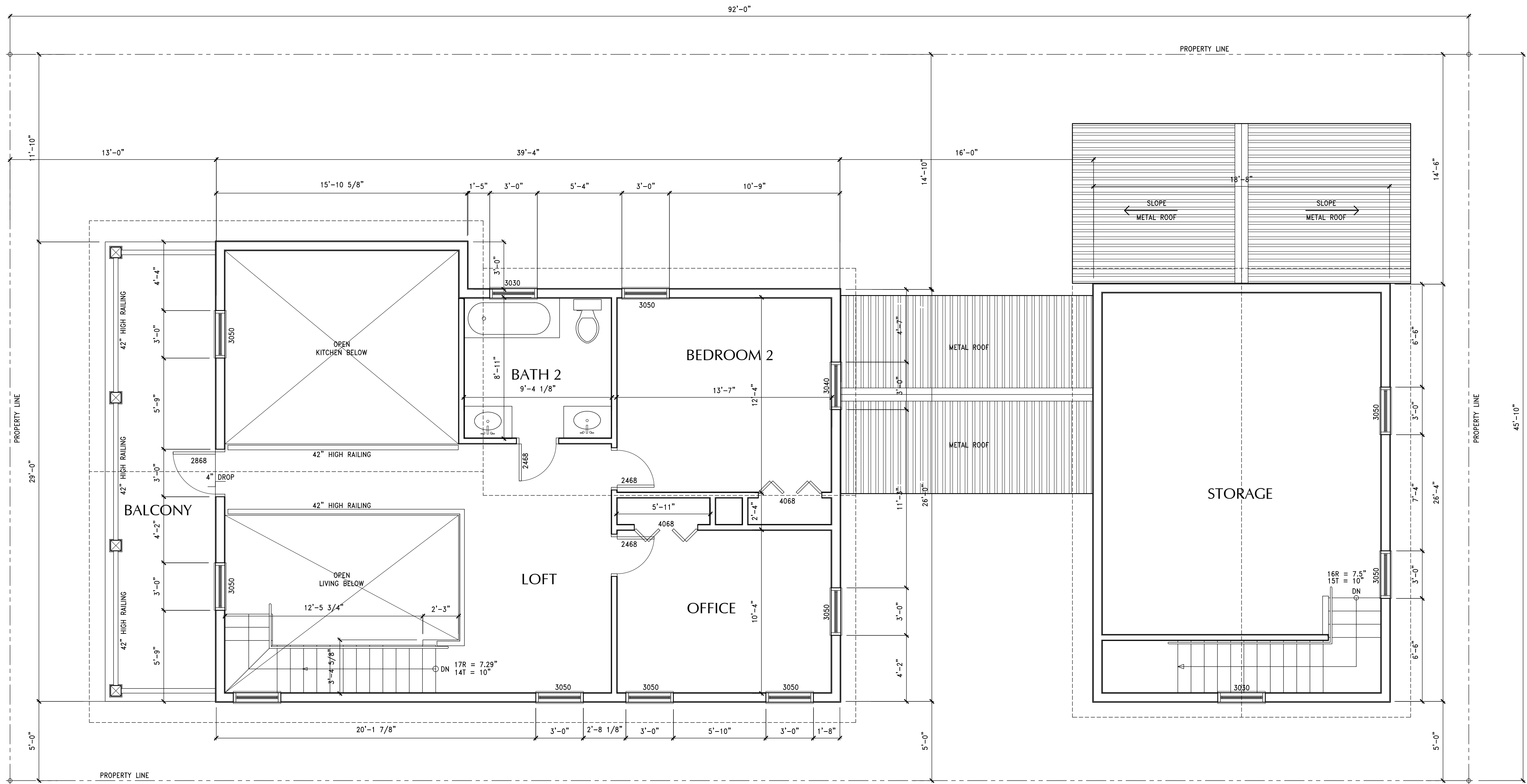
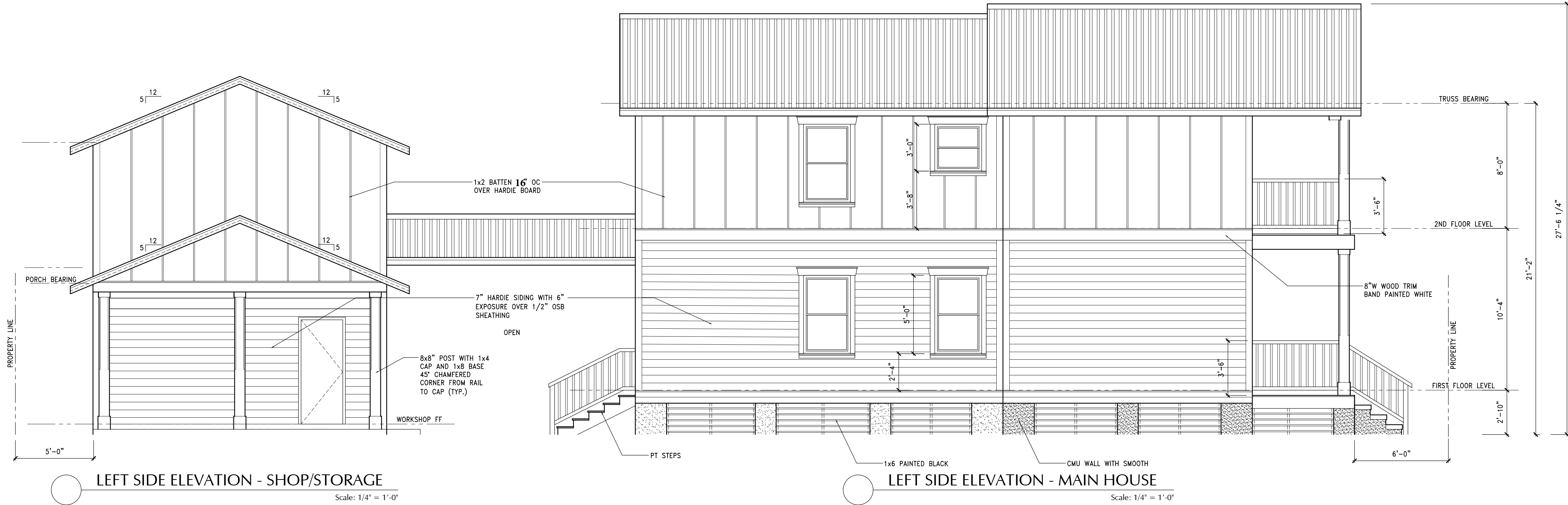
SHEET TITLE:

FIRST FLOOR PLAN
RIGHT SIDE ELEVATION

SHEET NUMBER

A1.0





SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

DRAWING ISSUE
DATE:
REVISED: ZZ:

DRAWING ISSUE
DATE:

SEAL

GENERAL CONTRACTOR

David P. King, Jr
ARCHITECT

7500 SW 61ST AVE
SUITE 400
OCALA, FL 34476
352.873.3737 (PH)
352.873.0737 (FAX)

REGISTRATIONS:
STATE OF FLORIDA
STATE OF GEORGIA
PROJECT

AR 12,999
5044

NEW
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RESIDENCE

FOR

SCOTT & JULIE
JONES

908 WHITE STREET
FERNANDINA BEACH, FLORIDA

DRAWN BY:

DWS

CHECKED BY:

APPROVED BY:

DPK

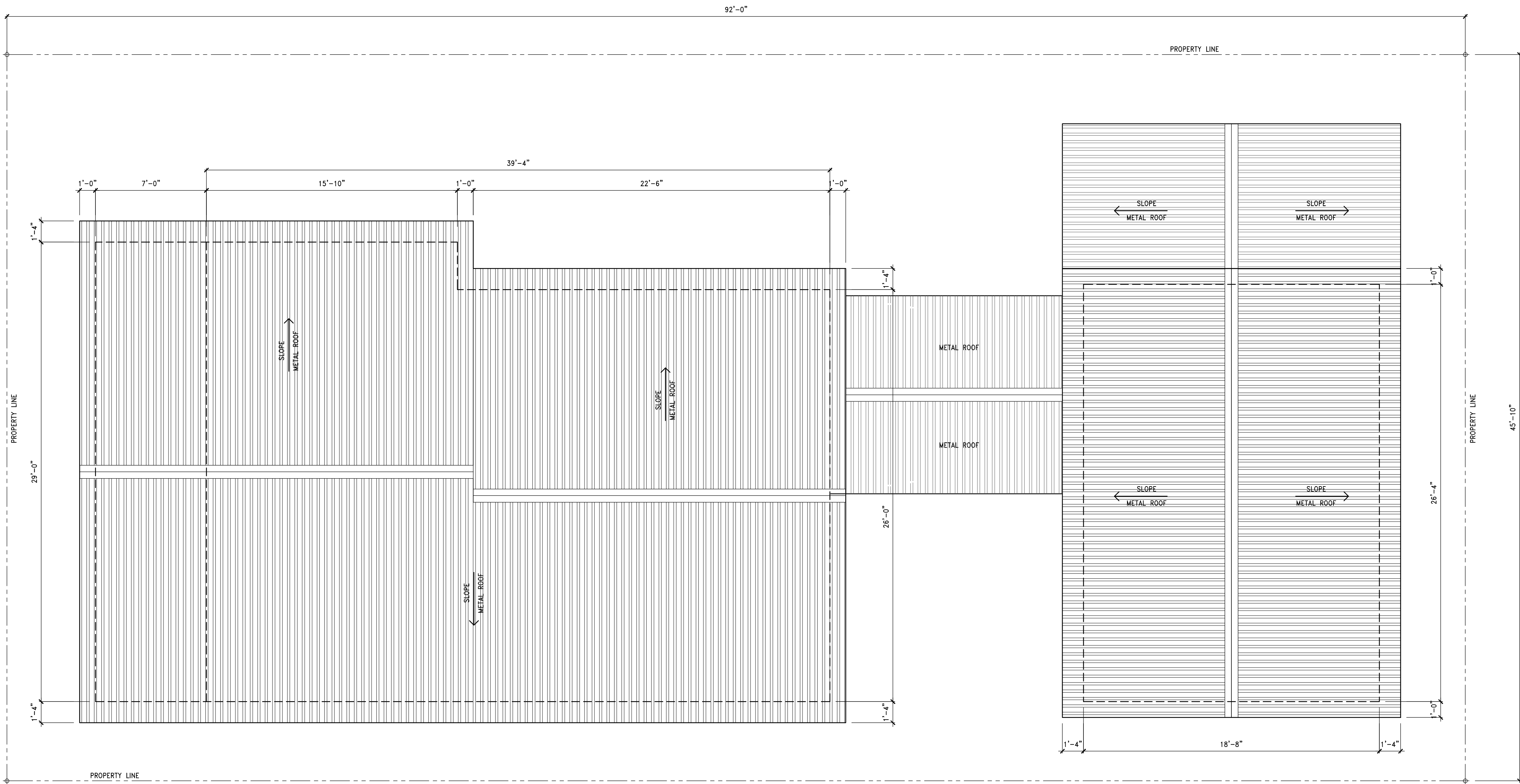
ARCHITECT'S PROJECT No.:

SHEET TITLE:

2ND FLOOR PLAN
LEFT SIDE ELEVATION

SHEET NUMBER

A1.1



ROOF PLAN
Scale: 1/4" = 1'-0"

DRAWING ISSUE
DATE:
REVISED: ZZ:

DRAWING ISSUE
DATE:
REVISED: ZZ:

SEAL

GENERAL CONTRACTOR

David P. King, Jr
ARCHITECT

7500 SW 61ST AVE
SUITE 400
OCALA, FL 34476
352.873.3737 (PH)
352.873.0737 (FAX)

REGISTRATIONS:
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STATE OF GEORGIA 5044
PROJECT

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SCOTT & JULIE
JONES

908 WHITE STREET
FERNANDINA BEACH, FLORIDA

DRAWN BY: DWS

CHECKED BY:

APPROVED BY: DPK

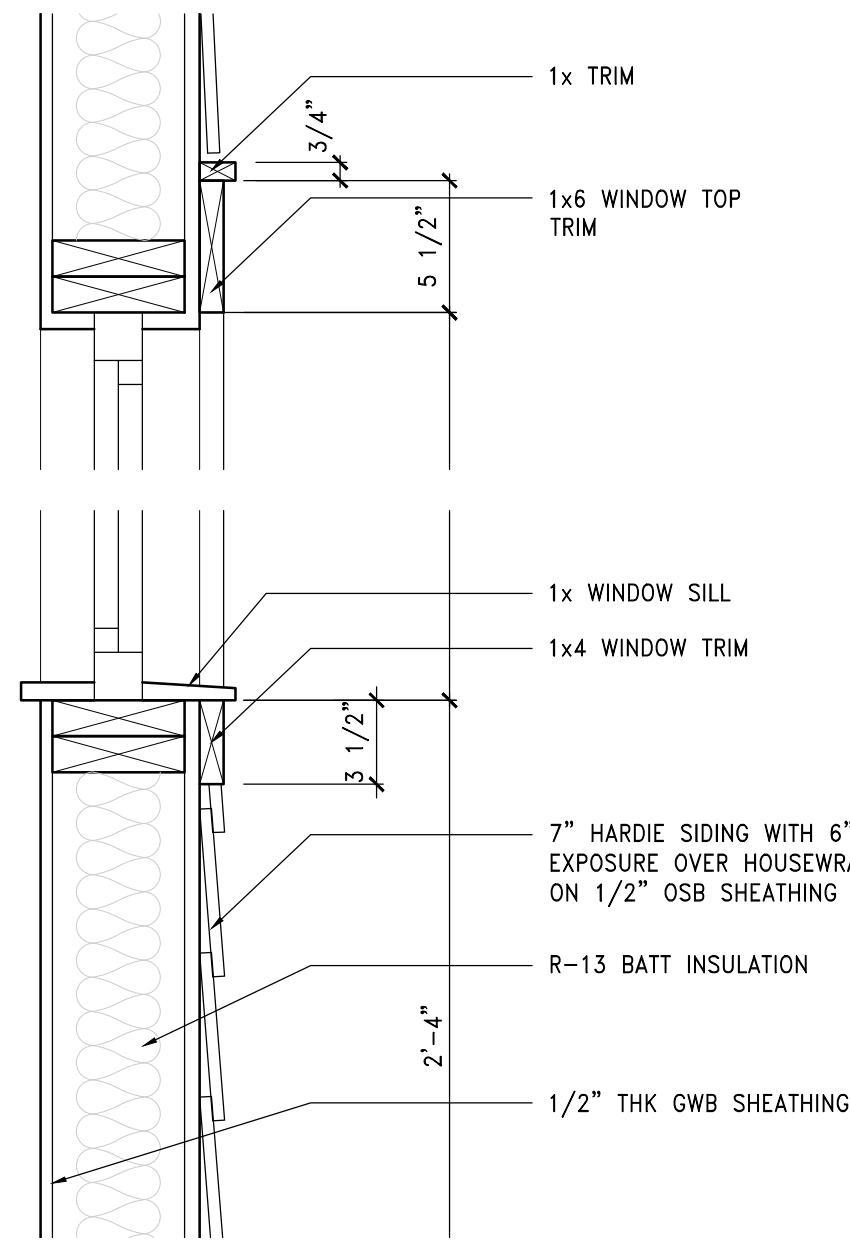
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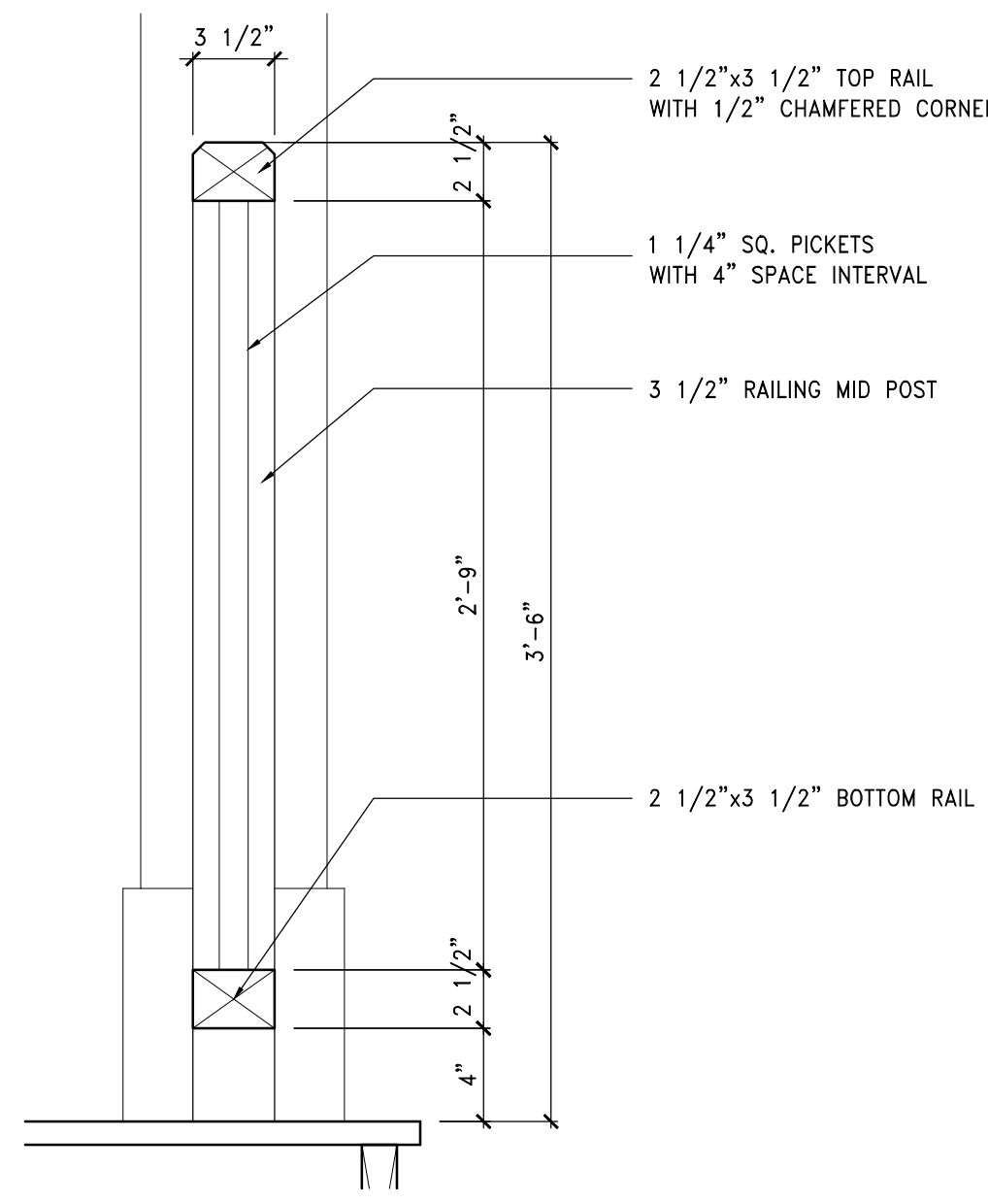
ROOF PLAN

SHEET NUMBER

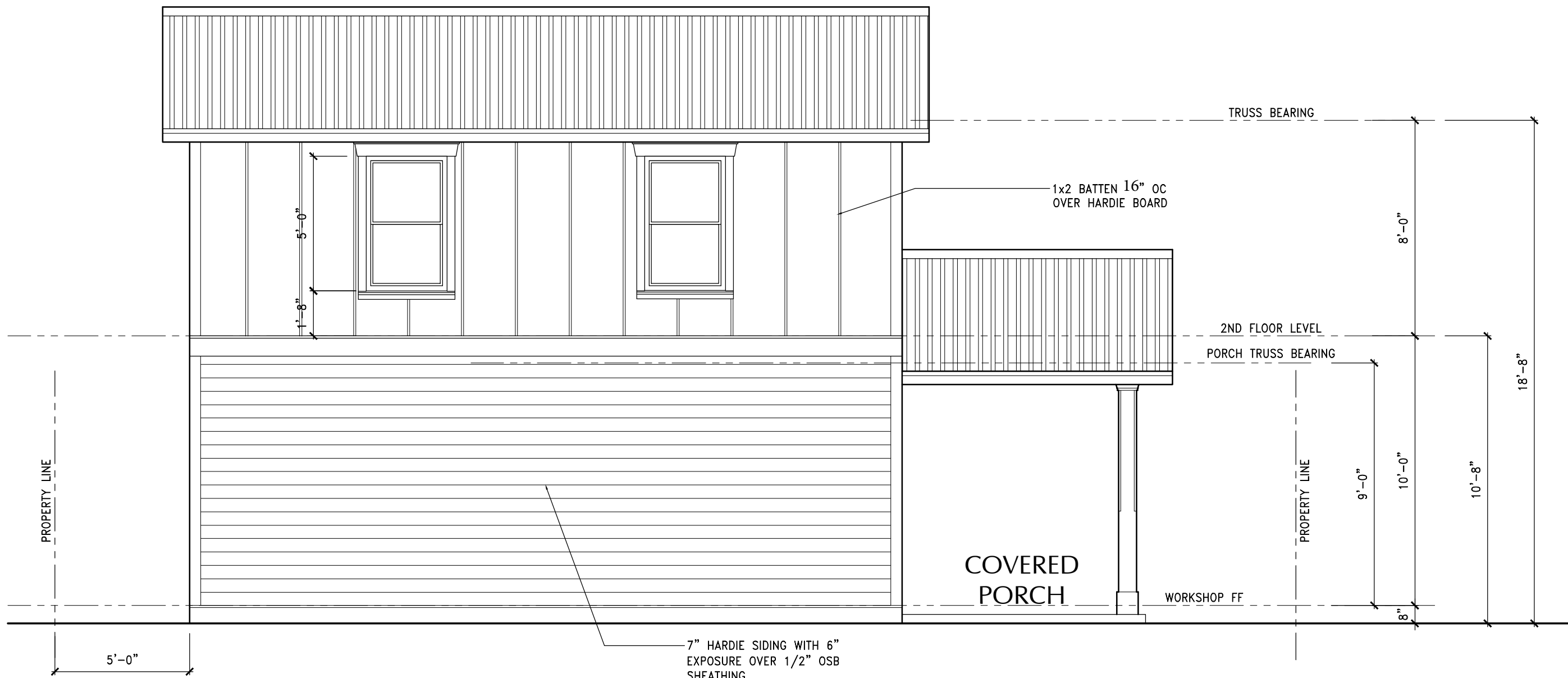
A1.2



WINDOW TRIM DETAIL
Scale: 1 1/2" = 1'-0"



RAILING DETAIL
Scale: 1 1/2" = 1'-0"



REAR ELEVATION - SHOP/STORAGE
Scale: 1/4" = 1'-0"



FRONT ELEVATION - SHOP/STORAGE
Scale: 1/4" = 1'-0"



REAR ELEVATION - MAIN HOUSE
Scale: 1/4" = 1'-0"



FRONT ELEVATION - MAIN HOUSE
Scale: 1/4" = 1'-0"

DRAWING ISSUE
DATE:
REVISED: ZZ:

DRAWING ISSUE
DATE:

SEAL

GENERAL CONTRACTOR

David P. King, Jr
ARCHITECT

7500 SW 61ST AVE
SUITE 400
OCALA, FL 34476
352.873.3737 (PH)
352.873.0737 (FAX)

REGISTRATIONS:
STATE OF FLORIDA AR 12,999
STATE OF GEORGIA 5044
PROJECT

NEW
SINGLE FAMILY
RESIDENCE

FOR

SCOTT & JULIE
JONES

908 WHITE STREET
FERNANDINA BEACH, FLORIDA

DRAWN BY: DWS

CHECKED BY:

APPROVED BY: DPK

ARCHITECT'S PROJECT No.:

SHEET TITLE:

2ND FLOOR PLAN
LEFT SIDE ELEVATION

SHEET NUMBER

A2.0

Jones House in Old Town on White Street

Pain Colors exterior:

- Upper siding-Fresh Cut Stems
- Lower siding-Well watered
- Trim and middle band-Panna Cotta
- Front door---Work worn wood
- Back door Panna Cotta

Window and Doors

Windows – no cross bars-Frame white in color Jeld-Wen from approved list FL17499-R3

Back door – Half window with exterior cross bars and panels below Jeld-wen FL11861-r6

Front door 6 small windows across top and panels below. Therma-Tru Benchmark Transom window above door – see photo

Roof – Silver metal roof Tri county Metals FL4595-R4

Siding – smooth with no grain or pattern.

Horizontal 8" lap siding-Cement "Hardi Board on bottom 9' with 10" white band-cement siding then horizontal board on board siding Cement board-4x8 sheet with 1x2 boards every 16". James Hardie Building Products, Inc. fl19901-r2

Base of home

18" cmu piers approx. 18" to 24" high with painted wood 1x6 with 1" gap between boards spaced between the piers.

House elevation

First floor and porch 18" to 24" above grade-12" floor trusses then 9' walls, second floor 12" floor truss then 8' high walls 21' tall with 7' roof total height 28' feet.

Front porch decks 1x3 pine painted Black – Brick stairs from loser deck.

Back stairs PT 4x4 deck with PT stairs.

907



These floors are
being refinished by:

DO NOT ENTER

REMOVE
shoes





Creative
Builders
Building & Remodeling • Kitchens & Baths • Decks & Siding
904-261-8555

ING
1-54









Item # 833541 Model # BMTT626395

Therma-Tru Benchmark Doors Right-Hand Inswing
Fiberglass Entry Door with Insulating Core
(Common: 36-in x 80-in; Actual: 37.5-in x 81.5-in)

36 Ratings



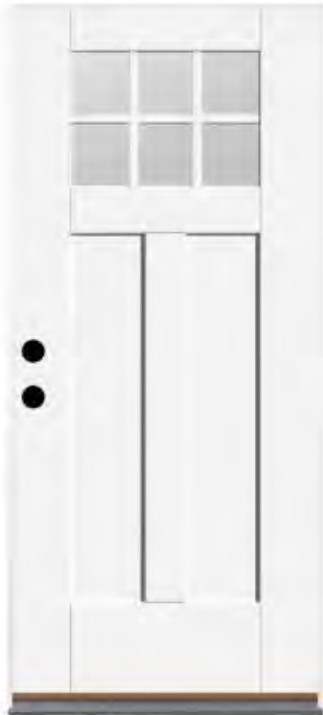
4.0 Average

74%

Recommend this
product



Community Q&A
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ONLY AT LOWE'S

\$329.00

- Add curb appeal and create a versatile look for your home with this contemporary interpretation of the Shaker movement
- Flush-glazed glass is built directly into the door and provides a clean, seamless appearance that allows more natural light into your home
- Fiberglass doors are low-maintenance and high-performance; unlike wood or steel doors, durable fiberglass is resistant to cracking,...

Handing

Right-Hand Inswing



ADD TO CART

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SHARE

PANNA COTTA

MAG039^U

WORK WORN WOOD



MAG032^D

WELL WATERED

MAG112[®]

FRESHLY CUT STEMS

MAG098[®]



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2018-50
JANUARY 17, 2019

Owner/Applicant:	Tammi L. Kosack
Property Address:	322 N. 3 rd Street
Requested action:	Certificate of Approval (COA) to install a rooftop solar array.
Current zoning:	R-2
FLUM land use category:	Medium-Density Residential
Existing uses on the site:	Residential
FL Master Site File #	N/A
Year Built:	N/A
Contributing Status:	Non-Contributing

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

Certificate of Approval (COA) to install a solar array on rooftop of rear addition.

HDC 2017-35 – Approved on Oct. 5, 2017 to rehabilitate the contributing structure, to include: replacement of all windows, addition of 113sf on north side, and addition of a 357sf covered deck in the rear.

APPLICABLE GUIDELINES:

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐

8.00.01 Intent

It is declared as a matter of public policy that protection, enhancement, perpetuation and use of sites of aesthetic, archaeological, architectural, cultural, historical and paleontological merit or value is in the interests of the health, prosperity, safety and welfare of the people of Fernandina Beach. The City Commission finds that the irreplaceable loss of these resources to the community would detrimentally affect the community as a whole. It is therefore the intent of this chapter to:

- A. Effect and accomplish the protection, enhancement and perpetuation of buildings, structures, improvements, sites, districts, landscape features, and archaeological and paleontological resources that represent distinctive elements of the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific, and social history;
- B. Safeguard the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific and social heritage, as embodied and reflected in such structures, sites, and districts;
- C. Foster awareness and pride in the accomplishments and events of the City's past;
- D. Protect and enhance the City's attraction to residents, tourists, and visitors, and serve as an economic stimulus to business and industry;
- E. Stabilize and improve property values and encourage compatible redevelopment;
- F. Enhance the visual and aesthetic character of the City; and
- G. Promote the use of individual structures, sites, and districts for the education, leisure, and welfare of the people of Fernandina Beach.

8.00.03 Relationship to Comprehensive Plan

The following standards implement Goal 11: Historic Preservation Element of the Fernandina Beach Comprehensive Plan to identify, preserve, and protect historic and cultural resources within the City.

8.01.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.
- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.

DOWNTOWN HISTORIC DISTRICT GUIDELINES

Utilities and Energy Retrofitting (pg.66)

Utilities such as garbage containers and mechanical systems are important to the functionality of buildings and the district. Locate these mechanical systems, solar panels and also air conditioning and heating units at rear facades or on rooftops, where they are not readily visible from the street. Paint conduits to blend

with the color of the building.

1. Locate garbage containers behind buildings.
2. Locate mechanical systems behind or on top of buildings, set back or behind a parapet, where they will not be visible from the street.
3. Rear elevations are also the appropriate location for meters, conduits, and other equipment.
4. Minimize the visibility of window unit systems by locating them on the side or rear elevations.
5. Owners of commercial buildings are encouraged to paint their roofs with reflective coatings to reduce energy costs.
6. The installation of solar panels or solar shingles is appropriate for commercial buildings as long as these panels or shingles are not readily visible from the street and are concealed behind roof parapet walls.
7. **The installation of solar panels on rear elevations not readily visible from the street is also appropriate in the downtown area.**
8. **Energy-saving devices such as solar panels may be reviewed, but not to the extent that their placement renders them ineffective. Property owners are encouraged to place solar panels, wind turbines or other energy saving measures on elevations that are not readily visible from the street and do not detract from a building's architectural character.**

ANALYSIS:

The proposed solar array will be appropriately located on the roof of the non-contributing rear addition. It is sited in a manner that it will not be visible from the street.

STAFF RECOMMENDATION:

Staff finds that the requested action, as presented, is consistent with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines.

Staff recommends:

APPROVAL of HDC 2018-50

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2018-50 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2018-50, as presented, **is or is not** substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2018-50 Application and Backup Materials

Respectfully Submitted,



Salvatore J. Cumella
Historic Preservation Planner

HDC 2018-50

EXHIBIT 1

Application and Backup Materials



APPLICATION FOR HISTORIC DISTRICT COUNCIL CERTIFICATE OF APPROVAL (COA)

OFFICE USE ONLY

REC'D: 10/30/18 BY: [Signature]

PAYMENT: \$ 200.00 TYPE: CH#1991

APPLICATION #: 2018-001734

HDC CASE #: 2018-50

APPLICATION COMPLETE: Y ___ N ___

PRE-CONFERENCE: Y ___ N ___ DATE: ___

BOARD MEETING DATE: _____

PLANNER: _____ DATE: _____

___ APPROVED ___ DENIED

APPROVAL TYPE:	☐ Staff Approval ☒ Board Approval: Conceptual ☐ or Final ☒
PROJECT TYPE:	
☐ New Construction ☐ Addition ☐ Alteration ☐ Relocation ☐ Demolition ☐ Variance ☐ Repair ☐ Paint ☐ Fence ☐ Sign ☐ Re-roof ☒ Other: SOLAR ARRAY	
PROPERTY INFORMATION Property information can be found at the Nassau County Property Appraiser's Website → Map Search	
Street Address: 322 N. 3RD ST.	
Historic District: ☒ Downtown ☐ Old Town ☐ CRA Waterfront	
Parcel Identification Number(s): 00-00-31-1800 - 0017-0080	
Zoning District: HISTORIC DISTRICT 2 Lot / Block Number (optional) _____	

Owner of Record	As recorded with the Nassau County Property Appraiser
Owner(s) Name	TAMMI L KOSACK
Company (if applicable)	
Street Address	1417 SADLER RD. #249
City State Zip	FERNANDINA BEACH, FL 32034
Telephone Number	404-232-0428
Email Address	chairmail@mindspring.com

Applicant or Agent	If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included
Applicant Name	
Company (if applicable)	
Street Address	
City State Zip	
Telephone Number	
Email Address	



PLANNING HDC

Revised 10/01/18

USE THIS FORM TO: Apply for approval for projects in the Downtown or Old Town Historic District or the Community Redevelopment Area. Projects may require either a Board-level review or a staff-level review. Staff can help you determine which review applies.

FEES: Fees are due upon application.

Type of Review	FEE
Certificate of Approval (COA): Staff Review	\$ 20.00
Certificate of Approval (COA): Board Review – <i>Residential</i>	\$ 200.00
Certificate of Approval (COA): Board Review – <i>Commercial</i>	\$ 250.00
Demolition of a Primary Structure – <i>Non-Contributing</i>	\$ 300.00
Demolition of a Primary Structure – <i>Contributing</i>	\$ 750.00
After-the-Fact Certificate of Approval (COA): Staff Review	\$ 50.00
After-the-Fact Certificate of Approval (COA): Board Review	\$ 750.00
Variance - <i>Residential</i>	\$ 850.00
Variance – <i>Non-Residential</i>	\$1,000.00

IMPORTANT NOTES: To guide you through the process and ensure that your application is understood and properly processed, you'll need to meet with the Preservation Planner **prior** to submitting your application. Completed Board applications are due approximately 30 days prior to the Historic District Council meeting date (see 2018 HDC Meeting Schedule on pg. 3 for deadlines). Staff approval applications are accepted on a rolling basis and are generally completed in 3-5 days. Please note that projects can begin only after receiving a Certificate of Approval (COA) and a building, sign, or zoning permit (if required). If you are applying for a sandwich board or easel sign, you'll also need to complete a right-of-way application.

Please note that it is up to the owner and/or agent to let staff know of any potential changes from the approved COA that come up during construction and obtain board or staff approval prior to starting the changes. There will be no charge for a board or staff revision to the COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.

Upon completion of the proposed work, an inspection will be performed by staff to ensure all work is compliant with the COA.

KEY CONTACTS: The Preservation Planner will guide your application from start to finish, engaging other City departments or agencies as needed.

Salvatore Cumella
Historic Preservation Planner
SCumella@fbfl.org
904-310-3148



HISTORIC DISTRICT COUNCIL APPLICATION CHECKLIST

These requirements are not inclusive of the requirements for the proposed work. The Department of Planning & Conservation may require additional drawings, specifications or information in order to complete the application review.

CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HDC as a courtesy to the applicant in an effort to allow comment from the historic district council and citizens during the conceptual design process. The HDC will provide the applicant with feedback and guidance relating to the proposal and take a vote to indicate whether the board feels the proposal is adequately appropriate to proceed. In all cases, the applicant must return to the HDC to seek final approval of their projects. There is no additional fee for this review above the Certificate of Approval fee.

STAFF REVIEW OR BOARD REVIEW FINAL APPROVAL

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR
STAFF APPROVAL OR FINAL APPROVAL BY THE BOARD:

Applicant (Initials)	Please submit 1 copy of each of the following:	Staff (Initials)
	Proof of ownership (copy of deed or tax statement)	
	11x17 signed, sealed, scaled survey of property. Completed within the last 2 years.	
	11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints	
	Site plan <u>must</u> show all trees greater than 5" diameter at breast height (DBH) and indicate any trees that are to be removed as part of the scope of work.	
	Photographs of the existing site and existing buildings if any, including views from the street.	
	11x17 drawings to scale showing ALL existing and proposed exterior elevations of primary <u>and/or</u> accessory buildings. Existing vs. proposed features should be clearly delineated with labels, shading, and/or hatching.	
	Elevations <u>must</u> include specific material and detail information with call outs that define all visible exterior elements, such as (but not limited to): wall finishes, foundation wall finish, corner-boards, water-tables, barge-boards, cornice trim, door trim, window trim, column elements, railings, roof fascia, balcony trim elements, supporting/decorative brackets, gable end decorative elements, shutters, roof finishes, chimney finish, privacy fences, picket fences, gates, utility yard screens, gazebos, outdoor shower screens, etc. Provide specific detail views of features that cannot be called out with notes on the elevations. Examples include porch details, pier elements, lattice infill components, soffit and cornice trim detailing, etc.	
	Elevations and/or site plan <u>must</u> show all proposed mechanical and plumbing equipment (HVAC, hood vents, backflow preventers, etc.)	
	Product/material details and specifications, including brochures or printouts, for any proposed material as applicable and not limited to: doors, windows, roofing, exterior fabric, fascia/trim, shutters, fencing, sidewalk/driveway, landscaping, foundation, porch/deck, sheds, and proposed colors for ALL surfaces to be painted/stained/treated.	
	New construction applications <u>must</u> show context of project within existing streetscape.	
	For any fencing proposed to be located on a common property line, written consent of the adjacent property owners shall be provided as required by LDC 5.01.10(B).	

PROJECT DESCRIPTION (REQUIRED)

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

CURRENTLY UNDERGOING RENOVATION/RESTORATION AS PER
APPROVED HDC COA RECEIVED (EXTENDED) 10/5/2017.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

DESIRE A SMALL SOLAR PANEL ARRAY CONSISTING OF 6 OVER 6
PANELS TO BE INSTALLED ON REAR ROOFLINE. NEITHER ROOF
NOR PANELS VISIBLE FROM FRONT/STREET.

List proposed materials and colors, as applicable (use additional sheet if necessary):

Project Scope	Manufacturer	Product Description	FL Product Approval #	Color (Name/Number)
Exterior Fabric				
Doors				
Windows				
Roofing				
Fascia/Trim				
Foundation				
Shutters				
Porch/Deck				
Fencing				
Driveways/Sidewalks				
Signage				
Other	SILFAB	SLA-M SOLAR PANEL		BLACK SLA-M30

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.

chair in the air designs, inc.
unexpected interiors and enchanting gardens
50 North Mill Road, NW Atlanta, GA 30328
phone 404-851-0000 fax 404-255-8844

To: Sal Cumella
From: Tammi Kosack
Re: HDC solar panel request

October 25, 2018

Hello Sal,

Thanks for meeting with me to review the location and addition of solar panels at my house. I am excited to add this additional level of energy conservation to my home for myself and future occupants.

Enclosed please find:
\$200 check for HDC fee
Completed application and all requested documents.

I am uncertain if I can attend the December HDC meeting. If there are any openings for the November meeting, please let me know.

Thanks for all you and the Planning Department do for our city.

Respectfully,



Tammi Kosack
322 N 3rd St.

Thank you for your creative business.
chairmail@mindspring.com

Prepared by:
Andrea F. Lennon, P.A.
961687 Gateway Blvd. Suite 101L
Amelia Island, Florida 32034

File Number: 16-385

General Warranty Deed

Made this June 29, 2016 A.D. By **Charles G. Hall and Annette Hall, husband and wife**, whose post office address is: **315 Calhoun Street, Fernandina Beach, Florida 32034**, hereinafter called the grantor, to **Tammi L. Kosack, a single person and Deborah C. Garrard, a single person, as Joint Tenants with Rights of Survivorship** whose post office address is: **50 North Mill Road, Atlanta, Georgia 30328**, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Nassau County, Florida, viz:

All that certain lot, piece or parcel of land situate, lying and being in the City of Fernandina Beach, (formerly named Fernandina), County of Nassau and State of Florida and being further described according to the official map or plat of said City (as lithographed and issued by the Florida Railroad Company in 1857 and enlarged, revised and reissued by the Florida Town Improvement Company in 1887 and 1901) as:

Lots Eight (8) and Nine (9) in Block Seventeen (17).

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 00-00-31-1800-0017-0080

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

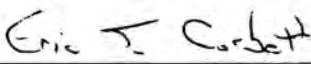
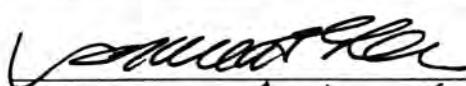
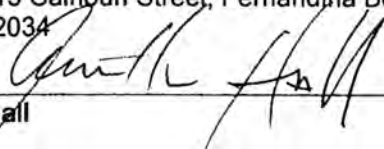
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

Prepared by:
Andrea F. Lennon, P.A.
961687 Gateway Blvd. Suite 101L
Amelia Island, Florida 32034

File Number: 16-385

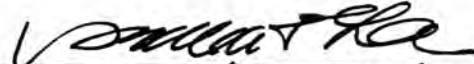
In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence.

 _____ Witness Printed Name: <u>ERIC T. CORBETT</u>	 _____ Charles G. Hall Address: 315 Calhoun Street, Fernandina Beach, Florida 32034 (Seal)
 _____ Witness Printed Name: <u>Andrea F. Lennon</u>	 _____ Annette Hall Address: _____ (Seal)

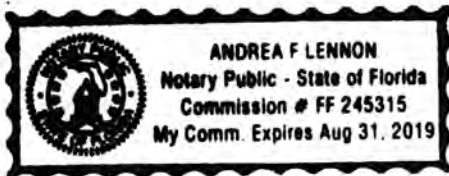
State of Florida
County of Nassau

The foregoing instrument was acknowledged before me this 30th day of June, 2016, by Charles G. Hall and Annette Hall, husband and wife, who is/are personally known to me or who has produced a driver's license as identification.



Notary Public
Print Name: Andrea F. Lennon

My Commission Expires:



LEGAL DESCRIPTION AND CERTIFICATION

Lots 8 and 9, Block 17, CITY OF FERNANDINA BEACH according to the Plat thereof, as recorded in Plat Book 1295, Page 2, of the Public Records of NASSAU County, Florida.

Community Number: 120172 Panel: 0237 Suffix: F Flood Zone: X Field Work: 6/28/2016

Certified To:

TAMMI L. KOSACK AND DEBORAH C. GARRARD; ANDREA F. LENNON, P.A.; FIRST AMERICAN TITLE INSURANCE COMPANY;
PRIMELENDING, A PLAINSCAPITAL COMPANY, its successors and/or assigns.

Property Address:

322 N. 3RD STREET
FERNANDINA BEACH, FL 32034

Survey Number: 261400

Client File Number:

ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE

PAGE 1 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 2)

GENERAL NOTES:

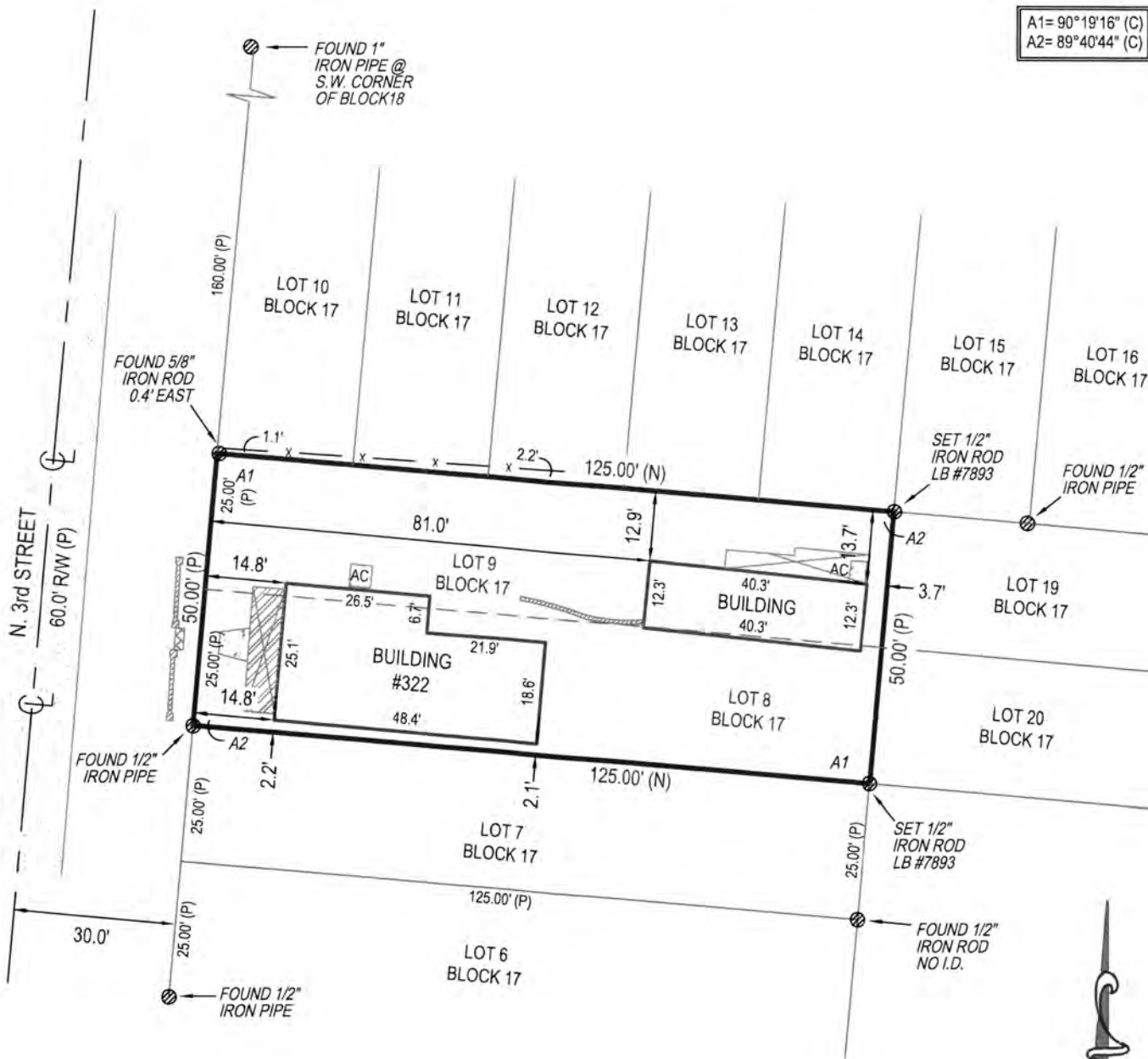
- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

TARGET
SURVEYING, LLC
LB #7893

SERVING FLORIDA

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

A1= 90°19'16" (C)
A2= 89°40'44" (C)



SURVEY NOTES
THERE ARE FENCES NEAR THE
BOUNDARY OF THE PROPERTY

ALL LOTS WITHIN BLOCK 17
ARE PLATTED AT 25'x100'

(N)= DISTANCE REFERENCED FROM NASSAU
COUNTY PROPERTY APPRAISER

REVISIONS
-REVISED BOUNDARY... 8-31-2016



BOUNDARY SURVEY

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY
IS A TRUE AND CORRECT REPRESENTATION OF A
SURVEY PREPARED UNDER MY DIRECTION.
NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC
SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL,
OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)

Kenneth J. Osborne
KENNETH J. OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415

PAGE 2 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 1)

TARGET
SURVEYING, LLC
LB #7893

SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
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PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>



100

Other Associate
Arlene
3 Years Third Street
Founding Bank Fund
1980-1987 1984

FIELD COPY.

VIEW FROM STREET

322 N 3RD ST.



WEST FRONT

~~WORK~~
AS
APPROVED:



EXISTING:



FRONT / WEST ELEVATION

FIELD COPY

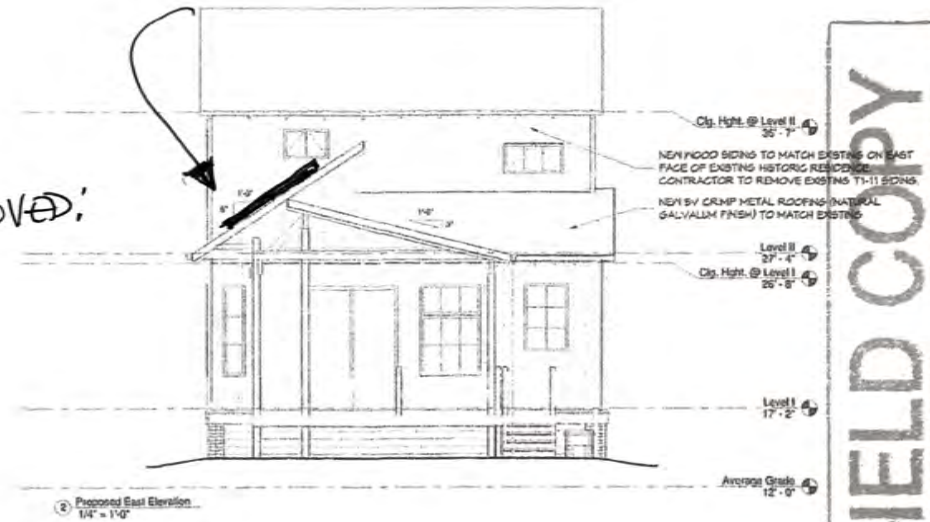
Revisions	Date
1.	
2.	
3.	
4.	
5.	

PROJECT PRINTS	Project Name	Project Date
10-10-17	10-10-17	10-10-17
10-10-17	10-10-17	10-10-17
10-10-17	10-10-17	10-10-17
10-10-17	10-10-17	10-10-17
10-10-17	10-10-17	10-10-17
10-10-17	10-10-17	10-10-17
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10-10-17	10-10-17	10-10-17

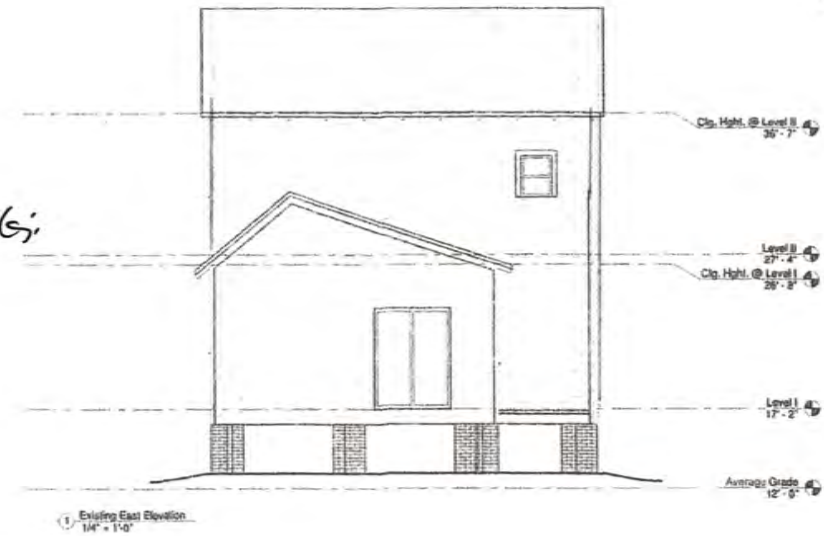
KOSACK RESIDENCE
522 N. 3RD STREET
FERNANDINA BEACH

PROPOSED SOLAR ARRAY

AS APPROVED:



EXISTING:



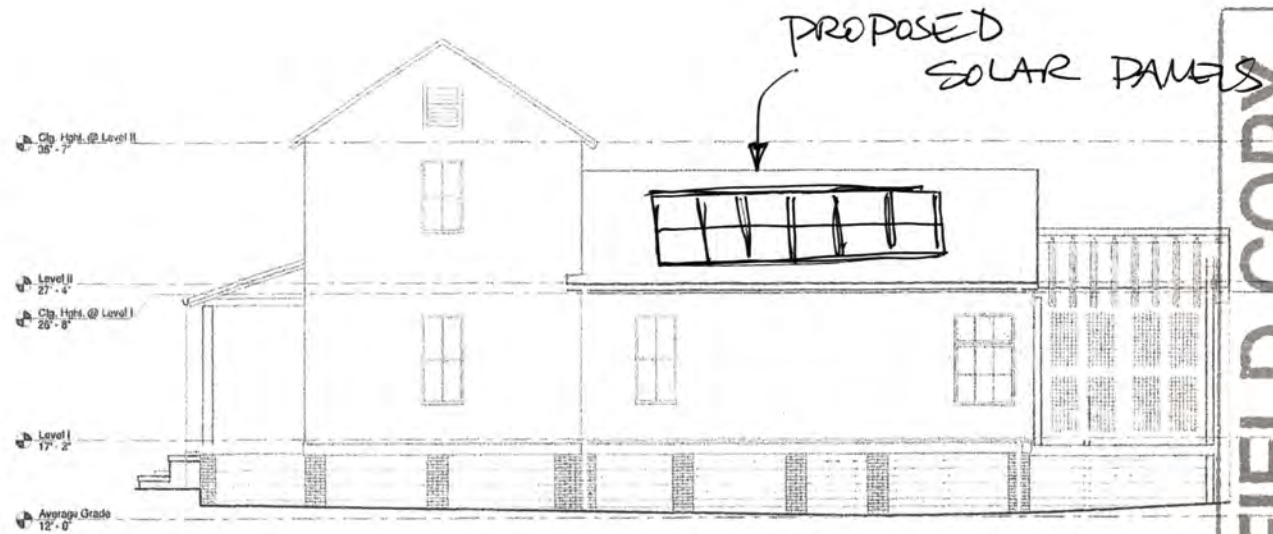
REAR/EAST ELEVATION

FIELD COPY

Project No.	
Client	
Location	
Architect	
Engineer	
Interior Designer	
Structural Engineer	
MEP Engineer	
Other	
Notes	

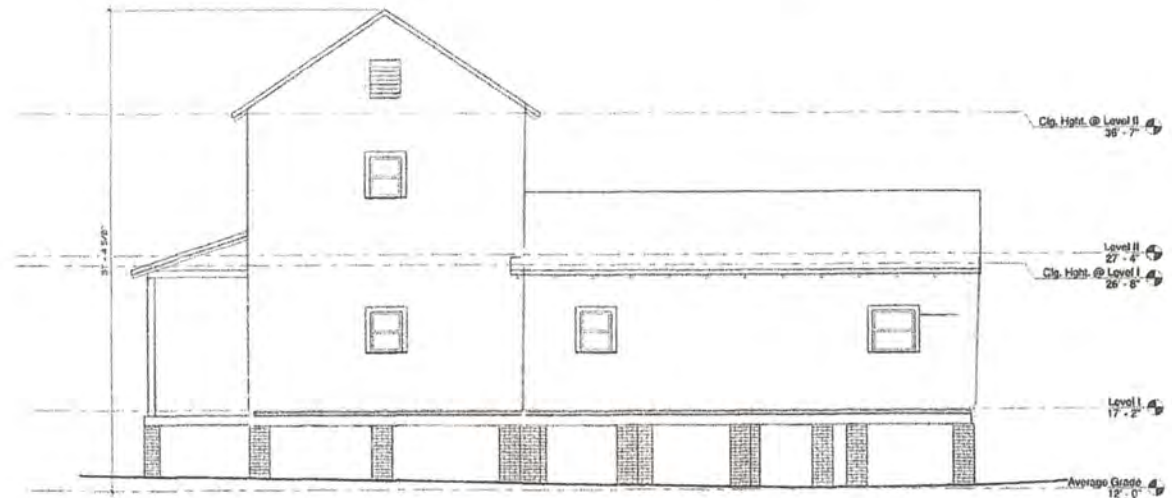
KOSACK RESIDENCE
322 N. 3RD STREET
FERNANDINA BEACH

SILFAB SLA-M 310 PANELS
6A.89" x 38.83" EA.



(2) Proposed South Elevation
1/4" = 1'-0"

APPROVED SOUTH ELEVATION



(1) Existing South Elevation
1/4" = 1'-0"

EXISTING SOUTH ELEVATION

FIELD COPY

Project No.	171502	Revision	
Client	Kosack Residence	Date	
Architect	Colner Associates, Architect	Scale	1/4" = 1'-0"
Engineer		Project	171502
Permit		Drawn By	
Not Published	All Rights Reserved	For a complete set of drawings, see schedule of drawings, 171502-01, 171502-02, 171502-03, 171502-04, 171502-05, 171502-06, 171502-07, 171502-08, 171502-09, 171502-10, 171502-11, 171502-12, 171502-13, 171502-14, 171502-15, 171502-16, 171502-17, 171502-18, 171502-19, 171502-20, 171502-21, 171502-22, 171502-23, 171502-24, 171502-25, 171502-26, 171502-27, 171502-28, 171502-29, 171502-30, 171502-31, 171502-32, 171502-33, 171502-34, 171502-35, 171502-36, 171502-37, 171502-38, 171502-39, 171502-40, 171502-41, 171502-42, 171502-43, 171502-44, 171502-45, 171502-46, 171502-47, 171502-48, 171502-49, 171502-50, 171502-51, 171502-52, 171502-53, 171502-54, 171502-55, 171502-56, 171502-57, 171502-58, 171502-59, 171502-60, 171502-61, 171502-62, 171502-63, 171502-64, 171502-65, 171502-66, 171502-67, 171502-68, 171502-69, 171502-70, 171502-71, 171502-72, 171502-73, 171502-74, 171502-75, 171502-76, 171502-77, 171502-78, 171502-79, 171502-80, 171502-81, 171502-82, 171502-83, 171502-84, 171502-85, 171502-86, 171502-87, 171502-88, 171502-89, 171502-90, 171502-91, 171502-92, 171502-93, 171502-94, 171502-95, 171502-96, 171502-97, 171502-98, 171502-99, 171502-100	

KOSACK RESIDENCE
922 N. 9RD STREET
FERNANDINA BEACH



SLA-M

Monocrystalline



310 Wp

60 Cell

Monocrystalline

PV Module



100% MAXIMUM POWER DENSITY

Silfab's SLA-M 310 ultra-high-efficiency modules are optimized for both Residential and Commercial projects where maximum power density is preferred.

100% NORTH AMERICAN

QUALITY MATTERS

Silfab's fully-automated manufacturing facility ensures precision engineering is applied at every stage. Superior reliability and performance combine to produce one of the highest quality modules with the lowest defect rate in the industry.

NORTH AMERICAN

CUSTOMIZED SERVICE

Silfab's 100% North American based team leverages just-in-time manufacturing to deliver unparalleled service, on-time delivery and flexible project solutions.



ENSURES MAXIMUM EFFICIENCY

60 of the highest efficiency, premium quality monocrystalline cells result in a maximum power rating of 310Wp.

ADVANCED PERFORMANCE WARRANTY

30-year linear power performance guarantee

ENHANCED PRODUCT WARRANTY

25-year product workmanship warranty*

BUILT BY INDUSTRY EXPERTS

With over 35 years of industry experience, Silfab's technical team are pioneers in PV technology and are dedicated to an innovative approach that provides superior manufacturing processes including: infra-red cell sorting, glass washing, automated soldering and meticulous cell alignment.

POSITIVE TOLERANCE

(-0/+5W) All positive module sorting ensures maximum performance

LOWEST DEFECT RATE*

Total automation ensures strict quality control during each step of the process at our certified ISO manufacturing facility.
*82.56 ppm as per December 2017

LIGHT AND DURABLE

Over-engineered to weather low load bearing structures up to 5400 Pa. Light-weight frame exclusively designed with wide-ranging racking compatibility and durability.

PID RESISTANT

Proven in accordance to IEC 62804-1

AVAILABLE WITH

Black Frame and Backsheet

*12 year, extendable based on registration at www.silfabsolar.com

Electrical Specifications		SILFAB SLA Monocrystalline	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	310	234
Maximum power voltage (Vpmax)	V	33.05	29.7
Maximum power current (Ipmax)	A	9.38	7.88
Open circuit voltage (Voc)	V	40.25	37.2
Short circuit current (Isc)	A	9.93	8.14
Module efficiency	%	19.0	17.9
Maximum system voltage (VDC)	V	1000	
Series fuse rating	A	20	
Power Tolerance	Wp	-0/+5	

Measurement conditions: STC 1000 W/m² • AM 1.5 • Temperature 25 °C • NOCT 800 W/m² • AM 1.5 • Measurement uncertainty ≤ 3%
• Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by ±5% and power by -0/+5W.

Temperature Ratings		SILFAB SLA Monocrystalline	
Temperature Coefficient Isc	%/K	0.03	
Temperature Coefficient Voc	%/K	-0.30	
Temperature Coefficient Pmax	%/K	-0.38	
NOCT (± 2°C)	°C	45	
Operating temperature	°C	-40/+85	

Mechanical Properties and Components		SILFAB SLA Monocrystalline	
Module weight (± 1 kg)	kg	19	
Dimensions (H x L x D; ± 1mm)	mm	1650 x 990 x 38	
Maximum surface load (wind/snow)*	N/m ²	5400	
Hail impact resistance		Ø 25 mm at 83 km/h	
Cells		60 - Si monocrystalline - 5 busbar - 156.75 x 156.75 mm	
Glass		3.2 mm high transmittance, tempered, antireflective coating	
Backsheet		Multilayer polyester-based	
Frame		Anodized Al	
Bypass diodes		3 diodes-45V/20A, IP67/IP68	
Cables and connectors (See installation manual)		1200 mm Ø 5.7 mm (4 mm ²), MC4 compatible	

Warranties		SILFAB SLA Monocrystalline	
Module product workmanship warranty		25 years*	
Linear power performance guarantee		30 years	

Certifications		SILFAB SLA Monocrystalline	
Product		ULC ORD C1703, UL 1703, IEC 61215, IEC 61730-1 and IEC 61730-2 Certified, FSEC and CEC listed. IEC 62716 Ammonia Corrosion, IEC 61701:2011 Salt Mist Corrosion Certified	
Factory		UL Fire Rating: Type 2 (Type 1 on request) ISO9001:2015	



Warning: Read the installation and User Manual before handling, installing and operating modules.

Third-party generated pan files from Fraunhofer-Institute for Solar Energy Systems ISE are available for download at:
www.silfabsolar.com/downloads

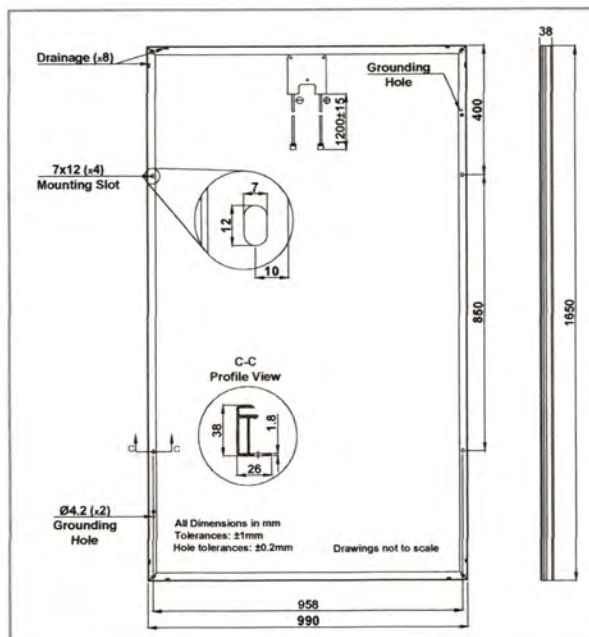


- Modules Per Pallet: 26
- Pallets Per Truck: 36
- Modules Per Truck: 936



Silfab Solar Inc.
240 Courtneypark Drive East
Mississauga ON L5T 2Y3 Canada
Tel +1 905-255-2501 | Fax +1 905-696-0267
info@silfabsolar.com | www.silfabsolar.com

Silfab Solar Inc.
800 Cornwall Ave
Bellingham WA 98225 USA
Tel +1 360-569-4733





HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2019-01
JANUARY 17, 2019

Owner/Applicant:	James D. & Constance N. Scott
Property Address:	123 S. 7 th Street
Requested action:	Conceptual Certificate of Approval (COA) to expand a rear addition, demolish a non-contributing accessory structure, and construct a new accessory structure.
Current zoning:	R-2
FLUM land use category:	Medium-Density Residential
Existing uses on the site:	Residential
FL Master Site File #	8NA00452
Year Built:	1903
Contributing Status:	Contributing

All required application materials have been received. All fees have been paid. All required notices have been made.



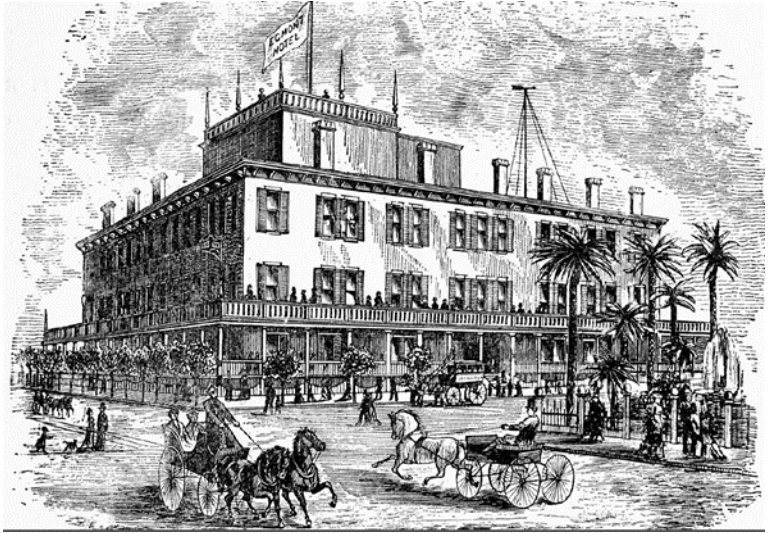
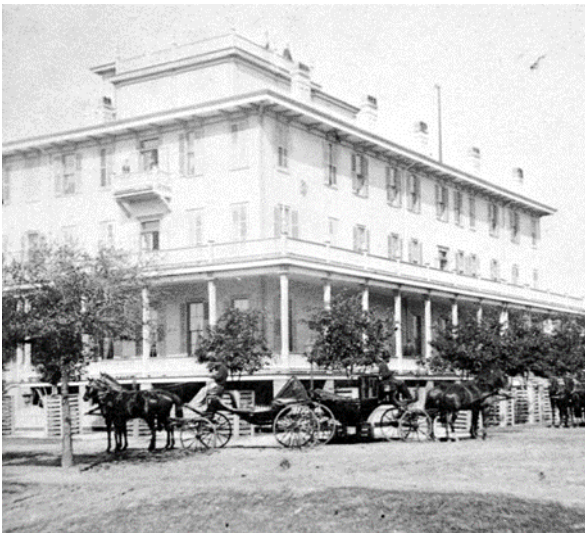
CONCEPTUAL APPROVAL

This proposal is being brought before the Historic District Council for Conceptual Approval. Conceptual approvals are provided by the HDC as a courtesy to the applicant in an effort to allow comment from the Historic District Council and citizens during the conceptual design process. The HDC will provide the applicant with feedback and guidance relating to the proposal and take a vote to indicate whether the board feels the proposal is adequately appropriate to proceed. If significant concerns are raised by the Board, they may request that the applicant return for additional conceptual review. In all cases, the applicant must return to the HDC to seek Final Approval of their projects. No projects can proceed to the permitting phase without final approval by the HDC. If the Board feels that a project is substantially inappropriate at the conceptual level, or is not making progress towards an appropriate design, the board may vote to deny conceptual approval.

SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

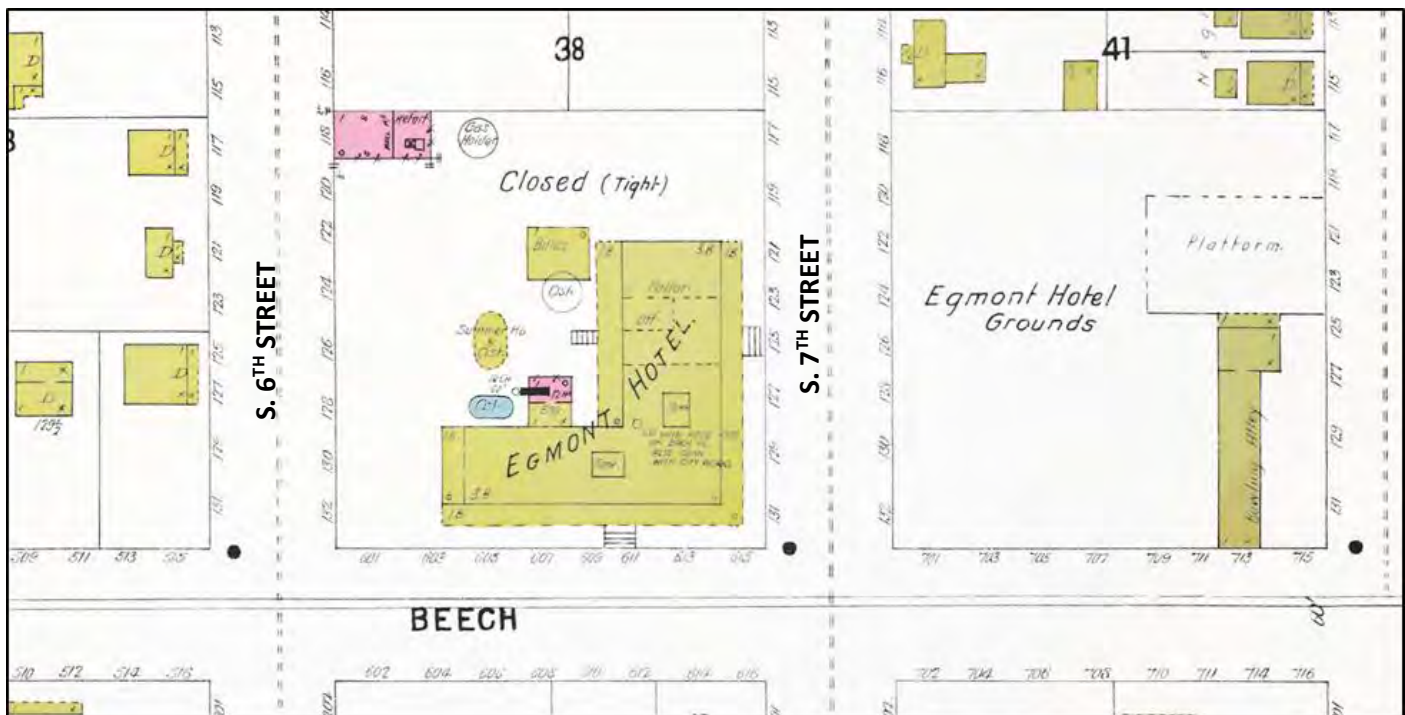
The applicant is seeking a Conceptual Certificate of Approval (COA) to expand a rear addition, demolish a non-contributing accessory structure, and construct a new accessory structure.

This contributing two-story frame vernacular residence was constructed in 1903 as part of the redevelopment of the site following the demolition of the Egmont Hotel that previously occupied the site. This home, along with three other ones identical to it, was constructed on S. 7th Street and three matching one-story frame vernacular homes were built behind them facing S. 6th Street. Salvaged materials from the Egmont Hotel were used to construct these homes.

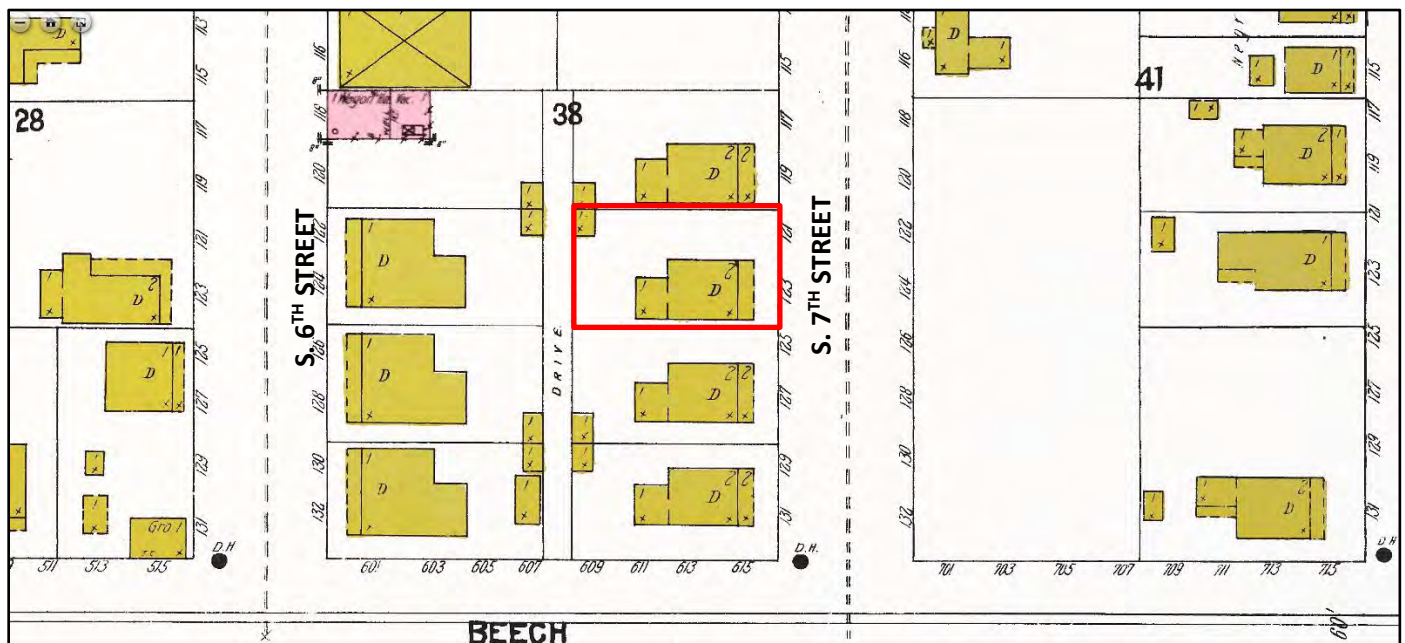


Egmont Hotel from the corner of S. 7th St & Beech St.

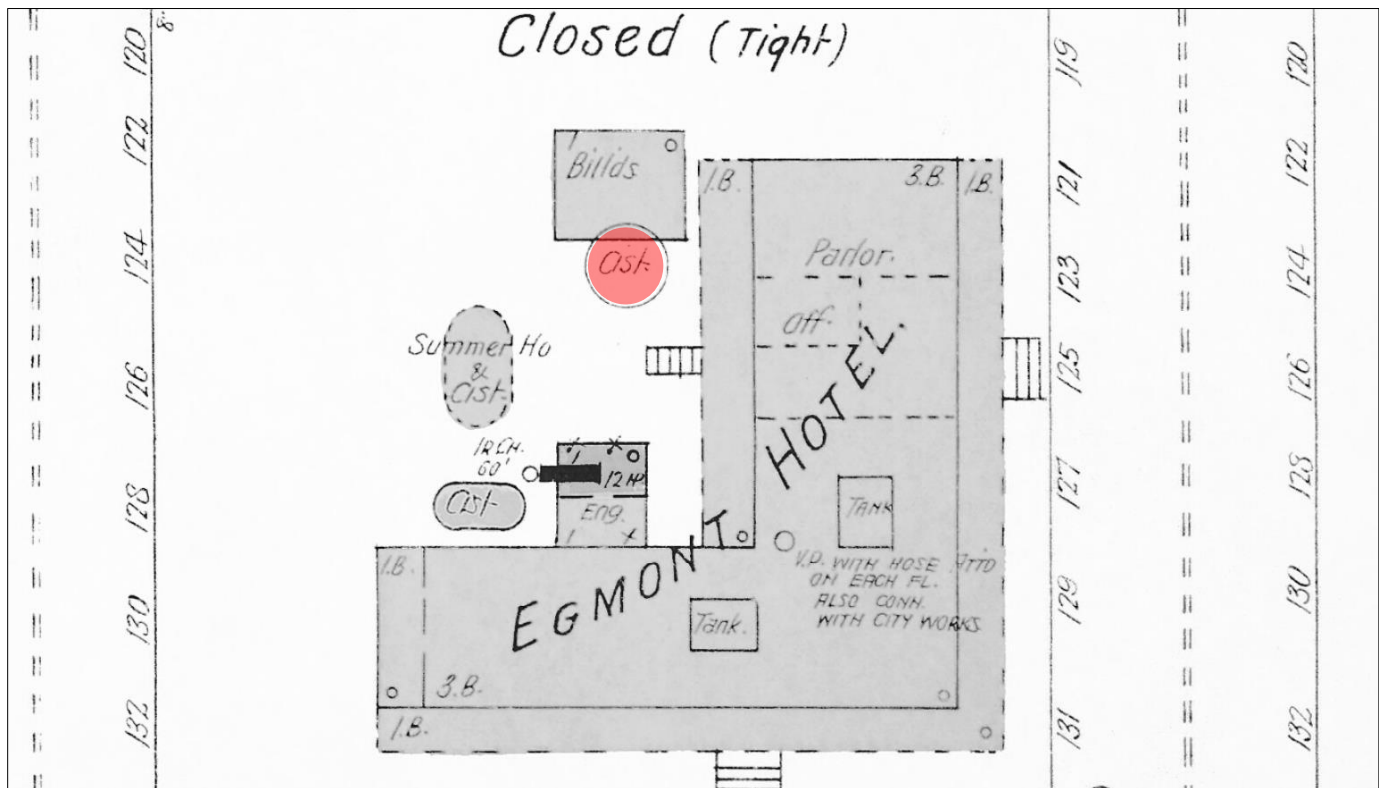
1897 Sanborn Fire Insurance Map



1903 Sanborn Fire Insurance Map



1897 Sanborn Fire Insurance Map (cistern location)



APPLICABLE GUIDELINES:

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐

8.00.01 Intent

It is declared as a matter of public policy that protection, enhancement, perpetuation and use of sites of aesthetic, archaeological, architectural, cultural, historical and paleontological merit or value is in the interests of the health, prosperity, safety and welfare of the people of Fernandina Beach. The City Commission finds that the irreplaceable loss of these resources to the community would detrimentally affect the community as a whole. It is therefore the intent of this chapter to:

- A. Effect and accomplish the protection, enhancement and perpetuation of buildings, structures, improvements, sites, districts, landscape features, and archaeological and paleontological resources that represent distinctive elements of the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific, and social history;
- B. Safeguard the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific and social heritage, as embodied and reflected in such structures, sites, and districts;
- C. Foster awareness and pride in the accomplishments and events of the City's past;
- D. Protect and enhance the City's attraction to residents, tourists, and visitors, and serve as an economic stimulus to business and industry;
- E. Stabilize and improve property values and encourage compatible redevelopment;
- F. Enhance the visual and aesthetic character of the City; and
- G. Promote the use of individual structures, sites, and districts for the education, leisure, and welfare of the people of Fernandina Beach.

8.00.03 Relationship to Comprehensive Plan

The following standards implement Goal 11: Historic Preservation Element of the Fernandina Beach Comprehensive Plan to identify, preserve, and protect historic and cultural resources within the City.

8.01.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.
- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.

DOWNTOWN HISTORIC DISTRICT GUIDELINES

Outbuildings (pg.100)

Historic outbuildings such as garages and sheds should be retained where they remain.

New outbuildings should be designed to be complimentary to the dwelling's architectural style.

1. Preserve and maintain original outbuildings such as garages and sheds as long as possible. Regular use of outbuildings and application of rehabilitation guidelines for dwellings will help ensure their longevity.
2. Design new outbuildings to be compatible with the architectural style and scale of the associated dwelling.
3. Locate new outbuildings appropriately, such as to the rear of a house or set back from the side elevations.
4. Both one- and two-story accessory outbuildings are permitted for a primary dwelling.

New Additions (pg.104)

New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, or destroyed in the process of rehabilitation. The new design should complement the original historic building and still be distinguishable. Do not try to copy the original design.

1. Before building an addition, attempt to accommodate needed functions within the existing building.
2. Limit the size of new additions so as not to overwhelm the historic building.
3. Respect the scale, massing, materials, and window spacing of the historic building.
4. Do not attempt to duplicate form, material, style, wall plane, roofline, cornice height; the new addition should not appear to be part of the historic building.
5. Use contemporary designs for new work or reference design motifs from the historic building.
6. Respect the existing historic character of surrounding buildings in the district and insure that the new addition will complement this historic character.
7. Place new additions on rear or side elevations where not visible from the street.

ANALYSIS:

The proposed scope of work includes an expansion of the 1-story rear bump-out and the construction of a new accessory dwelling. The home is a two-story frame vernacular home with front gable two-story front porch. The original design of all the Egmont homes on 7th street included a one-story bump-out at the rear of the home, to accommodate the kitchen. This design is typical of homes of this period, and is also commonly seen as additions to earlier homes. As the activities of modern living have shifted to be more centered on the kitchen as a gathering place for families, the desire to expand these spaces has led to expansions of this bump-out on the other three of the Egmont homes. This area is a logical location to expand the homes, as the original character and form of the homes can be retained, and the additions are not visible from front of the homes.

The proposed addition extends the bump-out the full width of the home and raises the roof height to 24'6". The addition will match the existing in design and material and reuse materials such as the existing wood columns.

The home is unique in that the majority of the original cistern from the Egmont hotel lies at the rear of this

property. This is an important archeological feature that should be protected in accordance with SOIS #8. The proposed new accessory structure will replace an existing shed structure. The shed structure, although old, does not appear to be the original accessory structure that was included with all the Egmont homes. The shed is in poor condition and will be demolished as part of the scope of work. The new garage/accessory dwelling has been designed with a foundation that bridges the cistern walls, so as not to disturb it. This creates the possibility that the structure can be removed in the future with any impact to the cistern. The owner has agreed to allow the Florida Public Archaeology to document the cistern and create a Florida Master Site File for this archeological feature.

The accessory dwelling will feature a garage on the ground floor with a guest suite on the second floor. The structure will feature modern materials that replicate the historic features of the home, such as cementitious siding. Windows, doors, and detailing will match that of the primary structure.

STAFF RECOMMENDATION:

Staff finds that the requested action, as presented, is consistent with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines.

Staff recommends:

CONCEPTUAL APPROVAL of HDC 2019-01

MOTION TO CONSIDER:

I move to **approve or deny** HDC case number 2019-01 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2019-01, as presented, **is or is not** substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant conceptual approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2019-01 Application and Backup Materials

Respectfully Submitted,



Salvatore J. Cumella
Historic Preservation Planner

HDC 2019-01

EXHIBIT 1

Application and Backup Materials



PLANNING HDC

Revised 10/01/18

USE THIS FORM TO: Apply for approval for projects in the Downtown or Old Town Historic District or the Community Redevelopment Area. Projects may require either a Board-level review or a staff-level review. Staff can help you determine which review applies.

FEES: Fees are due upon application.

Type of Review	FEE
Certificate of Approval (COA): Staff Review	\$ 20.00
Certificate of Approval (COA): Board Review – <i>Residential</i>	\$ 200.00
Certificate of Approval (COA): Board Review – <i>Commercial</i>	\$ 250.00
Demolition of a Primary Structure – <i>Non-Contributing</i>	\$ 300.00
Demolition of a Primary Structure – <i>Contributing</i>	\$ 750.00
After-the-Fact Certificate of Approval (COA): Staff Review	\$ 50.00
After-the-Fact Certificate of Approval (COA): Board Review	\$ 750.00
Variance – <i>Residential</i>	\$ 850.00
Variance – <i>Non-Residential</i>	\$1,000.00

IMPORTANT NOTES: To guide you through the process and ensure that your application is understood and properly processed, you'll need to meet with the Preservation Planner **prior** to submitting your application. Completed Board applications are due approximately 30 days prior to the Historic District Council meeting date (see 2018 HDC Meeting Schedule on pg. 3 for deadlines). Staff approval applications are accepted on a rolling basis and are generally completed in 3-5 days. Please note that projects can begin only after receiving a Certificate of Approval (COA) and a building, sign, or zoning permit (if required). If you are applying for a sandwich board or easel sign, you'll also need to complete a right-of-way application.

Please note that it is up to the owner and/or agent to let staff know of any potential changes from the approved COA that come up during construction and obtain board or staff approval prior to starting the changes. There will be no charge for a board or staff revision to the COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.

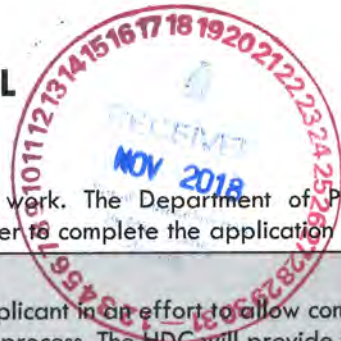
Upon completion of the proposed work, an inspection will be performed by staff to ensure all work is compliant with the COA.

KEY CONTACTS: The Preservation Planner will guide your application from start to finish, engaging other City departments or agencies as needed.

Salvatore Cumella
Historic Preservation Planner
SCumella@fbfl.org
904-310-3148



HISTORIC DISTRICT COUNCIL APPLICATION CHECKLIST



These requirements are not inclusive of the requirements for the proposed work. The Department of Planning & Conservation may require additional drawings, specifications or information in order to complete the application review.

CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HDC as a courtesy to the applicant in an effort to allow comment from the historic district council and citizens during the conceptual design process. The HDC will provide the applicant with feedback and guidance relating to the proposal and take a vote to indicate whether the board feels the proposal is adequately appropriate to proceed. In all cases, the applicant must return to the HDC to seek final approval of their projects. There is no additional fee for this review above the Certificate of Approval fee.

STAFF REVIEW OR BOARD REVIEW FINAL APPROVAL

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR
STAFF APPROVAL OR FINAL APPROVAL BY THE BOARD:

Applicant (Initials)	Please submit 1 copy of each of the following:	Staff (Initials)
JC	Proof of ownership (copy of deed or tax statement)	
JC	11x17 signed, sealed, scaled survey of property. Completed within the last 2 years.	
JC	11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints	
JC	Site plan <u>must</u> show all trees greater than 5" diameter at breast height (DBH) and indicate any trees that are to be removed as part of the scope of work.	
JC	Photographs of the existing site and existing buildings if any, including views from the street.	
JC	11x17 drawings to scale showing ALL existing and proposed exterior elevations of primary <u>and/or</u> accessory buildings. Existing vs. proposed features should be clearly delineated with labels, shading, and/or hatching.	
JC	Elevations <u>must</u> include specific material and detail information with call outs that define all visible exterior elements, such as (but not limited to): wall finishes, foundation wall finish, corner-boards, water-tables, barge-boards, cornice trim, door trim, window trim, column elements, railings, roof fascia, balcony trim elements, supporting/decorative brackets, gable end decorative elements, shutters, roof finishes, chimney finish, privacy fences, picket fences, gates, utility yard screens, gazebos, outdoor shower screens, etc. Provide specific detail views of features that cannot be called out with notes on the elevations. Examples include porch details, pier elements, lattice infill components, soffit and cornice trim detailing, etc.	
JC	Elevations and/or site plan <u>must</u> show all proposed mechanical and plumbing equipment (HVAC, hood vents, backflow preventers, etc.)	
	Product/material details and specifications, including brochures or printouts, for any proposed material as applicable and not limited to: doors, windows, roofing, exterior fabric, fascia/trim, shutters, fencing, sidewalk/driveway, landscaping, foundation, porch/deck, sheds, and proposed colors for ALL surfaces to be painted/stained/treated.	
JC	New construction applications <u>must</u> show context of project within existing streetscape.	
	For any fencing proposed to be located on a common property line, written consent of the adjacent property owners shall be provided as required by LDC 5.01.10(B).	N/A

2018 Historic District Council Meeting Schedule

Meetings are held the 3rd Thursday of the month at 5pm.

Application Deadline (4:30pm)	Dec 19 2017	Jan 19 2018	Feb 16 2018	Mar 16 2018	Apr 20 2018	May 18 2018	June 22 2018	Jul 20 2018	Aug 17 2018	Sep 21 2018	Oct 19 2018	Nov 16 2018	Dec 21 2018	Jan 18 2019
Meeting Date	Jan 18 2018	Feb 15 2018	Mar 15 2018	Apr 19 2018	May 17 2018	June 21 2018	Jul 19 2018	Aug 16 2018	Sep 20 2018	Oct 18 2018	Nov 15 2018	Dec 20 2018	Jan 17 2019	Feb 21 2019

Basis for Review

All applications, whether staff or Board review, are reviewed for consistency with the City of Fernandina Beach Comprehensive Plan, Land Development Code, and applicable guidelines such as the Downtown Historic District Design Guidelines, Old Town Fernandina Preservation and Development Guidelines, and the Community Redevelopment Area (CRA) Design Guidelines. Guidelines for the Historic Districts are based on the U.S. Secretary of the Interior's Standards for Rehabilitation.

Certificate of Approval Matrix

ACTION	CONTRIBUTING		NON-CONTRIBUTING	
	STAFF	HDC	STAFF	HDC
ACCESSORY DWELLINGS		X		X
ADDITIONS				
1. Not visible from the street AND 20% or less of the existing building's square footage		X	X	
2. All other additions		X		X
AUTOMATED TELLER MACHINES (ATMs)		X		X
CANVAS AWNINGS	X		X	
CARPORTS (ADDITION OR ENCLOSURE)		X	X	
CHANGES TO BOARD-APPROVED PLANS		X		X
DECK, PATIOS, PERGOLAS				
1. With a structure		X	X	
2. Without a structure		X	X	
3. Not visible from right-of-way (with or without structure)	X		X	
DEMOLITIONS				
1. 10% or less of non-historic addition	X		X	
2. All other demolitions		X		X
DOORS + GARAGE DOORS				
1. Same materials, style, or size	X		X	
2. Change in materials or style	X		X	
3. Change in openings on main façade		X		X
4. Change in openings on a secondary façade		X	X	
DRIVEWAYS + SIDEWALKS	X		X	
GARAGES (ATTACHED OR DETACHED)		X		X
EXTENSION OF CERTIFICATE OF APPROVAL	X		X	
EXTERIOR WALL FINISH				
1. Removal of non-historic vinyl/aluminum/ asbestos siding (if original surface is salvageable or if replacement material matches structure's original exterior finish)	X		X	

City of Fernandina Beach Department of Planning & Conservation· 204 Ash Street Fernandina Beach, FL 32034

P: 904.310.3135 - Email: cddinfo@fbfl.org - www.fbfl.us/cdd

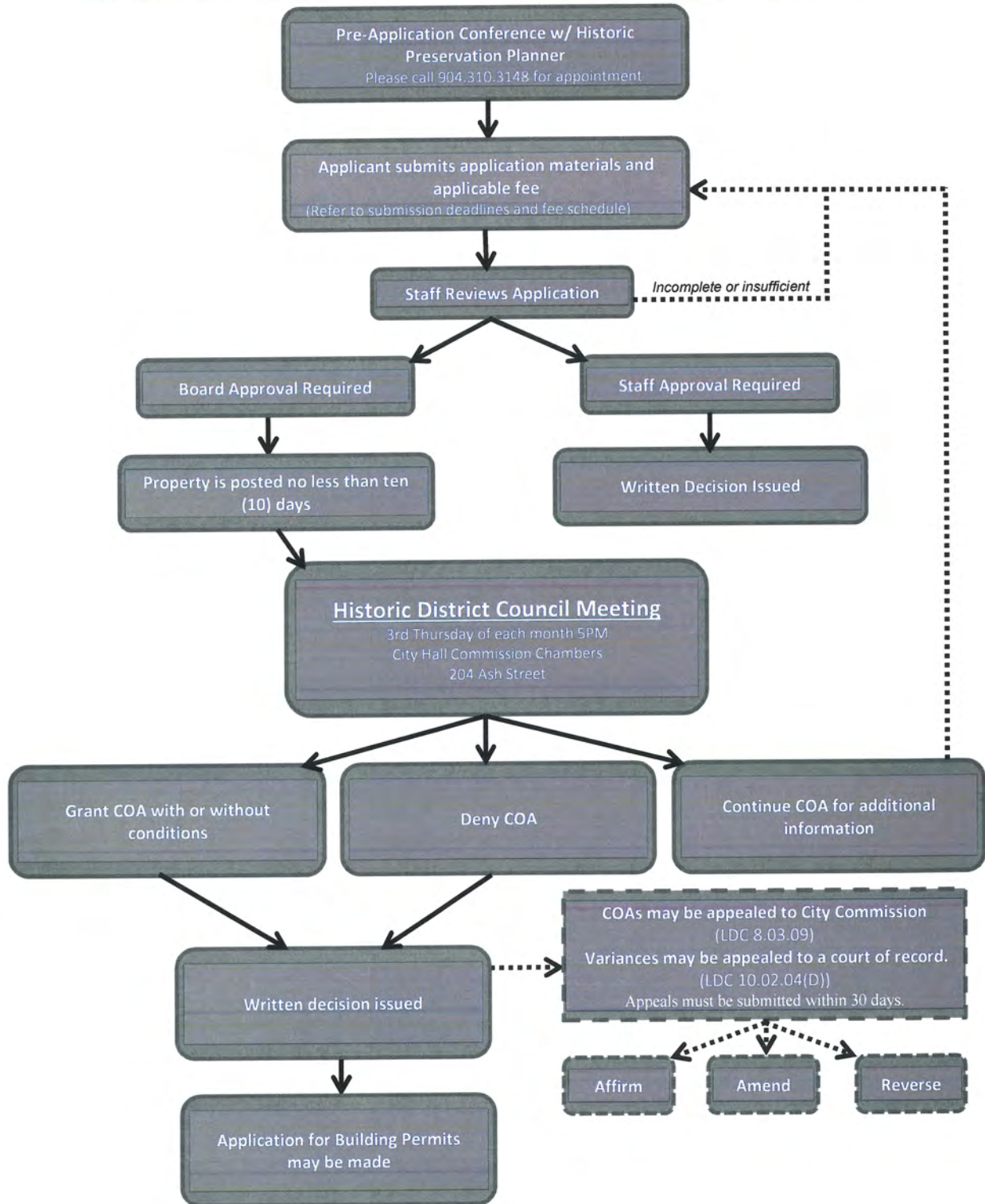
Revised October 2018

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2. All other finishes (including painting of originally unpainted surface)		X	X	
EXISTING DOCKS (WITH OR WITHOUT A STRUCTURE)	X		X	
FENCES + WALLS	X		X	
MECHANICAL SYSTEMS (WITH VISUAL IMPACT)	X		X	
PAINTING	X		X	
POOLS, POOL ENCLOSURES, IN-GROUND HOT TUBS		X		X
PORCHES				
1. Open an enclosed porch		X	X	
2. Enclose a porch on the main façade		X		X
3. Enclose a porch on a secondary façade		X	X	
PUBLIC (GOVERNMENT AGENCY) PROJECTS		X		X
RELOCATION		X		X
REPAIRS + MAINTENANCE (MATCH EXISTING)	X		X	
ROOF				
1. Same material and shape	X		X	
2. Change in material	X		X	
3. Change in shape and/or height		X		X
SCREEN DOORS				
1. Primary Entrance		X	X	
2. Secondary Entrance	X		X	
SIGNAGE	X		X	
SHEDS (up to 150 square feet)				
1. Custom-designed	X		X	
2. Pre-fabricated		X	X	
SHUTTERS (including temporary storm shutters/awnings)	X		X	
SKYLIGHTS		X	X	
SOLAR COLLECTORS		X		X
STORM WINDOWS AND DOORS	X		X	
VARIANCES		X		X
WIND GENERATORS		X		X
WINDOWS				
1. Same materials, style, or size	X		X	
2. Change in materials or style	X		X	
3. Change in openings on main façade		X		X
4. Change in openings on a secondary façade	X		X	
	STAFF		BOARD	
NEW CONSTRUCTION			X	
LANDSCAPING (NEW CONSTRUCTION ONLY)	X			
LIGHTING (NEW CONSTRUCTION ONLY)	X			
PARKING MATERIALS (NEW CONSTRUCTION ONLY)	X			



Certificate of Approval Process





Historic District Council Windows List

As amended from time to time – Approved 1/18/18

*New products not on the list will be reviewed on a case by case basis.

APPROVED FOR USE ON HISTORIC STRUCTURE PROJECTS:

Note: If window muntins are used, they must match profile of existing historic muntins and must include exterior raised muntins (grilles).

Wood

Hurd

Jeld-wen

Marvin

Pella (Reserve)

Aluminum-Clad Wood

Hurd

Marvin

Pella (Architect, Designer, Reserve) Weather Shield

Vinyl-Clad Wood

Andersen (400 Series, Architectural, 200 Series)

Cellular PVC/Ultrex

Marvin (Integrity)

Windsor

APPROVED FOR USE ON NEW CONSTRUCTION PROJECTS ONLY:

Any product line approved for use on historic structures can also be used on new construction. Window style and light pattern are at the discretion of the applicant. Note: If window muntins are used, they must include exterior raised muntins (grilles).

Aluminum-Clad Wood

Pella (ProLine)

All Vinyl/Plastic/Fiberglass Jeld-wen

Pella (Impervia, 350 Series, Encompass) PGT



APPLICATION FOR HISTORIC DISTRICT COUNCIL
CERTIFICATE OF APPROVAL (COA)

OFFICE USE ONLY	
REC'D: <u>11/19/18</u>	BY: <u>SJC</u>
PAYMENT: \$ <u>200</u>	TYPE: <u>1#22248</u>
APPLICATION #: <u>2018-001814</u>	
HDC CASE #: <u>2019-01</u>	
APPLICATION COMPLETE: Y ☒ N ☐	
PRE-CONFERENCE: Y ☒ N ☐	DATE: <u>11/19/18</u>

BOARD MEETING DATE: <u>January 17, 2019</u>
PLANNER: _____ DATE: _____
☐ APPROVED ☐ DENIED

APPROVAL TYPE:	☐ Staff Approval
	☒ Board Approval: Conceptual ☒ or Final ☐
PROJECT TYPE:	
☒ New Construction	☒ Addition ☒ Alteration ☐ Relocation ☒ Demolition ☐ Variance
☐ Repair	☐ Paint ☐ Fence ☐ Sign ☐ Re-roof ☐ Other: _____
PROPERTY INFORMATION Property information can be found at the Nassau County Property Appraiser's Website → Map Search	
Street Address: <u>123 5TH STREET</u>	
Historic District: ☒ Downtown ☐ Old Town ☐ CRA Waterfront	
Parcel Identification Number(s): <u>00-00-31-1800-0038-0062</u>	
Zoning District: <u>R-2</u> Lot / Block Number (optional) <u>5TH / 38</u>	

Owner of Record	As recorded with the Nassau County Property Appraiser
Owner(s) Name <u>JAMES D & CONSTANCE N. SCOTT</u>	
Company (if applicable)	
Street Address <u>3529 SW 84TH STREET</u>	
City State Zip <u>GAINESVILLE, FL 32608</u>	
Telephone Number <u>352-246-7885</u>	
Email Address <u>CNETSCOTT@ME.COM</u> <u>JIMBO5208@GMAIL.COM</u>	

Applicant or Agent	If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included
Applicant Name <u>COTNER ASSOCIATES, INC. ARCHITECTS</u>	
Company (if applicable)	
Street Address <u>9 S. 3RD STREET</u>	
City State Zip <u>FERNANDINA BEACH, FL 32034</u>	
Telephone Number <u>904-277-4593</u>	
Email Address <u>JOHN@COTNERASSOCIATES.COM</u>	

PROJECT DESCRIPTION (REQUIRED)

Part 1. Describe The Existing Conditions and Materials. Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Two story historic frame structure used as a single family residence clad in wood, horizontal siding and having an asphalt fiberglass roof. Existing metal shed at rear of property. Note: Historic cistern located in rear yard.

Part 2. Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

Modifications to existing addition at rear of primary residence. Demolition and removal of existing shed.
ADDITION OF NEW ACCESSORY STRUCTURE

List proposed materials and colors, as applicable (use additional sheet if necessary):

Project Scope	Manufacturer	Product Description	FL Product Approval #	Color (Name/Number)
Exterior Fabric		Main house - wood siding		Match existing
	Hardie	Accessory - siding		
Doors	Marvin	Main house - Integrity		Match existing
	Marvin	Accessory - Integrity		
Windows	Marvin	Main house - Integrity		Cashmere
	Marvin	Accessory - Integrity		
Roofing		Main house - 5v Galvalum metal		Match existing
		Accessory - 5v Galvalum metal		
Fascia/Trim		Main house - wood trim		Match existing
	Hardie	Accessory - Hardie trim		
Foundation		Main house - Brick		Match existing
		Accessory - N/A		
Shutters				
Porch/Deck		Main house - P.T. Wood		Match existing
		Accessory - P.T. Wood		
Fencing				
Driveways/Sidewalks				
Signage				
Other				

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.

CERTIFICATION (REQUIRED)

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic District Council meeting.
5. I/We understand that the Historic District Council meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic District Council member).
6. I/We understand that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HDC may be appealed to the City Commission, with the exception of variances, which may be appealed to a court of record as outlined in Section 10.02.04(D) of the Land Development Code. Petitions to appeal shall be presented within thirty (30) days after the decision of the HDC; otherwise the decision of the HDC will be final.
9. I/We understand that Certificates of Approval are only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation if needed.

11-9-18
Date

[Signature]
Signature of Applicant

STATE OF FLORIDA

COUNTY OF NASSAU

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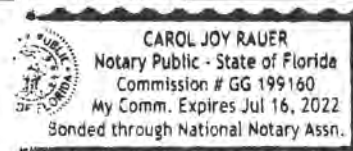
Subscribed and sworn to before me this 12th day of November, 2018.

Carol J. Rauer
Notary Public Signature

CAROL J. RAUER
Printed Name

7/16/22
My Commission Expires

Personally Known ☒ OR Produced Identification ☐ ID Produced: ☐



USE THIS FORM TO: Authorize an agent to make application and represent the owner of record.



OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE JAMES D & CONSTANCE N. SCOTT
(print name of property owner(s))

hereby authorize: COTNER ASSOCIATES, INC. ARCHITECTS
(print name of agent)

to represent me/us in processing an application for: HDC
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

[Signature]
(Signature of owner)

Constance N Scott
(Signature of owner)

James D. Scott
(Print name of owner)

Constance N. Scott
(Print name of owner)

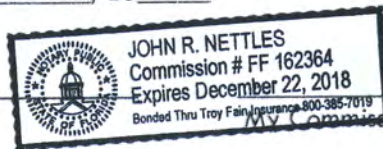
STATE OF FLORIDA

COUNTY OF NASSAU

Subscribed and sworn to before me this 12 day of Nov, 2018

Notary Public: Signature

Printed Name



Personally Known ☒ OR Produced Identification ☐ ID Produced: ☐

NASSAU

A. Michael Hickox, CFA, Cert.Res.RD1941
Nassau County Property Appraiser

Property Search

Sales Search

Nassau Home

OWNER NAME	SCOTT JAMES D & CONSTANCE N	PARCEL NUMBER	00-00-31-1800-0038-0062
MAILING ADDRESS	3529 SW 84TH ST	TAX DISTRICT	FERNANDINA BEACH (DISTRICT 2)
		MILLAGE	19.9307
		PROPERTY USAGE	SINGLE FAMILY
LOCATION ADDRESS	GAINESVILLE, FL 32608	DEED ACRES	0
	123 7TH ST S	HOMESTEAD	N
	FERNANDINA BEACH 32034	PARCEL MAP RECORD	MAP THIS PARCEL
SHORT LEGAL	BLOCK 38 S1/2 OF LOT 6 IN OR 1438/1591	TAX COLLECTOR SEARCH	NASSAU TAX COLLECTOR LINK
	CITY OF FDNA BEACH	PROPERTY RECORD CARD	LINK TO PROPERTY RECORD CARD (PDF)

2018 Certified Values

JUST VALUE OF LAND	\$87,500
LAND VALUE AGRICULTURAL	\$0
TOTAL BUILDING VALUE	\$154,734
TOTAL MISC VALUE	\$10,038
JUST OR CLASSIFIED TOTAL VALUE	\$252,272
ASSESSED VALUE	\$252,272
EXEMPT VALUE	\$0
TAXABLE VALUE	\$252,272

Land Information

LAND USE	LAND UNITS	LAND UNIT TYPE	SEC-TWN-RNG
SFR 000100	50	FF	23-3N-28

Building Information

TYPE	TOTAL AREA	HEATED AREA	BED ROOMS	BATHS	PRIMARY EXTERIOR	SECONDARY EXTERIOR	HEATING	COOLING	ACTUAL YEAR BUILT	BUILDING SKETCH
SNGL FAM	2,302	1,859	3	2	ABOVE AVG.		AIR DUCTED	FORCED AIR	1903	SHOW SKETCH

Miscellaneous Information

DESCRIPTION	DIMENSIONS L x W	UNITS	YEAR BUILT
STRG-L-AL	18 X 10	180	2000
STRG-L-AL	0 X 0	1	1960
CONCRETE A	10 X 17	170	1986
FLAGSTONE	0 X 0	1075	1990
BRICK	0 X 0	392	1995

Sales Information

SALE DATE	BOOK / PAGE	BOOK / PAGE	PRICE	INSTRUMENT	QUALIFICATION	IMPROVED? (AT TIME OF SALE)	GRANTOR	GRANTEE
08/22/2006	1438/1591	1438/1591	512500	WD	Q	Y	CLEMENS GARY L & GAIL S	SCOTT JAMES D & CONSTANCE N
06/15/2005	1326/109	1326/109	469000	WD	U	Y	KOFORD JODIE A	CLEMENS GARY L & GAIL S
08/25/1997	804/623	804/623	100	QC	U	Y	KOFORD JOEL L	KOFORD JODIE A
05/26/1993	681/1359	681/1359	127000	WD	Q	Y	VARN GEORGE W JR	KOFORD JOEL & JODIE
10/17/1990	610/14	610/14	100	WD	U	Y	VARN GEORGE JR & P J	VARN GEORGE W JR
12/01/1986	504/1190	504/1190	60000	WD	U	Y		



Real Estate Account At 123 7TH S, FERNANDINA BEACH 32034

Real Estate Account #00-00-31-1800-0038-0062

Parcel details

Latest bill

Full bill history

Pay All: \$4,922.21

2018

2017

2016

2015

...

2006

\$4922.21
due

PAID

PAID

PAID

PAID

Apply for the 2019 Installment Payment Plan

John M. Drew

Real Estate 2018 Annual Bill

Print this bill (PDF)

Nassau County Tax Collector

Notice of Ad Valorem Taxes and Non-ad Valorem Assessments

Account number	Alternate key	Escrow code	Millage code
00-00-31-1800-0038-0062	11524	—	002

Pay this bill: \$4,922.21

Get Bills by Email

PAYMENTS MUST BE MADE IN US FUNDS.

Owner
SCOTT JAMES D & CONSTANCE N
3529 SW 84TH ST
GAINESVILLE, FL 32608

Situs address
123 7TH S
FERNANDINA BEACH 32034

Legal description
BLOCK 38 S1/2 OF LOT 6 IN OR 1438/1591 CITY OF FDNA BEACH

Ad Valorem Taxes

Taxing authority	Millage	Assessed	Exemption	Taxable	Tax
BOARD OF COUNTY COMMISSIONERS					
GENERAL FUND	6.8376	252,272	0	252,272	\$1,724.94
TRANSPORTATION	0.5902	252,272	0	252,272	\$148.89
AI BEACH RENOURISHMENT MSTU	0.1021	252,272	0	252,272	\$25.76
SCHOOL BOARD					
BASIC DISCRETIONARY	0.7480	252,272	0	252,272	\$188.70
CAPITAL OUTLAY	1.5000	252,272	0	252,272	\$378.41
SCHOOL BOARD LOCAL EFFORT	4.0690	252,272	0	252,272	\$1,026.49
Total	20.3245				\$5,127.30



Taxing authority	Millage	Assessed	Exemption	Taxable	Tax
ST JOHNS RIVER MGMT DIST	0.2562	252,272	0	252,272	\$64.63
FL INLAND NAVIGATION DIST	0.0320	252,272	0	252,272	\$8.07
MOSQUITO CONTROL DISTRICT	0.1412	252,272	0	252,272	\$35.62
CITY OF FERNANDINA BEACH					
FERNANDINA BEACH	5.8553	252,272	0	252,272	\$1,477.13
VOTER APPROVED DEBT	0.1929	252,272	0	252,272	\$48.66
Total	20.3245				\$5,127.30

Non-Ad Valorem Assessments

Levying authority	Rate	Amount
No non-ad valorem assessments.		

Combined taxes and assessments: \$5,127.30

If paid by:	Nov 30, 2018	Dec 31, 2018	Jan 31, 2019	Feb 28, 2019	Mar 31, 2019
Please pay:	\$4,922.21	\$4,973.48	\$5,024.75	\$5,076.03	\$5,127.30

Pay this bill: \$4,922.21

 [Get Bills by Email](#)



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 Software That Works®







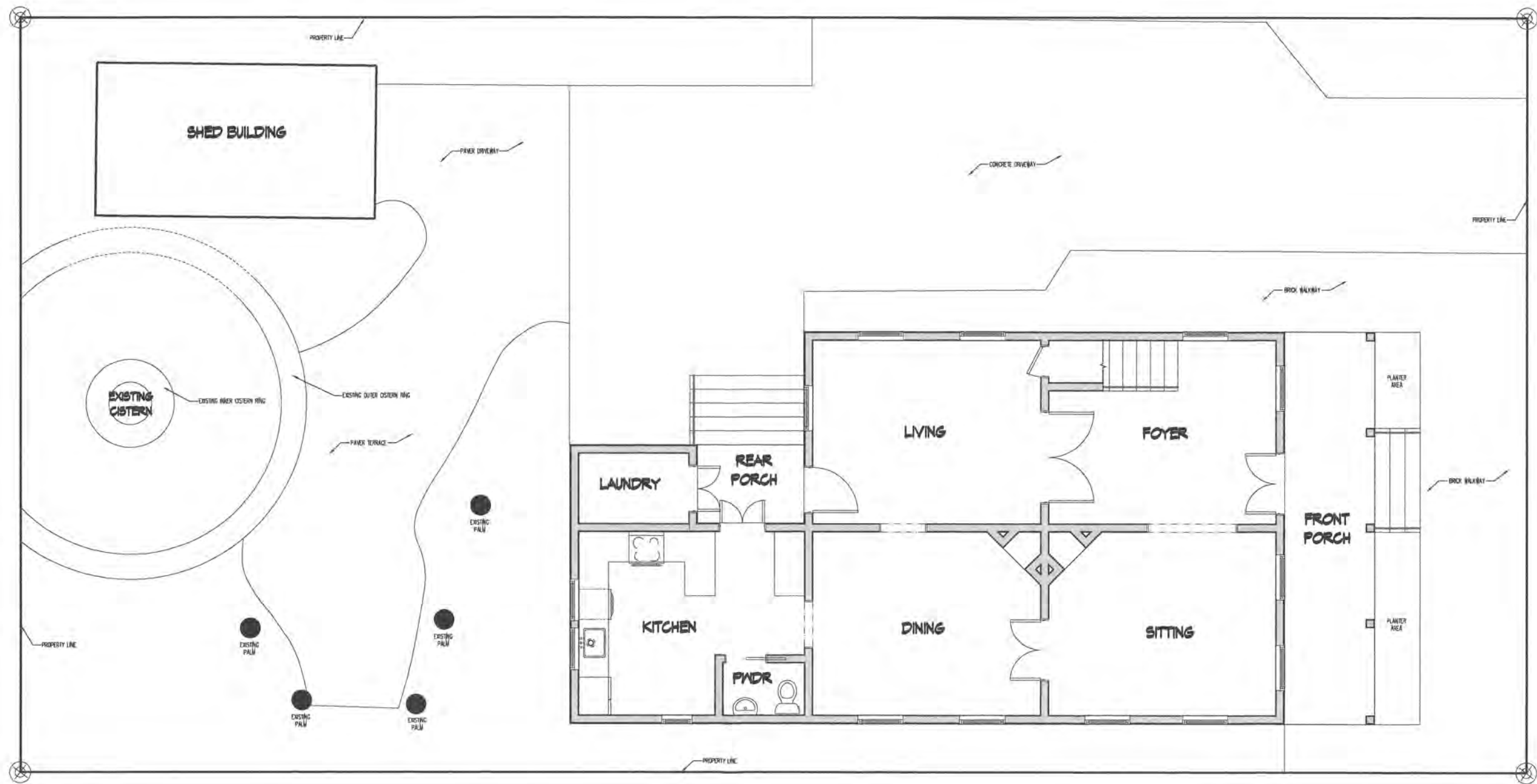
Revisions	
No.	Date

Progress Prints	
Issued To	Date
DRAFT HDC	11/9/18
CONCEPT HDC	11/12/18

Not Published
All Rights Reserved
 These drawings and specifications as instruments of service are, and shall remain, the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this project except by agreement in writing with the Architect.

NOTE: DRAWING SCALE IS 1/2" OF SCALE LISTED IF PRINTED ON 11X17 MEDIA

SCOTT RESIDENCE
123 SOUTH 1TH STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

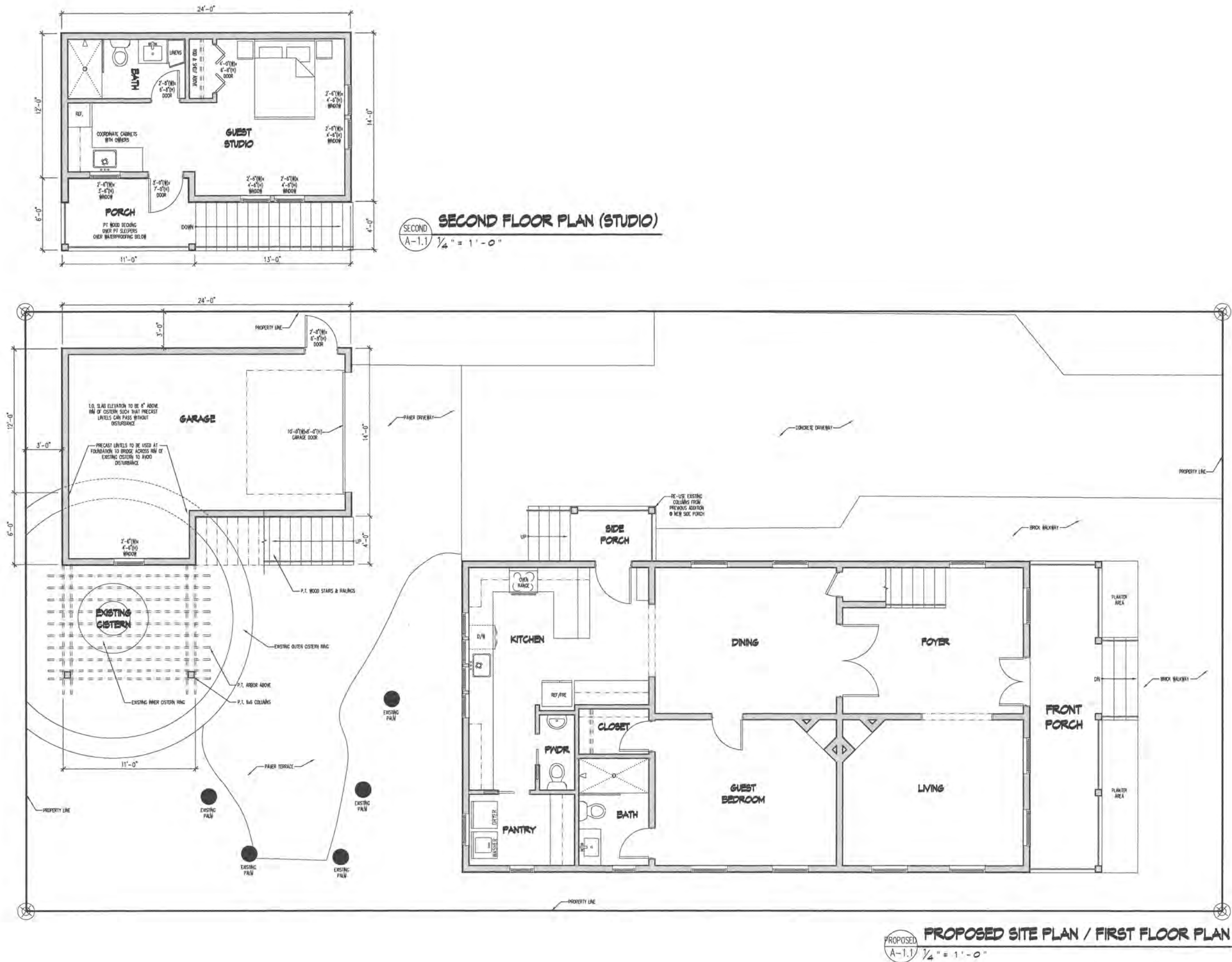


EXISTING SITE PLAN / FIRST FLOOR PLAN
 1/4" = 1'-0"

Revisions	
No.	Date

Progress Prints	
Issued To	Date
DRAFT HDC	11/9/18
CONCEPT HDC	11/12/18

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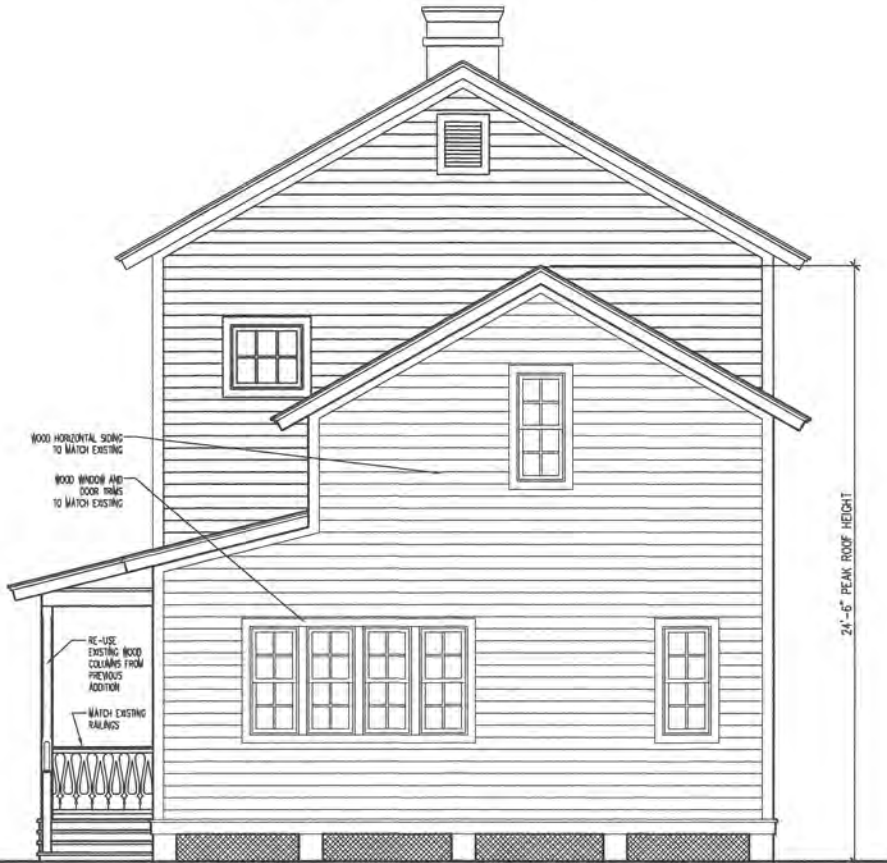
EAST
A-1.2
EXISTING EAST ELEVATION
1/4" = 1'-0"



WEST
A-1.2
EXISTING WEST ELEVATION
1/4" = 1'-0"



EAST
A-1.2
PROPOSED EAST ELEVATION
1/4" = 1'-0"



WEST
A-1.2
PROPOSED WEST ELEVATION
1/4" = 1'-0"

SCOTT RESIDENCE
123 SOUTH 7TH STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

Project: 180325.00
Released:

ELEVATIONS
Page of Sheet Number

Revisions	
No.	Date

Progress Prints	
Issued To	Date
DRAFT HDC	11/9/18
CONCEPT HDC	11/12/18

Not Published
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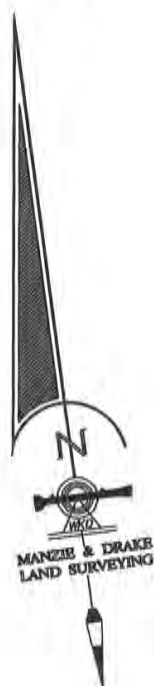
SCOTT RESIDENCE
123 SOUTH 1TH STREET
FERNANDINA BEACH
NASSAU COUNTY, FLORIDA

Project: 180325.00
Released:
ELEVATIONS
Page of Sheet Number

MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA, AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901), AS:

THE SOUTH ONE-HALF (S 1/2) OF LOT SIX (6), BLOCK THIRTY-EIGHT (38)



LOT 3

LOT 4

B

LEGEND

- A/C = AIR CONDITIONER
C = CENTERLINE
CONCRETE FLATWORK
W = WATER METER
WOOD OR VINYL FENCE
WOOD FLATWORK

SURVEY NOTES:

- The "Legal Description" hereon is in accord with the description provided by the client.
 - Underground improvements were not located or shown.
 - Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
 - Internal lot angles shown hereon are based on recovered monumentation.
 - "Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.
 - The property shown hereon lies within flood zone "X" as per F.E.M.A. Flood Insurance Rate Map, Panel 12089C 0237G, Dated 08/02/2012. Flood Zone information listed above and shown on this survey is provided as a courtesy and is approximate at best. All data should be verified by Nassau County Building Department for accuracy. We assume no liability for its accuracy. Flood Zone information is not covered by the certification hereon and is not required to be shown per Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
 - Site Benchmark is as shown hereon.
 - Elevations shown hereon refer to North American Vertical Datum of 1988, (N.A.V.D. '88)
 - The Reference Benchmark is a Published Benchmark USGS Tidal 22 (Elevation = 18.45' NAVD '88).
 - This survey is protected by copyright and is certified only to the entities listed and only for this particular transaction. Any use or reproduction of this survey without the express written permission of the surveyor is prohibited. Use of this survey in any subsequent transactions is expressly prohibited and is not authorized. The surveyor expressly disclaims any certification to any parties in future transactions. No entity other than those listed should rely upon this survey.
- COPYRIGHT © 2018 BY MANZIE AND DRAKE LAND SURVEYING

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Michael A. Manzie

MICHAEL A. MANZIE, P.L.S. 4069

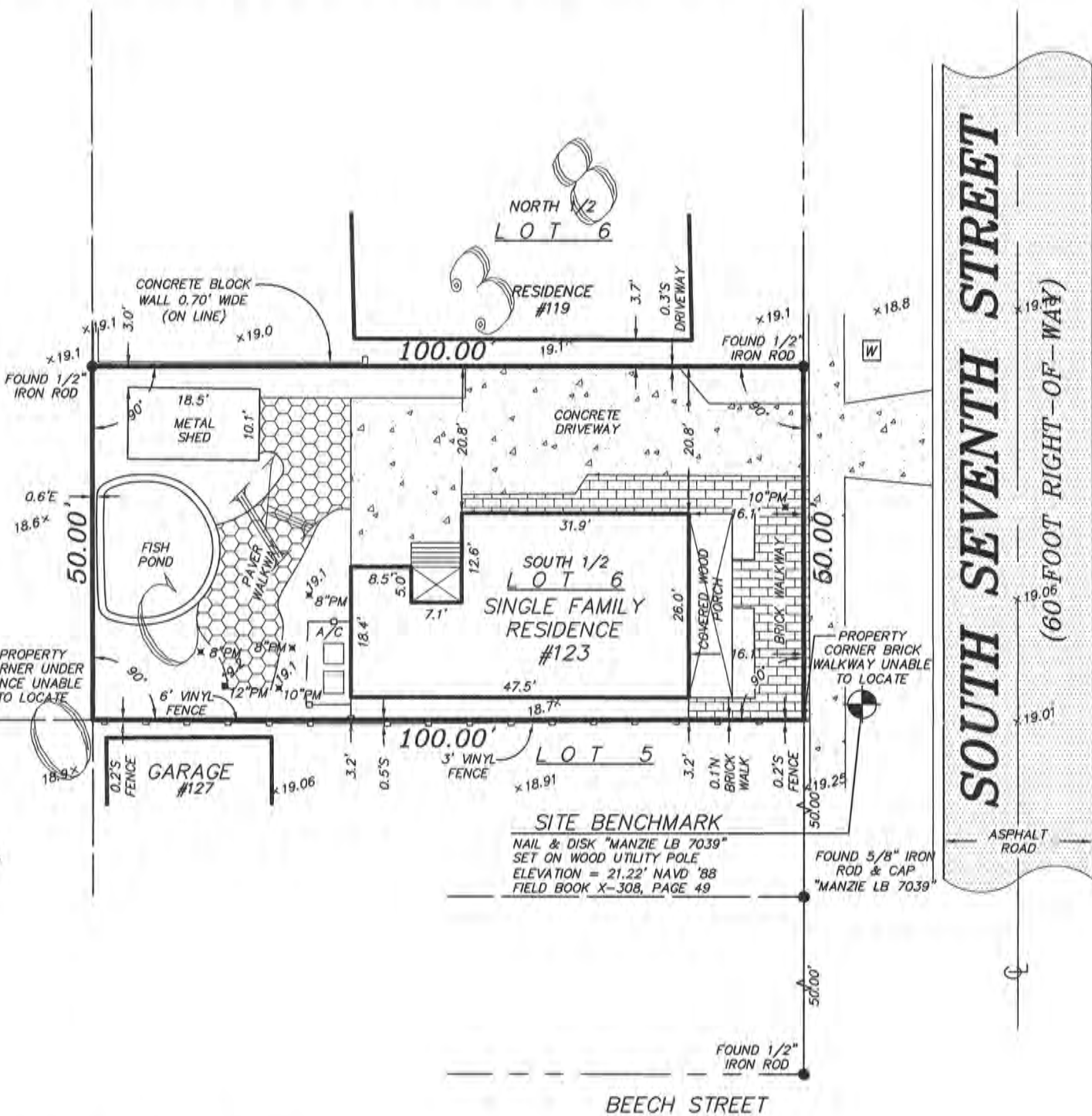


MANZIE & DRAKE LAND SURVEYING

117 South Ninth Street, Fernandina Beach, FL 32034
(904) 491-5700 www.ManzieAndDrake.com
Certificate of Authorization Number "LB 7039"

"OUR SIGHTS ARE ON THE FUTURE,
SET YOUR SITES ON US."

SCALE: 1"=20' JOB NO: 20335 DATE: 06/11/2018 CADD: BH
F.B. NO: X-308 PAGE NO: 49 FIELD CREW: GS FILE NO: A-4589



CERTIFIED TO:
JAMES SCOTT

PROPERTY ADDRESS:
123 SOUTH SEVENTH STREET
FERNANDINA BEACH, FLORIDA 32034

TREE LEGEND

PM = PALM TREE

TREE DISCLAIMER:

SPECIES OF TREES HAVE BEEN IDENTIFIED TO THE BEST OF OUR KNOWLEDGE AND BELIEF; HOWEVER MANZIE & DRAKE LAND SURVEYING WILL ASSUME NO LIABILITY, EXPRESSED OR IMPLIED, FOR THE CORRECTNESS OF SAID SPECIES IDENTIFICATION.

TREES HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS AND HAVE A POSITIONAL TOLERANCE OF APPROXIMATELY 2 TO 3 FEET. CRITICAL TREES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

ORDINANCE 2019-XX

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, FLORIDA AMENDING THE CODE OF ORDINANCES, CHAPTER 18, ANIMALS, ARTICLE I, IN GENERAL; BY AMENDING SECTION 18-2; CREATING A NEW SECTION 18-3 PROVIDING FOR REGULATIONS FOR KEEPING CHICKENS ON PRIVATE PROPERTY; RENUMBERING ALL FOLLOWING SECTIONS; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, keeping chickens on residential property has become popular in urban areas in the United States; and

WHEREAS, the City Commission wishes to regulate keeping chickens on residential property in the City to encourage and support urban agriculture, but at the same time prevent the creation of nuisances in an urban environment.

NOW THEREFORE BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, AS FOLLOWS:

SECTION 1. It is hereby proposed that Chapter 18, Animals, Article I, In General, Section 18-2 of the Code of Ordinances, City of Fernandina Beach, Florida is hereby amended to read as follows:

ARTICLE I. - GENERAL PROVISIONS

Sec. 18-1. - Definitions.

For the purpose of this chapter the following definitions shall apply unless the context clearly indicates or requires a different meaning.

Animal. Every non-human species of animal, both domestic and wild.

Animal-at-large. Any animal not under restraint while off the premises of the owner.

Animal auction. Any place or facility where animals are commercially bought, sold, or traded, to the highest bidder.

Animal control authority. The person or persons designated to enforce this chapter.

Animal establishment. Any pet shop, grooming shop, animal auction, performing animal exhibition, kennel, or animal shelter; however, this term shall not include veterinary medical facilities, licensed research facilities, facilities operated by government agencies, or licensed animal dealers regulated by the USDA under

the provisions of U.S. Public Laws 89544 and 91579.

Animal exhibition. Any spectacle, display, act, or event, other than circuses, in which performing animals are used.

Animal shelter. Any facility operated by a humane society or the city or its authorized agents, for the purpose of impounding animals under the authority of this chapter or state law for care, confinement, return to owner, adoption, or euthanasia.

Backyard Chicken. Any chicken kept on a residential lot.

Circus. A commercial variety show featuring animal acts for public entertainment.

Commercial animal establishment. Any retail or wholesale pet shop, grooming shop, animal auction, riding school or stable, zoological park, animal training facility, circus, animal exhibition, or boarding or breeding animal facility.

Domesticated animal. An animal that is no longer wild.

Feral animal. An animal that is untamed, wild.

Grooming shop. A commercial establishment where animals are bathed, clipped, plucked, or otherwise groomed.

Guard dog. Any dog that is kept for the purpose of guarding persons or property.

Humane manner. Care of an animal including, but not limited to adequate heat, ventilation, sanitary shelter, and wholesome food and water, consistent with the normal requirements and feeding habits, taking into consideration the animal's size, species, and breed.

Humane officer or animal control officer. Any person designated by the city to perform animal control duties.

Kennel or cattery. Any premises wherein any person engages in the commercial business of boarding, breeding, buying, letting for hire, training, selling or trading dogs or cats.

Licensing authority. The agency or department of the city or any designee thereof charged with administering the issuance and/or revocation of permits and licenses under the provision of this chapter.

Neutered. Rendered permanently incapable of reproduction by accepted veterinary sterilization procedures.

Owner. Any person or business enterprise owning, keeping, or harboring one or more animals. An animal shall be deemed to be harbored if it is fed or sheltered for three consecutive days or more.

Person. Any individual or business entity.

Pet. Any domestic animal kept for pleasure rather than commercial utility; an animal of a species that has been bred and raised to live in or about the home of humans and is dependent for food and shelter.

Pet shop. Any person or business entity that commercially buys, sells, trades or boards any species of animal.

Public nuisance. Any animal that unreasonably annoys humans, endangers the life or health of other animals or persons, or substantially interferes with the rights of citizens, other than their owners, to peace and quiet, enjoyment of life or property. This term shall mean and include, but is not limited to any animal that:

- (1) Damages the property of anyone other than its owner; or
- (2) Molests or intimidates pedestrians or passersby; or

- (3) Chases vehicles and/or persons; or
- (4) Makes clearly and audible disturbing noises, including, but not limited to continued and repeated howling, barking, whining, or other utterances causing unreasonable annoyance, or discomfort to neighbors or others outside the premises where the animal is kept or harbored; or
- (5) Causes fouling of the air by odor and thereby creates unreasonable annoyance or discomfort to neighbors or others in close proximity to the premises where the animal is kept or harbored; or
- (6) Causes unsanitary conditions in enclosures or surroundings where the animal is kept or harbored; or
- (7) Is offensive or dangerous to the public health, safety, or welfare because of the number and/or types of animals maintained; or
- (8) Attacks other animals; or
- (9) Has been found by a court of competent jurisdiction, after notice to its owner and a hearing, to be a public nuisance by virtue of being a menace to the public health, welfare, or safety.

Restraint. The control of an animal by a responsible person by means of a leash, lead, chain, tether or other restraining device, or within an enclosure on the real property limits where the animal is kept or harbored.

Service animal. Any animal individually trained to do work or perform tasks for the benefit of an individual with a disability, including, but not limited to, guiding individuals with impaired vision, alerting individuals who are hearing impaired to intruders or pulling a wheelchair, or fetching dropped items. If they meet this definition, animals are considered service animals under the ADA regardless of whether they have been licensed or certified by a state or local government. Service animals will not be considered pets and, in general, when accompanying a person with a disability (as defined by Federal law and Department of Justice regulations), must be allowed wherever visitors or employees are allowed.

Urban Chicken. See also *Backyard Chicken*

Veterinary facility. Any establishment maintained and operated by a licensed veterinarian for surgery, diagnosis, and treatment of diseases and injuries of animals and the practice of veterinary medicine.

Vicious animal. Any animal that attacks, bites, strikes, or injures human beings or other animals without provocation or which, because of temperament, conditioning, or training, has a known propensity to attack, bite, or injure human beings or other animals.

Wild animal. Any animal including feral dogs and cats, except the following: domesticated dogs, domesticated cats, farm animals, rodents, any hybrid animal that is part wild, and captive-bred species of common cage birds and captive-bred species of other caged animals commonly maintained as pets.

Zoological park. Any facility operated by a person, or business entity displaying or exhibiting one or more species of animals.

Sec. 18-2. - Livestock; horseback riding.

- (a) It shall be unlawful for any person to keep, maintain, pasture, or permit to run at

large, within the corporate limits of the city, any horses, cattle, mules, goats, steers, bulls, swine, sheep, ~~poultry~~, or other livestock of any kind or nature ~~whatsoever~~ for any purpose ~~whatsoever~~; however, this shall not apply to any person who has applied in writing for and received a permit in writing therefor from the city manager.

- (b) This chapter shall not apply to any person or persons wishing to ride horses or other riding animals for pleasure, parade shows, or any other purpose within the corporate limits of the city if such person or persons shall first have received a written permit therefor from the city manager. Such permits shall be issued by the city manager with such limitations imposed thereon as he/she may deem advisable and, likewise may be revoked or cancelled at ~~his~~ the city manager's discretion.

Sec. 18-3. – Backyard Chickens

(a) It shall be lawful for any person to keep chickens within the corporate limits of the City, subject to the following:

- 1) No more than one (1) hen per 2,500 square feet of land area (17 hens per acre of land) shall be allowed per single-family dwelling. No chickens are permitted in multi-family dwelling units. No hens are permitted in mixed-use, commercial or industrial zoned property.
- 2) Roosters of any age and any other crowing chickens are prohibited;
- 3) Slaughtering of chickens is not permitted;
- 4) All chickens must be kept in a secure enclosure or fenced-in yard at all times;
- 5) Chickens are not permitted to run at large upon streets, sidewalks or other public places;
- 6) Chicken enclosures must be in the side or rear-yard and at least ten (10) feet from the side or rear property line;
- 7) Enclosures must provide a minimum of four (4) square feet per chicken;
- 8) Enclosures must be kept in a neat and sanitary condition at all times and must be cleaned on a regular basis so as to prevent offensive odors. Chicken feed must be kept in enclosed containers to avoid attracting vermin and other wildlife;
- 9) Enclosures need to meet any applicable building code requirements and may require a building permit if over a certain size. Any enclosures with electrical or plumbing also require the appropriate permits;
- 10) Chickens must be provided with veterinary care if ill or injured, and are subject to existing City laws regarding neglect and abuse of animals;
- 11) Person's wishing to keep chickens within the City limits must obtain a permit from the City Manager's office and pay an application fee, as established in the City's fee schedule;
- 12) Chickens shall be kept for personal use only. The selling of chickens, eggs or chicken manure, or the breeding of chickens for commercial purposes is prohibited.
- 13) Chicken owners must live at the residence where they are keeping

- chickens. If applicant is a tenant, they will need written permission from the property owner provided to the City;
- 14) Chickens existing in the City as of the effective date of this provision have one-hundred and twenty (120) days from the effective date to come into compliance with this section; and
- 15) The City reserves the right to refuse to allow the keeping of hens if they are deemed a nuisance.

Following sections to be re-numbered accordingly.

SECTION 2. All ordinances or parts of ordinances and all resolutions in conflict herewith be and the same are hereby repealed.

SECTION 3. Severability. In the event that any word, phrase, clause, sentence, or paragraph hereof shall be held invalid by any court of competent jurisdiction, such holding shall not affect any other word, clause, phrase, sentence or paragraph hereof.

SECTION 4. Effective Date. This Ordinance shall take effect immediately upon its final passage and adoption.

ADOPTED this Xth day of MONTH, 2019.

First Name Last Name
Commissioner - Mayor

ATTEST:

APPROVED AS TO FORM:

Caroline Best
City Clerk

Tammi E. Bach
City Attorney

RESOLUTION 2018-

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, FLORIDA, APPROVING AMENDMENTS TO THE BUDGET FOR FISCAL YEAR 2018/2019; DIRECTING ALL FUTURE REVENUES GENERATED FROM HISTORIC DISTRICT CERTIFICATES OF APPROVAL AND TREE REMOVAL FEES, FINES, OR PENALTIES TO THE ASSOCIATED TRUST FUND ACCOUNTS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, according to Code Sec 2-412 and Charter section 74, the City Commission must approve any budget transfers over \$7,500; and

WHEREAS, the Historic District Trust Fund (account # _____) currently totals \$3,815 with nominal revenue accruing over the past thirteen years to provide meaningful preservation activities and outreach within the historic district; and

WHEREAS, anticipated revenue generated by the Historic District Certificate of Approval process totals approximately \$15,000 in FY 2018/2019; and

WHEREAS, the Tree Trust Fund (account # _____) currently totals \$39,892.50 with only a partial amount of revenue being diverted from tree removal fees to this account to support urban forestry activities over the past thirteen years; and

WHEREAS, the anticipated revenue generated by tree removal permit fees totals approximately \$30,500 to be deposited into the Tree Trust Fund (account # _____) in FY 2018/2019.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, FLORIDA, THAT:

SECTION 1. The City Commission hereby approves that the total revenues (past and future) generated by Historic District Certificates of Approval be transferred from _____ account # _____ to HDC Trust Fund account # 001 24190 and Tree Removal Fees and Penalties revenues be transferred from _____ account # _____ to the Tree Trust Fund Reserve account # 001 32219, as appropriate.

SECTION 2. This Resolution shall become effective immediately upon passage.

ADOPTED this 18th day of December 2018.

CITY OF FERNANDINA BEACH

John A. Miller
Commissioner – Mayor

ATTEST:

Caroline Best
City Clerk

APPROVED AS TO FORM & LEGALITY:

Tammi E. Bach
City Attorney

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, FLORIDA ESTABLISHING A TRUST FUND TO PRESERVE THE HISTORIC DISTRICT; PROVIDING FOR CONTRIBUTIONS TO THE FUND; PROVIDING FOR APPROPRIATE EXPENDITURES FROM THE FUND AND PROVIDING A METHOD TO RECOMMEND EXPENDITURES FROM THE FUND; PROVIDING FOR SEVERANCE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the historic district of Fernandina Beach is nationally recognized, and an asset to the City; and

WHEREAS, the City desires to protect the historic district from deterioration; and

WHEREAS, the Port of Fernandina is also adjacent to the historic district, and realizes the importance of the historic district to the City and to the continued operation of the Port; and

WHEREAS, the City desires to establish a trust fund in which to fund projects which may be needed to improve or enhance the historic district, and to authorize a one time contribution to the fund. The City Commission may also authorize other funds to be earmarked for the trust fund; and

WHEREAS, the Port of Fernandina will make a one-time contribution to the fund, and may make other contributions to the fund if necessary; and

WHEREAS, the Historic District Council will be asked to recommend projects to the City Commission for funding.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FERNANDINA BEACH, FLORIDA, AS FOLLOWS:

SECTION 1. ESTABLISHING THE FERNANDINA BEACH HISTORIC DISTRICT TRUST FUND, ESTABLISHING THE INITIAL AND FUTURE FUNDING FROM THE HISTORIC DISTRICT FEES AND OTHER SOURCES PROPOSED, AND PROVIDING A METHODOLOGY TO RECOMMEND SPECIFIC PROJECTS FOR CONSIDERATION.

1. There is hereby established a trust fund called the **FERNANDINA BEACH HISTORIC DISTRICT TRUST FUND**. The fund shall be maintained among the other funds of the City of Fernandina Beach, and shall be used to support the enhancement and continued vitality of the downtown historic district.
2. The City of Fernandina Beach hereby authorizes the transfer of five thousand dollars (\$5,000) into the fund for the initial year, Fiscal Year 2004-2005.
3. The Port of Fernandina has agreed to deposit five thousand dollars (\$5,000) into the trust fund within fifteen (15) days of the effective date of this ordinance.
4. During the budget process on an annual basis, the City Commission may recommend including a percentage of any of the following fees be deposited into the trust fund for specific projects. Fees that may be earmarked include, but are not limited to, the following:
 - i. fees generated from applications for certificates of appropriateness;
 - ii. fines collected for violations of code within the historic district, violation of certificate of appropriateness, and/or failure to procure certificates of appropriateness;
 - iii. permit fees and fines related to the Tree Ordinance within the Historic District;
 - iv. proceeds from the sale of copies of any publications produced by the city related to the Historic District, such as the guidelines; and

- v. a percentage of the revenue in lieu of taxes paid by the Port of Fernandina.
5. The fund may also receive grant funds and donations from organizations or members of the public who desire to promote the city's historic district and architectural heritage.
6. The fund may be used to pay for specific projects, which could include but are not limited to the following:
 - i. To provide a match for appropriate grants;
 - ii. To fund periodic architectural surveys;
 - iii. To erect or replace authorized historic markers;
 - iv. To provide funding for a community grants program administered by the Historic District Council;
 - v. To fund periodic Historic District traffic surveys;
 - vi. To purchase maps, databases, print materials and other tools to assist the Council in discharging its duties in the most knowledgeable manner;
 - vii. To offer seminars or educational programs to benefit property owners and residents in the Historic District;
 - viii. To fund other reasonable and proper efforts to enhance the Historic District.
7. The Historic District Council's charge is to "safeguard the heritage of this city by preserving and regulating work on [the city's] historic landmarks, sites, archeological sites, buildings, structures, monuments, neighborhoods, areas and districts which reflect the elements of the city's cultural, social, economic, political and architectural history." Recommendations for funding specific projects from the Trust Fund shall be made by the Historic District Council, and shall be forwarded to the City Commission as part of the budget through the Community Development Department's budget.

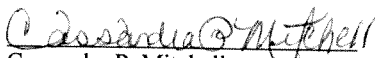
SECTION 2. SEVERABILITY. If any provision or portion of the Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of the Ordinance shall remain in full force and effect.

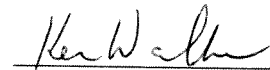
SECTION 3. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its final adoption.

ADOPTED this 19th day of July 2005.

ATTEST:

CITY OF FERNANDINA BEACH


Cassandra P. Mitchell
City Clerk


Ken Walker
Commissioner-Mayor

Date of First Reading:	June 21, 2005
Date of Publication:	July 6, 2005
Date of Second Reading and Public Hearing:	July 19, 2005
Date of Adoption:	July 19, 2005

Historic Preservation Trust Fund in the Comprehensive Plan

Policy 11.03.09.

The City shall activate the Historic Preservation Trust Fund during the annual budget process in order to provide for activities as authorized by Ordinance 2005-20.

Policy 11.03.10.

The City shall pursue strategies and incentives for property owners that will lead to the preservation, as opposed to the demolition, of buildings located in designated historic districts, including but not limited to, utilizing the Historic Preservation Trust Fund to provide financial and educational opportunities for historic property owners.

Policy 11.04.03.

The City shall evaluate incentives and identify partners that may allow the City and its partners to assist historic property owners with maintenance and preservation of their properties.

Policy 11.04.04.

The City shall utilize a portion of the dedicated funds from the Historic Preservation Trust Fund to provide for small grants to historic district property owners to assist in maintenance and preservation efforts.