



**AGENDA  
HISTORIC DISTRICT COUNCIL  
REGULAR MEETING  
SEPTEMBER 19, 2019  
5:00 PM  
CITY HALL COMMISSION CHAMBERS  
204 ASH STREET  
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER / ROLL CALL / DETERMINATION OF QUORUM**
- 2. APPROVAL OF MEETING MINUTES**
  - 2.1 August 15, 2019 Regular Meeting**
- 3. OLD BUSINESS**
  - 3.1 HDC 2017-03: ARTISAN HOMES, 247 BEECH STREET**  
Amendment to previously approved COA to alter brick detailing. *(Quasi-Judicial)*
  - 3.2 HDC 2019-09: CMR ISLAND PROPERTIES, LLC, AGENT FOR BEVERLY FREEMAN CREWS, JAMES K. FREEMAN JR., GEORGE T. MORGAN, & ANGELA KAREN MORGAN, 116 N 2ND STREET**  
Certificate of Approval (COA) to construct four, two-story town-homes. *(Quasi-Judicial)*  
*\*Applicant to provide update only. No action to be taken\**
- 4. NEW BUSINESS**
  - 4.1 HDC 2019-33: MIRANDA ARCHITECTS, AGENT FOR SUSAN DORNER, 606 CEDAR STREET**  
Certificate of Approval (COA) for the construction of a two-story accessory structure. *(Quasi-Judicial)*
- 5. BOARD BUSINESS**
- 6. STAFF REPORT**
- 7. PUBLIC COMMENT**
- 8. ADJOURNMENT**

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**NEXT HDC REGULAR MEETING IS SCHEDULED FOR OCTOBER 17, 2019.**

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired). All interested parties may appear at said meeting and be heard as to the advisability of any

action, which may be considered with respect to such matter. For information regarding this matter, please contact the Planning Department (904) 310-3135.



**MINUTES  
HISTORIC DISTRICT COUNCIL  
REGULAR MEETING  
AUGUST 15, 2019**

**1. CALL TO ORDER: 5:01 PM**

**ROLL CALL / DETERMINATION OF QUORUM**

**MEMBERS PRESENT:**

Robert Erickson  
Michael Spino (Chair)  
Michael Harrison  
James Pozzetta

Benjamin Morrison  
Angela Conway (Alt 1) (left at 6:00pm)  
Tammi Kosack (Alt 2)

**MEMBERS ABSENT:**

**OTHERS PRESENT**

Tammi Bach, City Attorney  
Sal Cumella, Historic Preservation Planner  
Samantha Rogic, Recording Secretary

Ms. Tammi Kosack was seated as Alternate 2 by unanimous voice.  
City Attorney Bach inquired on ex-parte communications.  
Member Harrison explained that he and his wife are members of the museum.  
Member Spino spoke with Mr. Seefried briefly before the meeting.

**2. APPROVAL OF MEETING MINUTES**

**2.1 July 18, 2019 Regular Meeting**

**ACTION TAKEN:** A Motion was made by Member Harrison, seconded by Member Erickson, to approve the minutes as presented.

**Motion passed by unanimous voice vote.**

**3. OLD BUSINESS**

**3.1 HDC 2019-04: CHISM DEVELOPMENT COMPANY, AGENT FOR TUP REAL ESTATE HOLDINGS, LLC, 14 N 2ND STREET**

Certificate of Approval (COA) to construct a three-story, mixed use primary structure. (*Quasi-Judicial*)

Wayne Chism, agent for the applicant, provided information and details specific to the request.

Gwen Coart, President of the Amelia Island Art Association, expressed concerns with the building height and the lack of detailing on the North elevation.

**ACTION TAKEN:** A motion was made by Member Harrison, seconded by Member Erickson, to

deny HDC case number 2019-04 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-04, as presented, is not substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and was as follows:

|                  |     |
|------------------|-----|
| Member Morrison: | Nay |
| Member Pozzetta: | Nay |
| Member Erickson: | Aye |
| Member Harrison: | Aye |
| Chair Spino:     | Aye |

Motion passes.

3.2 **HDC 2019-22: MCG HOMES, AGENT FOR ROBERT & MELBA WHITAKER, 217 CENTRE STREET**

Certificate of Approval (COA) to remove and replace all second-floor windows; remove and replace aluminum awning with fabric awning. (*Quasi-Judicial*)

Jeff Whitaker presented information and details specific to the request.

**ACTION TAKEN:** A motion was made by Member Morrison, seconded by Member Pozzetta, to approve HDC case number 2019-22 with the conditions that 1) Windows be repaired as per survey, restoring the originals where possible and building new custom sashes where recommended; 2. Metal awning to remain as-is; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-22, with conditions, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

3.3 **HDC 2019-23: ALEX & CATHLEEN SEEFRIED, BLOCK 7 LOT 7 LADIES STREET (OLD TOWN)**

Amendment to previously approved COA to construct a two-story primary structure. (*Quasi-Judicial*)

Alex Seefried, the applicant, provided information and details specific to the request.

**ACTION TAKEN:** A motion was made by Member Pozzetta, seconded by Member Morrison, to approve this amendment to HDC case number 2019-23 with the condition that the stair on all facades match detailing of upper porches; AND that the HDC make the following findings of fact and conclusions of law part of the record: Amendments to HDC case 2019-23, with condition, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

4. **NEW BUSINESS**

4.1 **HDC 2019-29: ALEX & CATHLEEN SEEFRIED, BLOCK 7 LOT 7 LADIES STREET (OLD TOWN)**

Certificate of Approval (COA) to construct a two story accessory structure. *(Quasi-Judicial)*

**ACTION TAKEN:** A motion was made by Member Morrison, seconded by Member Pozzetta, to approve HDC case number 2019-29 with the condition that exterior siding be vertical board and batten; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-29, with condition, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

**Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4.2 **HDC 2019-30: ERIC MIKLAS, LOT 8 BLOCK 3 GARDEN STREET**  
Certificate of Approval (COA) to construct a single family home. *(Quasi-Judicial)*

Eric Miklas, 29 Oak Point Dr, the applicant, provided information and details specific to the request.

**ACTION TAKEN:** A motion was made by Member Harrison, seconded by Member Morrison, to conceptually approve HDC case number 2019-30 with the condition that muntins be exterior; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-30, with condition, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant conceptual approval at this time.

**Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

The motion incorrectly stated approval as conceptual.

A motion was made by Member Harrison, seconded by Member Morrison, to reconsider.

Motion to reopen the case to reconsider passed by unanimous voice vote.

**ACTION TAKEN:** A motion was made by Member Harrison, seconded by Member Pozzetta, to approve HDC case number 2019-30 with the condition that muntins be exterior; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-30, with condition, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

**Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4.3 **HDC 2019-31: JOEL MIKLAS, LOT 10 BLOCK 3 GARDEN STREET**  
Certificate of Approval (COA) to construct a single family home. *(Quasi-Judicial)*

Joel Miklas, 1917 San Marco Blvd, the applicant, provided information and details specific to the request.

Jennifer Harrison, 820 Someruelus St, was opposed to two new driveways being side by side.

**ACTION TAKEN:** A motion was made by Member Erickson, seconded by Member Harrison, to approve HDC case number 2019-31 with the conditions that the muntins be exterior and the driveway be curved in such a way as to protect and preserve the 15 inch oak tree and provide a space for a buffer with plantings; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-31, with conditions, is substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

**Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4.4 **HDC 2019-32: CITY OF FERNANDINA BEACH, AGENT FOR AMELIA ISLAND MUSEUM OF HISTORY, 233 S 3RD ST, BLOCK 273 LOTS 15 TO 21**

Downtown Historic District Boundary Expansion to include the Nassau County Jail/Amelia Island Museum of History (*Quasi-Judicial*)

Bill Tilson, 95052 Summer Crossing, spoke in support of the request.

**ACTION TAKEN: A motion was made by Member Morrison, seconded by Member Harrison, to approve HDC case number 2019-32 without conditions; AND that the HDC make the following findings of fact and conclusions of law part of the record: That HDC case 2019-32, as presented, is compliant with the Comprehensive Plan and the Land Development Code to warrant approval at this time.**

**Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.**

4.5 **Presentation by Morgan Waas, Planning & Conservation Intern: Queen Anne and Folk Architecture in Downtown Fernandina**

Ms. Waas presented.

5. **STAFF APPROVED CERTIFICATE OF APPROVALS**

5.1 **July Staff Approvals**

There were no comments or questions regarding July staff approvals.

6. **BOARD BUSINESS**

6.1 **Reappointment: Enrique Escalante**

Chair Spino announced Mr. Escalante's immediate resignation from the HDC and reminded the Board that this meeting will be Mr. Erickson's last, as his resignation is effective September 1.

Board procedures were discussed.

The Board unanimously agreed to forward the recommendation to the City Commission, to seat Ms. Conway as a regular voting member and reappoint her to a three year term.

7. **STAFF REPORT**

7.1 **Memo: Staff Recommendations Related to Old Town**

7.2 **Summary of Recommended LDC Changes**

7.3 **Recommended LDC Changes CH. 6**

7.4 **Recommended LDC Changes CH. 8**

7.5 **Mechanical Screening Discussion**

7.6 **HDC Certificate of Approval Application Update**

8. **PUBLIC COMMENT**

**DRAFT**

Jennifer Harrison, 820 Someruelus Street, spoke in support of allowing the rental of accessory dwelling units in Old Town.

Alex Seefried, spoke to the mid lot corridor indicator.

Bill Kavanaugh, 112 N 6<sup>th</sup> Street, spoke to Old Town roads.

**9. ADJOURNMENT – 8:31 PM**

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**Samantha Rogic, Recording Secretary**

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**Michael Spino, Chair**



**HISTORIC DISTRICT COUNCIL STAFF REPORT  
HDC 2017- 03 AMENDMENT  
SEPTEMBER 19, 2019**

|                                   |                                                                  |
|-----------------------------------|------------------------------------------------------------------|
| <b>Owner/Applicant:</b>           | Artisan Homes LLC                                                |
| <b>Property Address:</b>          | 247 Beech Street                                                 |
| <b>Parcel ID #:</b>               | 00-00-31-1800-0270-0180                                          |
| <b>Current zoning:</b>            | MU-1                                                             |
| <b>FLUM land use category:</b>    | Mixed Use                                                        |
| <b>Existing uses on the site:</b> | Vacant                                                           |
| <b>FL Master Site File #</b>      | N/A                                                              |
| <b>Year Built:</b>                | N/A                                                              |
| <b>Contributing Status:</b>       | Non-Contributing                                                 |
| <b>Requested action:</b>          | Amendment to a previously approved COA to alter brick detailing. |

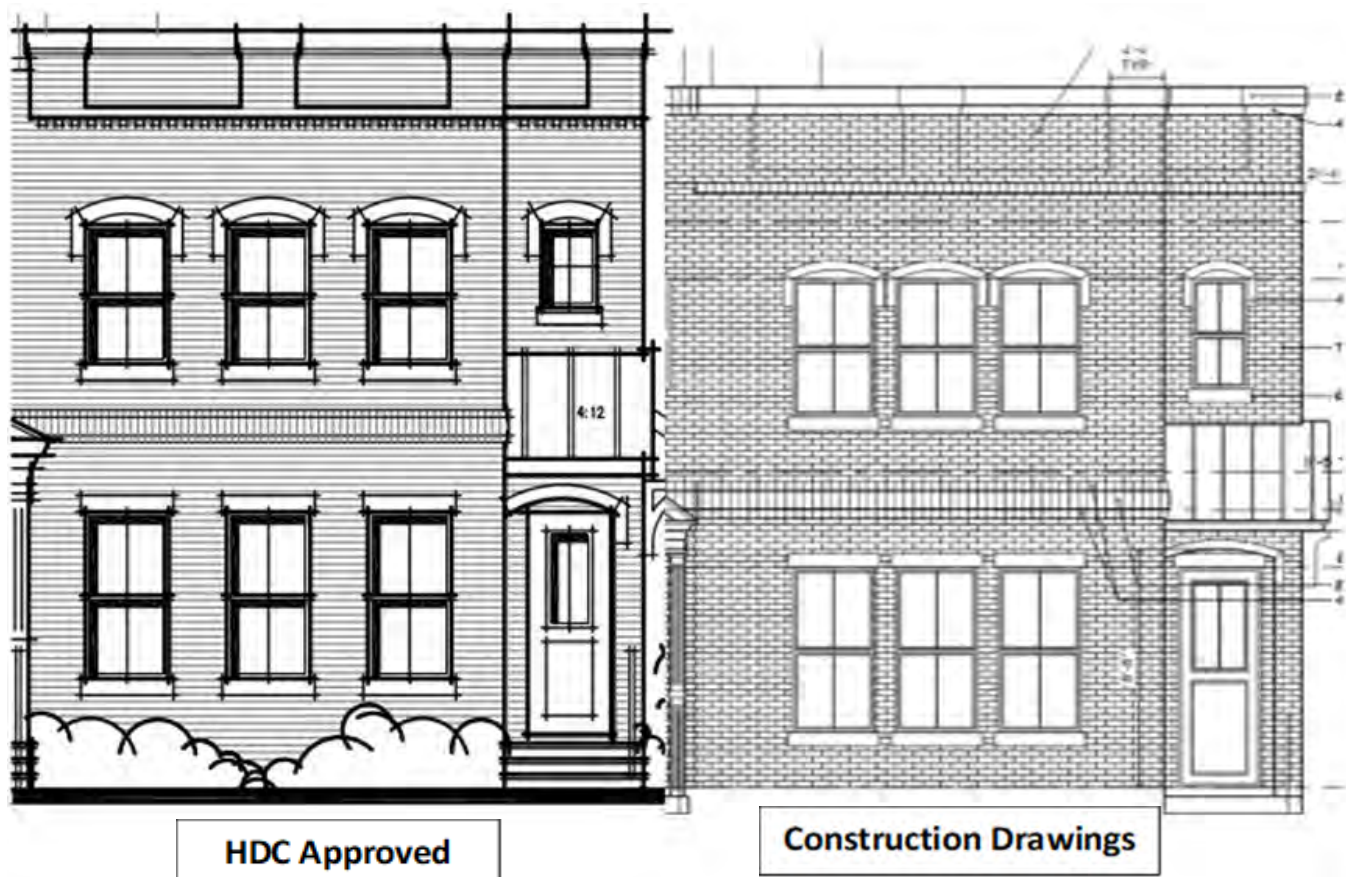
All required application materials have been received. All fees have been paid. All required notices have been made.



**Proposed Façade**



**Current/Proposed**



## SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

HDC 2017-03 received final approval and was issued a COA for the construction of 22 two-story townhomes on April 20, 2017.

The applicant now seeks an amendment to allow for an after the fact alteration to the brick detailing on unit 14.



## APPLICABLE GUIDELINES:

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### Secretary of the Interior's Standards for Rehabilitation

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**  
Findings: *Complies* ☒ *Does not Comply* ☐ *N/A* ☐
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒

### CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE

#### 8.01.01.01 Standards for Development in the Historic District Overlays

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

from the U.S. Secretary of Interior.

- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.
- D. The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:
  - 1. Scale, including height and width;
  - 2. Setbacks;
  - 3. Orientation and site coverage;
  - 4. Alignment, rhythm, and spacing of buildings;
  - 5. Form and detail, considering the link between old and new buildings;
  - 6. Maintaining materials within the district or on the landmark site;
  - 7. Maintaining quality within the district or on the landmark site;
  - 8. Facade proportions and window patterns;
  - 9. Entrances and porch projections;
  - 10. Roof forms; and
  - 11. Horizontal, vertical, or non-directional emphasis.
- E. Fences proposed within designated historic districts shall be compatible with the historic style and character of the district, shall not be vinyl, and shall require a certificate of appropriateness, as set forth in Chapter 11.

#### **8.02.02 Historic District Council Roles and Responsibilities**

The HDC shall have the duty and responsibility to:

- C. Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.

#### **CITY OF FERNANDINA BEACH DOWNTOWN HISTORIC DISTRICT DESIGN GUIDELINES: GUIDELINES FOR NEW CONSTRUCTION**

The protection of the historic and architectural resources of the district includes new construction and requires compatible new buildings to respect visual and historic characteristics. New construction of primary buildings should maintain the existing historic pattern of a neighborhood in terms of characteristics such as setback, distance between homes, scale, materials, and colors.

- 1. New buildings should be compatible with adjacent buildings in terms of height.
- 2. New buildings should be compatible with adjacent buildings in terms of materials.
- 3. New buildings should be compatible with adjacent buildings in terms of setback.
- 4. New buildings should be compatible with adjacent buildings in terms of width, scale, and proportions.

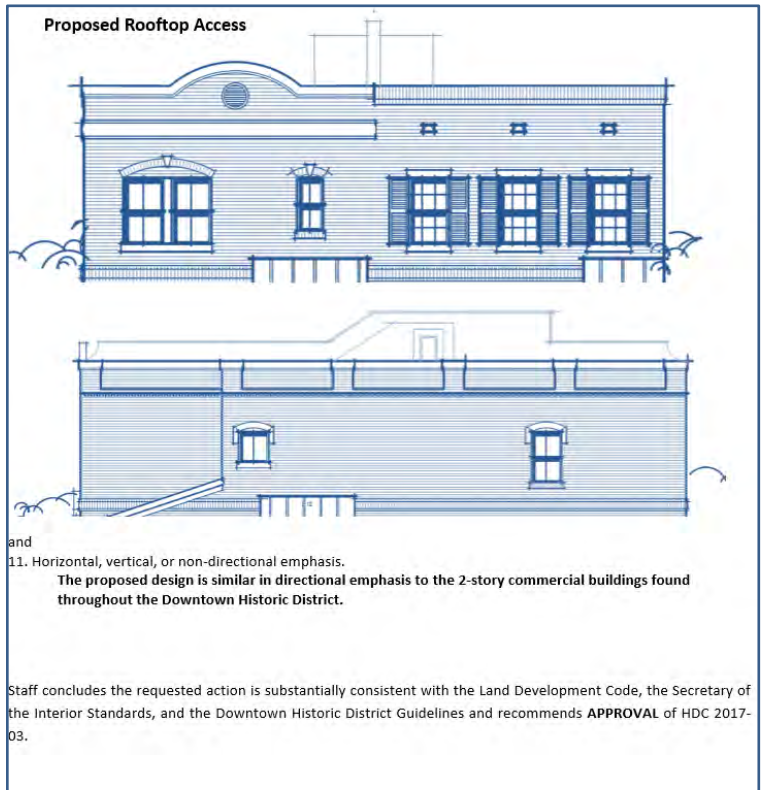
5. New buildings should be compatible with adjacent buildings in terms of roof form.
6. New construction should be oriented toward the major street.
7. New construction should have raised foundations.

## ANALYSIS:

In the Staff Report dated April 20, 2017, Staff analyzed the architectural detailing and emphasized the fact that, “The proposed townhomes take many design cues from the commercial architecture seen in the downtown area,” and “The proposed design is similar in directional emphasis to the 2-story commercial buildings found throughout the Downtown Historic District.” This assessment fulfilled LDC 8.01.01.01 (D), and Staff recommended final approval.



(218 Centre Street)



(HDC 2017-03, Staff Report. Page 9, April 20, 2017)

5. Form and detail, considering the link between old and new buildings;  
**The proposed townhomes take many design cues from the commercial architecture seen in the downtown area. Features like the flat roof with parapet, brick facades and beltcourses, 6/6 and 2/2 windows, and shutters are all details that link this design to historic buildings in the area.**

(HDC 2017-03, Staff Report, Page 7, April 20, 2017)

The application for amendment was submitted after the fact, to rectify the façade at 247 Beech Street (building 14), which is the result of a discrepancy between engineering and architecture. Staff notes buildings 3 and 18 share the same recessed brick detailing and may also require an amendment if they cannot be built according to the approved plans.



2nd St Streetscape



Beech St Streetscape



3rd St Streetscape

## STAFF RECOMMENDATION

Staff finds that the requested action, as presented, is consistent with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines.

Staff recommends:

Approval of Amendment to HDC 2017-03

## MOTION TO CONSIDER:

I move to **approve or deny** amendment to HDC case number 2017-03 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That amendment to HDC case 2017-03, as presented, **is or is not** substantially compliant with the Land Development Code, the Downtown Historic District Guidelines, and the Secretary of the Interior's Standards to warrant approval at this time.

## **LIST OF EXHIBITS:**

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**EXHIBIT 1      HDC 2017-03 Amendment Application and Backup Materials**

**EXHIBIT 2      Pages from HDC 2017-03 Agenda Packet**

Respectfully Submitted,



**Samantha N. Rogic**  
**Planning Technician**



## APPLICATION FOR HISTORIC DISTRICT COUNCIL COA

**REVISION**

|                                            |            |
|--------------------------------------------|------------|
| OFFICE USE ONLY                            |            |
| REC'D: _____                               | BY: _____  |
| PAYMENT: \$ _____                          | TYPE _____ |
| APPLICATION #: _____                       |            |
| HDC CASE #: _____                          |            |
| APPLICATION COMPLETE: Y _____ N _____      |            |
| PRE-CONFERENCE: Y _____ N _____ DATE _____ |            |

|                            |
|----------------------------|
| BOARD MEETING DATE: _____  |
| PLANNER: _____ DATE: _____ |
| ____ APPROVED ____ DENIED  |

|                                                                                                                                           |                                         |                                                                                        |
|-------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|----------------------------------------------------------------------------------------|
| <b>APPROVAL TYPE:</b>                                                                                                                     | <input type="checkbox"/> Staff Approval | <input checked="" type="checkbox"/> Board Approval: Conceptual _____ or Final <u>X</u> |
| <b>PROJECT TYPE:</b>                                                                                                                      |                                         |                                                                                        |
| <input type="checkbox"/> New Construction                                                                                                 | <input type="checkbox"/> Addition       | <input type="checkbox"/> Alteration                                                    |
| <input type="checkbox"/> Relocation                                                                                                       | <input type="checkbox"/> Demolition     | <input type="checkbox"/> Variance                                                      |
| <input type="checkbox"/> Repair                                                                                                           | <input type="checkbox"/> Paint          | <input type="checkbox"/> Fence                                                         |
| <input type="checkbox"/> Sign                                                                                                             | <input type="checkbox"/> Re-roof        | <input type="checkbox"/> Other: _____                                                  |
| <b>PROPERTY INFORMATION</b> <i>Property information can be found at the Nassau County Property Appraiser's Website → Map Search</i>       |                                         |                                                                                        |
| Street Address: <u>247 Beech St.</u>                                                                                                      |                                         |                                                                                        |
| Historic District: <input checked="" type="checkbox"/> Downtown <input type="checkbox"/> Old Town <input type="checkbox"/> CRA Waterfront |                                         |                                                                                        |
| Parcel Identification Number(s): <u>00-00-31-1800-0270-0180</u>                                                                           |                                         |                                                                                        |
| Zoning District: <u>MU 1 - Mixed Use</u> Lot / Block Number (optional) <u>Lot 18, Unit # 14</u>                                           |                                         |                                                                                        |

### PROJECT DESCRIPTION

| Owner of Record                        | As recorded with the Nassau County Property Appraiser |
|----------------------------------------|-------------------------------------------------------|
| Owner(s) Name                          |                                                       |
| Corporation or Company (if applicable) |                                                       |
| <u>Artisan Homes</u>                   |                                                       |
| Street Address                         |                                                       |
| <u>10365 Hood Rd. Ste. 208</u>         |                                                       |
| City State Zip                         |                                                       |
| <u>Jacksonville, FL 32257</u>          |                                                       |
| Telephone Number                       |                                                       |
| <u>904-429-4800</u>                    |                                                       |
| Email Address                          |                                                       |
| <u>sara@artisanhomebuilder.com</u>     |                                                       |

| Applicant or Agent                     | If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included |
|----------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|
| Applicant Name                         |                                                                                                                                          |
| <u>Tim Ritch</u>                       |                                                                                                                                          |
| Corporation or Company (if applicable) |                                                                                                                                          |
| <u>Artisan Homes</u>                   |                                                                                                                                          |
| Street Address                         |                                                                                                                                          |
| <u>10365 Hood Rd. Ste. 208</u>         |                                                                                                                                          |
| City State Zip                         |                                                                                                                                          |
| <u>Jacksonville, FL 32257</u>          |                                                                                                                                          |
| Telephone Number                       |                                                                                                                                          |
| <u>904-429-4800 ext. 4</u>             |                                                                                                                                          |
| Email Address                          |                                                                                                                                          |
| <u>sara@artisanhomebuilder.com</u>     |                                                                                                                                          |

**Part 1. Describe The Existing Conditions and Materials.** Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

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**Part 2. Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

**Revisions:**

**New brick detail on second floor, see attached photos and plans.**

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List proposed materials and colors, as applicable (use additional sheet if necessary):

| Project Scope       | Manufacturer | Product Description | FL Product Approval # | Color (Name/Number) |
|---------------------|--------------|---------------------|-----------------------|---------------------|
| Exterior Fabric     |              |                     |                       |                     |
| Doors               |              |                     |                       |                     |
| Windows             |              |                     |                       |                     |
| Roofing             |              |                     |                       |                     |
| Fascia/Trim         |              |                     |                       |                     |
| Foundation          |              |                     |                       |                     |
| Shutters            |              |                     |                       |                     |
| Porch/Deck          |              |                     |                       |                     |
| Fencing             |              |                     |                       |                     |
| Driveways/Sidewalks |              |                     |                       |                     |
| Signage             |              |                     |                       |                     |
| Other               |              |                     |                       |                     |

**Please submit all product brochures, paint color samples, and material samples with your application.**

## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic District Council meeting.
5. I/We understand that the Historic District Council meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic District Council member).
6. I/We understand that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HDC may be appealed to the City Commission, with the exception of variances, which may be appealed to a court of record as outlined in Section 10.02.04(D) of the Land Development Code. Petitions to appeal shall be presented within thirty (30) days after the decision of the HDC; otherwise the decision of the HDC will be final.
9. I/We understand that Certificates of Approval are only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.

5/1/19

Date

Signature of Applicant

STATE OF FLORIDA

COUNTY OF DUVAL <sup>SS</sup>

Subscribed and sworn to before me this 1 day of 5, 2019

Notary Public: Signature

Printed Name

My Commission Expires

Personally Known ☒ OR Produced Identification ☐ ID Produced: ☐

City of Fernandina Beach Community Development Department - 204 Ash Street Fernandina Beach, FL 32034

P: 904.310.3135 - Email: [cddinfo@fbfl.org](mailto:cddinfo@fbfl.org) - [www.fbfl.us/cdd](http://www.fbfl.us/cdd)

Revised January 2018

Page 9 of 8

**From:** Salvatore Cumella  
**To:** Samantha Boag  
**Subject:** FW: 247 Beech St.  
**Date:** Tuesday, August 13, 2019 7:36:22 PM  
**Attachments:** image001.png  
image002.png  
image003.png  
HV DesignEvolution.pdf  
Plans from HDC 2017-03 Agenda Packet.pdf  
HV 14 - HDC App Revised 8.13.19.pdf  
**Importance:** High

---

Sam,  
Please get this processed as an amendment to go to September meeting.  
Thanks,  
-Sal

**Salvatore J. Cumella**  
Historic Preservation Planner  
City of Fernandina Beach  
204 Ash Street  
Fernandina Beach, FL 32034  
Direct Line 904.310.3483 **\*\*NEW PHONE NUMBERS\*\***  
Main Line 904.310.3480  
[SCumella@fbfl.city](mailto:SCumella@fbfl.city)  
[www.fbfl.us/HistoricDistricts](http://www.fbfl.us/HistoricDistricts)



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**From:** sara@artisanhomebuilder.com <sara@artisanhomebuilder.com>  
**Sent:** Tuesday, August 13, 2019 11:36 AM  
**To:** Salvatore Cumella <scumella@fbfl.org>  
**Cc:** Sylvie McCann <smccann@fbfl.org>  
**Subject:** RE: 247 Beech St.  
**Importance:** High

Sal,

Please see attached application for amendment. Can you please add us to next month's meeting. The design changed a little, I was not aware they already started a correction and had the brick replaced in hours. But yet, we can't seem to get shutters in. Can you please call me discuss the CO's 465-1935.

Thank you,  
Sara Johanns  
Project Coordinator  
*Artisan Homes LLC*

---

**From:** Salvatore Cumella <[scumella@fbfl.org](mailto:scumella@fbfl.org)>  
**Sent:** Wednesday, August 7, 2019 12:23 PM  
**To:** [sara@artisanhomebuilder.com](mailto:sara@artisanhomebuilder.com)  
**Cc:** Larry Raulerson <[larry@artisanhomebuilder.com](mailto:larry@artisanhomebuilder.com)>  
**Subject:** RE: 247 Beech St.

Hi Sara.

I think that is a very good solution you are proposing that achieves the level of architectural detail as in the original, but overcomes the engineering issues. It will have to be a board amendment to the plans though. You will need to apply for an [amendment to the COA](#) at the September HDC meeting, as the legally required public notice period has already begun for the August meeting. Please fill out an application and indicate what COA number it is an amendment to. Include all of the original plans plus the proposed plans. There will not be any fees required for this amendment.

Thanks,  
-Sal

**Salvatore J. Cumella**  
Historic Preservation Planner  
City of Fernandina Beach  
204 Ash Street  
Fernandina Beach, FL 32034  
Direct Line 904.310.3483 **\*\*NEW PHONE NUMBERS\*\***  
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---

**From:** [sara@artisanhomebuilder.com](mailto:sara@artisanhomebuilder.com) <[sara@artisanhomebuilder.com](mailto:sara@artisanhomebuilder.com)>  
**Sent:** Wednesday, August 7, 2019 12:12 PM

To: Salvatore Cumella <[scumella@ftfl.org](mailto:scumella@ftfl.org)>  
Cc: Larry Raulerson <[larry@artisanhomebuilder.com](mailto:larry@artisanhomebuilder.com)>  
Subject: 247 Beech St.

Hi Sal,

After researching the façade at unit 14 I have come to the following conclusion. I think between not being able to conventional wood frame the units and having to do concrete block with thin brick there was a lapse between design, architecture and engineering. In the early rendering it was protruding brick feature. With the change in construction it was then a recess brick feature which just doesn't work with engineering of the flat roofs and drainage. These units are already prone to water intrusion with the flat roof that cutting a recess into our waterproof membrane would be problematic. Please let us know how we can maintain the architectural integrity without compromising the building envelope. I have discussed this with our team and believe we can duplicate the brick detail above the first floor above the second floor as well to add architectural detail without comprising the building envelope. I have done a quick rendering and design outline. Please review and let us know your thoughts. I see there is a HDC meeting next week, if we need to bring this matter to the board can we please be added to the agenda and I will send in all necessary paperwork.



Proposed Facade

Current

HDC approved

Construction drawings

Thank you,  
Sara Johanns  
Project Coordinator  
Artisan Homes LLC  
10365 Hood Rd South, Suite 208  
Jacksonville, FL 32257  
(904) 429-4800 Ext. 4  
[www.artisanhomebuilder.com](http://www.artisanhomebuilder.com)  
CBC1253969 CCC1328754



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## ANALYSIS:





Beech St Streetscape



2nd St Streetscape



3rd St Streetscape

Staff has reviewed the final plans and finds the proposed design appropriate for this site. An analysis of the proposal is provided below. **(Staff comments in Bold)**

1. Scale, including height and width;

**The proposed buildings are approximately 29' in height. The maximum allowable height per LDC 4.02.03(E) is 35'. The rooftop access stairs, fire separation wall, and parapet are considered appurtenances that shall not be included in the height calculation of the structure per LDC 4.02.03(C)2. The proposed new construction is compatible in scale (height and width) with the two-story buildings common throughout the Downtown Historic District.**



2. Setbacks;

**While the MU-1 zoning district allows for zero setback of primary structures, it still requires a 3' side yard setback for accessory structures. To allow the accessory structures to align with the primary structures, the applicant has received a variance from this section of the code through HDC 2017-02.**

**Corner lots in MU-1 zoning districts are required to have a 10' side yard setback along the secondary frontage. Applicant was granted a variance to reduce the setback to 5' on the northwest corner of Beech Street and 3<sup>rd</sup> Street through HDC 2017-02.**

3. Orientation and site coverage;

**Per LDC 4.02.01(J), the maximum impervious surface ratio for lots is 75% of the total surface area. This proposed development has an impervious surface ratio of 71.2%.**

4. Alignment, rhythm, and spacing of buildings;

**During conceptual review, the HDC requested that the massing of the buildings be addressed. Specifically the front elevations that were all set in the same plane. The buildings fronting S. 2nd Street and S. 3rd Street have been staggered by two feet in order to emphasize the articulation of the buildings (figure 1). This was further emphasized by certain end units having entrances that are stepped back from the main façade.**

5. Form and detail, considering the link between old and new buildings;

**The proposed townhomes take many design cues from the commercial architecture seen in the downtown area. Features like the flat roof with parapet, brick facades and beltcourses, 6/6 and 2/2 windows, and shutters are all details that link this design to historic buildings in the area.**

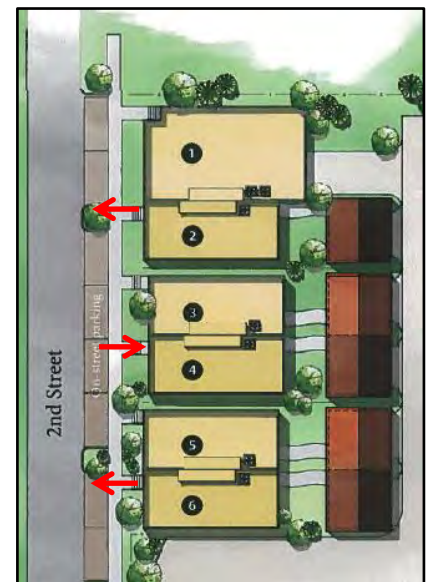


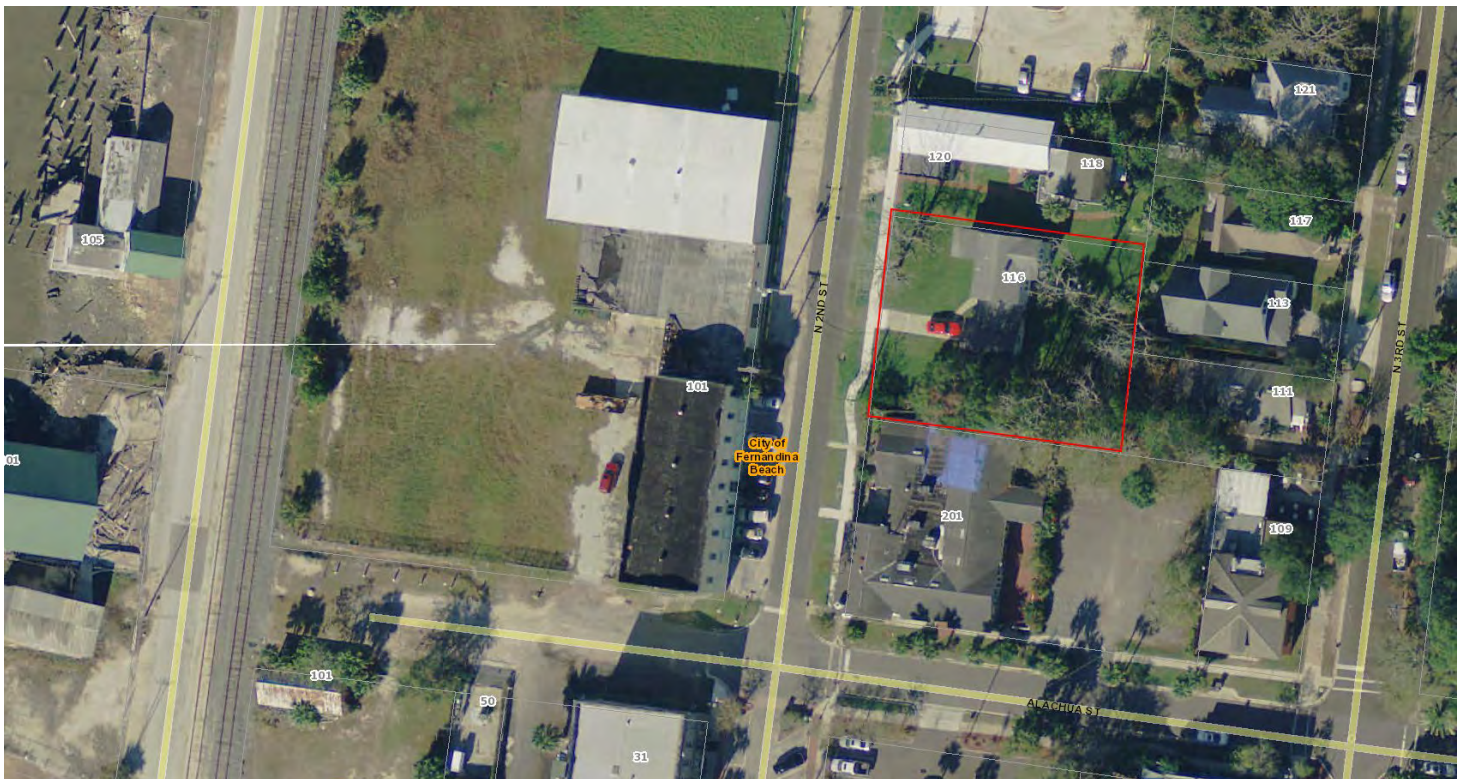
Figure 1



**HISTORIC DISTRICT COUNCIL STAFF REPORT**  
**HDC 2019-09**  
**SEPTEMBER 19, 2019**

|                                   |                                                                                                                |                           |     |        |                            |
|-----------------------------------|----------------------------------------------------------------------------------------------------------------|---------------------------|-----|--------|----------------------------|
| <b>Owner/Applicant:</b>           | CMR Island Properties, LLC, agent for Beverly Freeman Crews, James K. Freeman, George T. & Angela Karen Morgan |                           |     |        |                            |
| <b>Property Address:</b>          | 116 N. 2 <sup>nd</sup> Street                                                                                  |                           |     |        |                            |
| <b>Requested action:</b>          | Certificate of Approval (COA) to construct four, two-story mixed-use townhomes                                 |                           |     |        |                            |
| <b>Current zoning:</b>            | C-3 Central Business District                                                                                  |                           |     |        |                            |
| <b>FLUM land use category:</b>    | Central Business District                                                                                      |                           |     |        |                            |
| <b>Existing uses on the site:</b> | Residential                                                                                                    |                           |     |        |                            |
| <b>FL Master Site File #</b>      | 8NA01186                                                                                                       |                           |     |        |                            |
| <b>Year Built:</b>                | 1940 (NCPA)                                                                                                    |                           |     |        |                            |
| <b>Contributing Status:</b>       | N/A                                                                                                            |                           |     |        |                            |
| <b>Adjacent Properties:</b>       | North                                                                                                          | Mixed Use                 | C-3 |        |                            |
|                                   | South                                                                                                          | Vacant                    | C-3 |        |                            |
|                                   | East                                                                                                           | Single-Family Residential | R-2 |        |                            |
|                                   | West                                                                                                           | Commercial (vacant)       | C-3 | c.1882 | "C.H.Huot's 1882 Building" |

All required application materials have been received. All fees have been paid. All required notices have been made.





## **SUMMARY OF REQUEST AND BACKGROUND INFORMATION:**

---

This parcel (00-00-31-1800-0009-0020) was rezoned/reFLUMed to C-3/Central Business District at the City Commission's March 5, 2019 regular meeting.

May 23, 2019 - The applicant was granted a Conceptual Certificate of Approval (COA) to construct four, two-story mixed-use townhomes, and a COA for Demolition of the previous structure on this site (HDC 2019-08).

The applicant is seeking to provide a progress update to the board for feedback before a final submission.

## **APPLICABLE GUIDELINES:**

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### **CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE**

#### **2.01.13 Central Business District (C-3)**

The C-3 District is intended for the development of land uses within the central business district as the City's center for residential, financial, commercial, governmental, professional, and cultural activities. The Central Business District category is designed to accommodate as permissible uses single-family or duplex dwelling units and uses permissible subject to supplemental standards triplex and multi-family dwelling units. These uses may be either freestanding or in mixed use structures; offices; commercial retail; personal services establishments; restaurants; transient accommodations; commercial parking facilities; civic uses; and cultural uses.

#### **4.02.06 Specific Standards for Townhouse Development**

- A. Townhouse development shall comply with the density of the zoning district in which it is proposed. The additional standards set forth in this section shall apply to all townhouse development.
- B. Side yard setback requirements do not apply to interior lot lines.
- C. A townhouse is a single-family attached dwelling unit. It is contiguous to adjacent units by a common wall.
- D. There shall be at least two (2) but not more than six (6) units in one (1) building.
- E. Each townhouse dwelling unit shall have a direct entrance to the outside, and shall not open to a common lobby, hallway, foyer, or other similar space.
- F. Where all lots, parcels, and dwelling units are under common ownership, there shall be a management plan to demonstrate unified control and management of common areas and facilities.
- G. Where common open space, recreation facilities, or other accessory structures or facilities are proposed, sidewalks or pedestrian paths shall be provided to connect buildings, parking lots, open space, and common areas.

#### 7.01.04(A) Parking Space Requirements

| Type of Use or Activity                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Minimum Number of Spaces |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| Single-family dwellings                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 2 per unit <sup>2</sup>  |
| <b>Notes</b><br><sup>2</sup> Single-family dwellings within the CRA must provide two (2) spaces per dwelling unit on-site but are permitted the following exceptions: all units 1000 sq. ft or under are only required to provide one (1) space per dwelling unit on-site and all units 1,001- 1,250 sq. ft. are only required to provide one and one-half (1.5) spaces per dwelling unit on-site. Non-residential uses shall provide for parking per LDC section 4.03.03. |                          |

#### 8.01.02 Amelia River Waterfront Community Redevelopment Area

- A. Purpose It is the purpose of the CRA overlay to provide a broader mix of uses and compatible design with the downtown area in order to promote revitalization of the working waterfront and adjacent areas.
- B. The review of proposed development within the CRA Overlay shall be based upon compliance with the CRA Design Guidelines. Those properties within the CRA Overlay which are also located within the Downtown Historic District Overlay shall be reviewed for compliance with the Historic Preservation Design Guidelines, dated December 1999. All plans for development within the CRA Overlay shall be reviewed by the Historic District Council.
- C. Site design standards specified in the overlay supersede the requirements for the underlying zoning district. Specific site design requirements that are not covered by the overlay shall follow the standards of the underlying zoning district.
- D. Properties located within the CRA abutting the Amelia River Waterfront are subject to the following standards:
  - 1. All new construction that is a water dependent or water related use is exempt from Section 3.01.03(J) and Section 3.03.03(B) 1.
  - 2. Building height shall be measured from the Base Flood Elevation (BFE) to the top of the roof, rather than from the finished grade, as established in 4.02.03(C). The maximum height of all structures shall not exceed thirty (30) feet in height above the BFE. Permissible roof forms shall be in compliance with the adopted CRA Design Guidelines.
  - 3. Properties that have obtained the Waterfront Mixed Use Future Land Use designation are eligible for land uses in addition to those permitted in the Waterfront Industrial zoning and are specified in Tables 2.03.02 and 2.03.03. Floor area ratio shall not exceed 0.75. The floor area ratio shall be calculated based on the developable land area and shall include portions of the site which remain submerged. Residential units are permitted if the property has a FLUM category of WMU and the units are located above a non-residential use. Stand-alone residential units are prohibited.
  - 4. Developers of Office, Commercial, and/or Waterfront Industrial uses may pay a fee in lieu of providing the required parking, as established in Table 7.01.04(A). The fee shall be set annually by the City Commission and shall be based on the average cost of constructing a parking space in the City. The fee shall be a one-time payment, to be placed in a trust fund for downtown parking improvements which serve the CRA properties. Residential uses must provide two spaces per dwelling unit on-site, and are not eligible for the fee in lieu of providing parking.
  - 5. Front and rear yard setbacks are not required. In order to preserve view corridors and pedestrian access to the Amelia River, side yard setbacks and breaks between structures shall

be provided as follows:

a. View Corridors

1. A 15-foot side yard setback on each side yard is required for water lots located to the north of Centre Street (water lots 1 through 9). These locations provide for alignment with existing east-west rights-of-ways at Alachua, Broome and Calhoun Streets.
2. Water lots to the south of Centre Street (water lots 25 through 40) shall provide a 30-foot minimum view corridor between buildings.
3. These view corridors shall remain open to the sky and shall not include any parking areas, accessory structures or mechanical equipment.

b. Pedestrian Access

1. Publicly accessible pedestrian access to the water shall be integrated into the project's site design. These accessways shall provide a minimum width of ten (10) feet and shall occur at the view corridor locations. Access ways may vary in size and design as necessary to complement the overall project design. To encourage architectural variety and visual interest, certain encroachments and structural elements may be permitted within the accessways subject to compliance with the adopted CRA Design Guidelines. These accessways may be dedicated to public use through easements or dedication of right-of-way, or they may be retained under private ownership. In either case, these accessways shall remain open to and accessible by the public. If deemed necessary for security purposes, accessway closures may be permitted based on the posted operational hours of City beach access parking (exclusive of Main Beach or Seaside Parks).

E. Properties located within the CRA east of Front Street are subject to the following standards:

1. Facades up to thirty (30) feet in height shall have a front yard setback no more than ten (10) feet.
2. Facades up to forty-five (45) feet in height shall be recessed from the first thirty (30) feet of façade a minimum of ten (10) feet. Awnings, pergolas, or covered balconies may encroach into this setback, but shall not extend beyond the first thirty (30) feet of facade. Elements utilized to cover balconies shall not be a part of the main roof structure. Balcony enclosures (i.e., sun rooms, screened enclosures) shall be prohibited.
3. CRA properties located on the east side of North 2nd Street which share a property line with residentially-zoned, non-CRA properties shall meet the following standards:
  - a. Building height shall be limited to thirty-five (35) feet, including the parapet for flat roofed structures.
  - b. Buildings shall provide a front yard setback of no more than ten (10) feet. Facade elements above thirty (30) feet shall not be required to be recessed as provided in (2) above.
  - c. Non-residential and mixed-use projects shall provide a buffer along the shared property line which meets the requirements of a Buffer Type C as provided in Table 4.05.05(B).
  - d. All projects shall maintain a twenty (20) foot rear yard setback for principal structures.
4. Flat roofs are permitted but must provide a parapet up to 42 inches high in order to hide mechanical equipment.
5. Floor area ratio and density are established in the underlying zoning district.

6. Only one primary structure is permitted per lot of record.
7. Accessory structures must comply with the standards of the underlying zoning district as well as Section 5.01.00 of this LDC.
8. Side yard setbacks are not required.
9. Developers of Office, Retail, or other Commercial uses may pay a fee in lieu of providing the required parking, as established in Table 7.01.04(A.) The fee shall be set annually by the City commission and shall be based on the average cost of constructing a parking space in the City. The fee shall be a one-time payment, to be placed in a trust fund for downtown parking improvements which serve the CRA properties. Residential uses must provide one space per dwelling unit on-site, and are not eligible for the fee in lieu of providing parking. Parking is not permitted in the front yard, but is permitted in the side or rear yard. Parking is also permitted beneath structures.
10. CRA properties located east of Front Street which carry the Central Business District future land use designation/C-3 zoning, and are not within the Coastal High Hazard Area (CHHA) are eligible to participate in a Density Bonus Incentive Program as described in Section 4.01.02.

### **8.01.03 Signage in the Historic Districts and Community Redevelopment Area**

In an effort to protect the Historic District designations within the City of Fernandina Beach, the specific provisions in this article shall take precedence where conflicts arise in this sign code.

- A. Two (2) permanent on-site signs per business, are permissible, limited to projecting, wall, awning, or freestanding signs, and subject to the following standards:
  1. Signs shall not project more than five (5) feet from the face of the building;
  2. Projecting signs may project over sidewalk or pedestrian areas only at no less than seven and one half (7 ½) feet above sidewalk level;
  3. The top of a projecting sign shall be not more than sixteen (16) feet above the sidewalk level;
  4. A projecting sign shall not be closer than two (2) feet to a vertical line extending upward from the curb;
  5. A projecting sign shall not exceed twelve (12) square feet (ft<sup>2</sup>) in area.
  6. A wall sign may be horizontal or vertical and shall not exceed one square foot in area for each linear foot of business frontage, to a maximum of twenty-five (25) square feet . One side of the sign may be no more than two (2) feet in height or width.
  7. Awning sign lettering is limited to one square foot per linear foot of the awning or canopy, up to a maximum of ten (10) square feet.
  8. Freestanding, ground or pole signs are permissible only for properties with a minimum front or side yard setback of eight (8) feet. Freestanding, ground and pole signs are limited to a maximum of twenty (20) square feet in sign face area and six (6) feet in height.
- B. Permanent window lettering is permissible in addition to permanent signage and sandwich boards/easel signs shall not exceed an aggregate area equal to twenty-five percent (25%) of the glass area on which the signage is placed.
- C. Sandwich boards or easel signs are permissible in addition to window lettering and permanent signage and are subject to the following standards:
  1. Limited to one (1) sandwich board or easel sign per business;
  2. The sandwich board sign shall comply with standards set forth in 5.03.10(E), and shall not utilize

plastic or vinyl changeable copy.

3. Easels displaying signs may be no more than 4' 6" high and the sign face may not exceed 6 square feet. Top of sign may not project above top of easel or 4'6" above the ground.
4. The sign shall be placed between the store front and the edge of curb with a minimum five (5) feet of sidewalk left for pedestrian travel.
5. The sign shall require a Certificate of Approval and the approval of the Historic District Council.

D. Multi-Tenant Signs (reserved)

E. Side Street Business Location Signs, private under public control located within public rights of way at street intersections, are subject to the following:

1. Limited to one directional intersection (1) sign per business where a valid local business tax receipt has been obtained except as exempted by Florida Statute 205.192 and Municipal Code Section 74-92;
2. Must be located at the nearest intersection to the location of the business on existing directional intersection signage posts;
3. Side Street Business Location signs are allocated on a 1st come 1st served basis and may not exceed seven (7) signs located at existing signage posts;
4. Signs are limited to 5 inches tall by 28 inches wide (5"x28");
5. Signs are limited to a green background with white writing;
6. Must apply for a sign permit as set forth in 5.03.03; and
7. Must be removed when business ceases operation and/or closes.

F. Signs shall use stone, brick, wood, or metal, or modern materials that have the appearance of these materials. No plastic or vinyl shall be utilized to create the signs, with the exception of plastic or vinyl used for lettering or graphics on permanent, non-changeable copy signs.

G. All permanent signs affixed to private property shall require a Certificate of Approval and the approval of the Historic District Council, except for temporary special event signs, exempt signs, public directional or information signs, street number signs, and temporary signage placed on scaffolding during construction.

H. Wall graphics are prohibited in the Downtown Historic District. Legacy signs are permissible.

I. Signs shall be mounted in such a way to minimize damage to historic materials. On masonry buildings, bolts should extend through mortar joints and not through masonry units. On frame buildings, mounting brackets and bolts should be the minimal amount necessary to assure adherence to the surface and prevent excessive wood penetration. Signs shall not be placed upon a structure in any manner so as to disfigure or conceal any window opening, door or significant architectural feature or detail of any building, or in such a manner that requires changes to building materials.

J. External lighting of signs through gooseneck lamps is permitted.

K. In addition to signs prohibited within City limits as defined in LDC Section 5.03.05, the following signs are not permitted in the historic districts or CRA:

1. Signs with fluorescent or day-glow coloring.
2. Neon signs, or LED signs that mimic neon signs, over two (2) square feet in size.
3. Pixelated LED signs.
4. Internally lit signs.
5. Changeable copy signs with plastic or vinyl lettering or graphics, including sandwich board and easel signs.
6. Signs painted on or attached to trees, shrubbery, lamp posts, hydrants, traffic signs, stairways, benches, refuse containers, landscape planters, or telephone or utility poles.

### **1.5 Using the Guidelines for Project Planning**

All plans for development within the CRA Overlay shall be reviewed by the Historic District Council.

### **4.4 East of Front Street Design Area**

#### **Building Heights and Setbacks**

Properties located within the CRA east of Front Street are subject to the following standards:

##### *Guidelines*

1. Facades up to 30 feet in height shall have a maximum front yard setback of no more than 10 feet.
2. Facades up to 45 feet in height shall be recessed back from the first 30 feet of façade a minimum of 10 feet. Awnings, pergolas, or covered balconies may project into this setback, but shall not extend beyond the first 30 feet of the façade.

#### **Building Style**

Building styles for this area shall be compatible with the historic commercial downtown, particularly along Second Street. Although the architectural styles vary, the area is characterized by the following patterns of building:

1. Simple geometric forms and simple plans with all sides of the building being designed
2. Complexity achieved by assembly of simple shapes, modulating mass with insets or projections at entryways and corners or to denote entry and changes in function
3. The body of the buildings defined with brick, stone, or stucco over block construction
4. Expression of construction through careful masonry detailing, wood, metal or combination detailing around entries, openings in facades, and balconies
5. Simple roof forms, predominately flat and edged by a parapet, with breaks in the cornice line only to mark entryways, changes in function or important corners
6. Street level commercial feature greater areas of glass making the building appear lighter and more transparent. Awnings of treated fabric or metal may cover pedestrian spaces

#### **Awnings and Canopies**

Historic photographs of Fernandina reveal that awnings were used where needed to protect shop interiors from the sun, mostly on the south side of the street. Flat-roofed fixed canopies and awnings can be decorative as well as functional, and should be designed to complement the architecture. Today, as in the past, their greatest value is energy conservation through protection of spaces from unwanted heat gain. Over the last 100 years several types of awnings and canopies, such as retractable fabric awnings which roll or fold back toward the façade, stationary fabric awnings on a fixed pipe system, fixed canopies with sloping roofs and, less extensively, fixed canopies with flat roofs and railings (like small balconies) have been utilized in Fernandina. These designs are still appropriate for new construction in this design area:

##### *Guidelines*

1. The scale of the awning, i.e., height, length, depth, and overall bulk shall be compatible with the building storefront.
2. Awnings should fit within the storefront space and not cover side piers, lintels, or other important architectural elements of the structure.

3. The color of awnings should complement facade colors; solid colors or stripes are historically appropriate.
4. Awnings should project no more than 4 to 6 feet from the façade.
5. Awnings illuminated from behind are not acceptable as this illumination detracts from the overall character of the facade. Interior lighted awnings shall be permitted if the lighting system is encased or screened from view underneath.
6. Signage and graphics applied to awnings shall be reviewed for color, scale, and overall design compatibility. Large letter sizes and message areas shall not be permitted on awnings.

*Avoid*

1. Awnings made of reflective, high-gloss, brightly colored materials.
2. Awning that cover distinctive architectural features of the building.
3. Awnings with a curved profile (A curved form maybe acceptable if directly related to a key architectural element such as seen in the rounded corner awning in fig 4.60).

**Enclosing a setback space**

Enclosing a setback space on the upper floor of a structure is an acceptable option to allow for control of sun, wind, privacy, and to introduce visual variety along the street. These spaces are also referred to as “loggias” or “porches.”

*Guidelines*

1. These spaces shall be non-air-conditioned areas designed to adapt to the varying climatic conditions of Fernandina.

**5.1 PARKING**

**General**

New private projects which add residential and retail, along with improvement of the CRA, will increase demand for vehicular access and space devoted to vehicles. At the same time, giving over current parking space along the river to public pedestrian activities will require a strategic analysis of parking relocation and additional facilities to maintain the demands of a working waterfront.

**Pervious Surfaces**

The City desires to reduce storm water run-off and water pollution, and to allow for the replenishment of groundwater. For parking areas, the goal is to reduce the amount of run-off generating surface area. Therefore, pervious surfaces for parking and maneuvering areas shall be provided in all CRA Design Areas.

*Guidelines*

Acceptable permeable surfaces include:

1. Pervious concrete
2. Pervious pavers
3. Gravel, bark or grass when reinforced to provide adequate load-bearing requirements (including prefabricated geotechnical structures shown in figs. 5.12, 5.13)
4. Other permeable surfaces may be approved by Staff as more effective technology evolves. Applicants shall provide documentation and research support for submissions. (Note: Approval of pervious surface constructions may require separate approval from the St. Johns River Water Management District).

## ANALYSIS:

| PROPOSED MATERIALS   |                                   |       |
|----------------------|-----------------------------------|-------|
|                      | Type/Material/Brand               | Color |
| Exterior Fabric      | stucco                            |       |
| Doors                | Information Not Provided          |       |
| Windows              | Vinyl, arched top                 |       |
| Roofing              | Information Not Provided          |       |
| Fascia/Trim          | stucco                            |       |
| Foundation           | Elevated slab                     |       |
| Shutters             | N/A                               |       |
| Porch/Deck           | N/A                               |       |
| Fencing              | N/A                               |       |
| Driveways/ Sidewalks | Material information not provided |       |
| Signage              | Information Not Provided          |       |
| Other                |                                   |       |

### Site Plan –

- **Housing Type** –Townhomes are permissible housing types in the C-3 zoning district.
- **Lot Density** – The maximum gross density in the C-3 zoning district is 34 dwelling units per acre. These 25' lots support the proposed 1 dwelling unit per lot.
- **Mechanical** – Per LDC 4.02.03(A)7, "*Mechanical equipment may be located within the side or rear yard setback, but not closer than five (5) feet to side or rear yard lot lines.*" Mechanical location is indicated to be located on the rooftop.
- **Setbacks** – The proposed front yard setback is 5', which is within the maximum permissible front yard setback of no more than 10 feet. Side-yard setbacks are not required, but a 5' side setback is being proposed at the north and south elevations. The principal structure must maintain a 20' rear yard setback and is appropriately sited, with a rear setback of 45'.
- **Buffers** - Non-residential and mixed-use projects shall provide a buffer along the shared property line which meets the requirements of a Buffer Type C as provided in Table 4.05.05(B). The proposed plan is showing the required 15' buffer in place.
- **Parking** – Parking will be provided in garages at the rear of the structure. Parking material is to be pervious per section 5.1 of the CRA Design Guidelines.
- **Driveway** - The proposed site plan shows the driveway as 12' in width. The driveway is required to be a minimum of 12' in width per LDC 7.01.01(E).
- **Sidewalks** – Sidewalks are shown on the proposed plan, as required per LDC 7.01.03.
- **Trash** - A trash dumpster or location to store roll-off trash carts will need to be shown on the site plan to accommodate trash disposal. It will need to be appropriately screened.
- **Impervious surface ratio** – Not provided.

### Elevations –

- **Scale** – the building is appropriately scaled in accordance with the CRA Design Guidelines.
- **Massing** – the four units are divided among two buildings. Staff recommends more articulation at the front elevation to lessen the massing of the proposed structure. One way to lessen the visual massing would be to offset the individual units. Additional details such as shutters, awnings, or porches, would also help to break up the massing.
- **Height** – Building height is proposed to be 33’ 2”. Maximum building height shall be limited to thirty-five (35) feet, including the parapet for flat roofed structures.
- **Materials** –. Quality of materials will be very important to this project to achieve the goals of the CRA guidelines, which require *“expression of construction through careful masonry detailing, wood, metal or combination detailing around entries, openings in facades, and balconies”* (section 4 page 45). More information about the type of stucco to be used should be provided for final approval to ensure the quality of materials and expression of construction.
- **Foundation** – Foundation to be slab elevated 3’ 4” constructed of CMU. Exterior of foundation to be finished to match stucco on walls.
- **Windows** – Window are noted as vinyl w/ arched tops.
- **Doors** – Door information not provided.

## STAFF RECOMMENDATION:

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Although the project appears to meet many of the setback requirements, the project needs to better reflect the CRA design guidelines from a design and material standpoint as outlined in section 4.1 of the CRA Design Guidelines.

Other issues, such as parking lot material, fire separations, and stormwater drainage, may require changes to the proposed site plan. The applicant will need to demonstrate that these issues have been adequately addressed before final HDC approval can be granted.

A local development order is required for site plan approval of this project per Land Development Code section 11.00.02. The Technical Review Committee (TRC) is the review body assigned by the City Manager to provide compliance reports for site plans, per LDC 9.05.03.

### Staff recommends:

#### APPROVAL of HDC 2019-09 with the conditions:

1. Applicant apply for and receive at least one round of review notes from the Technical Review Committee (TRC) before resubmitting to the Historic District Council.

## MOTION TO CONSIDER:

---

I move to **approve or deny** HDC case number 2019-09 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2019-09, as presented, **is or is not** substantially compliant with the Land Development Code, and the Waterfront Community Redevelopment Area Guidelines to warrant conceptual approval at this time.

## LIST OF EXHIBITS:

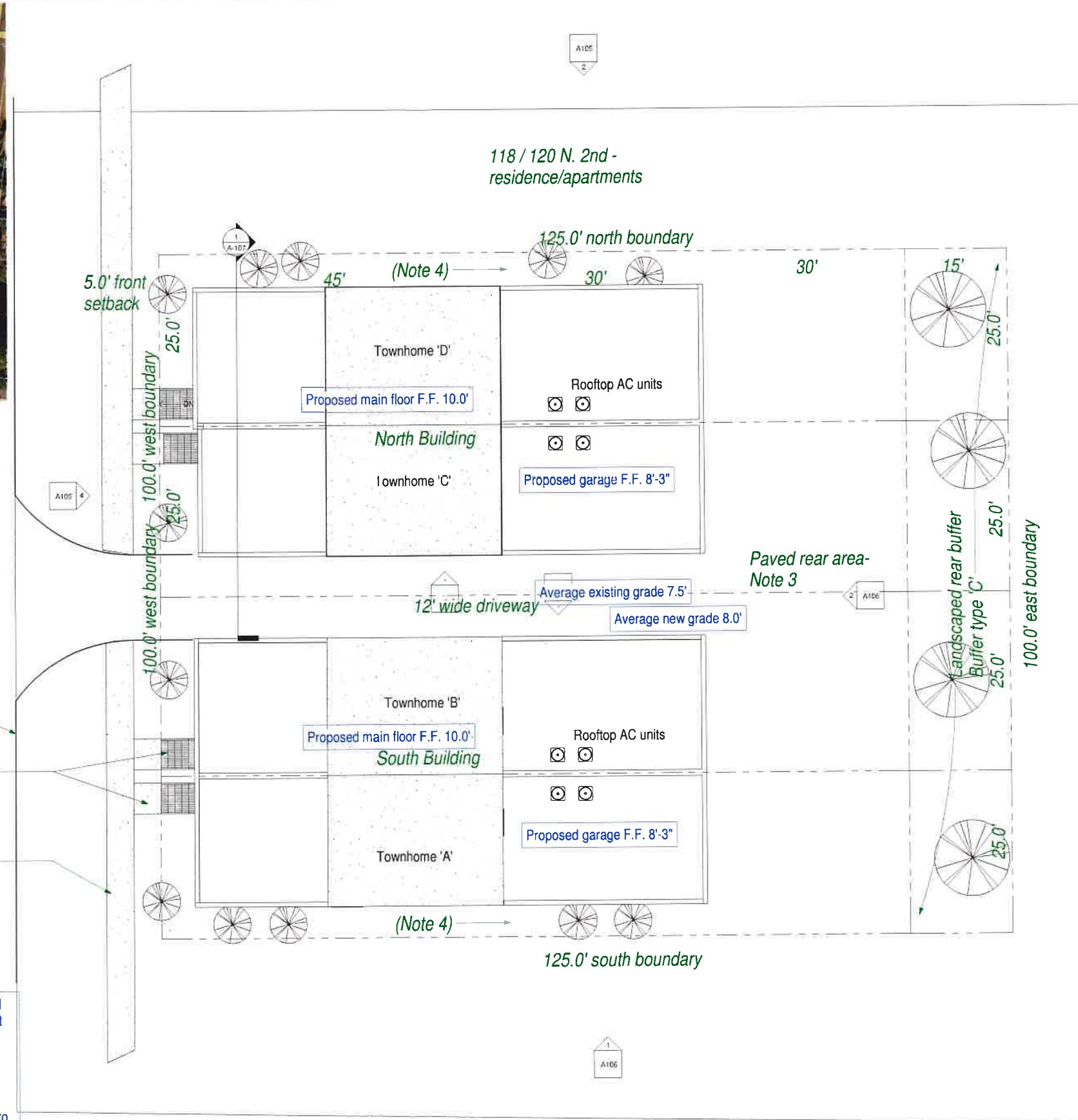
---

|           |                          |
|-----------|--------------------------|
| EXHIBIT 1 | Updated plans/elevations |
|-----------|--------------------------|

Respectfully Submitted,



**Samantha N. Rogic**  
**Planning Technician**



Scale  $1/8" = 1'-0"$







**Second Floor Plan - North Building**  
**116 North 2nd Street Townhomes**

Scale:  $1/4" = 1'-0"$

CMR Properties, LLC

### Second Floor Plan

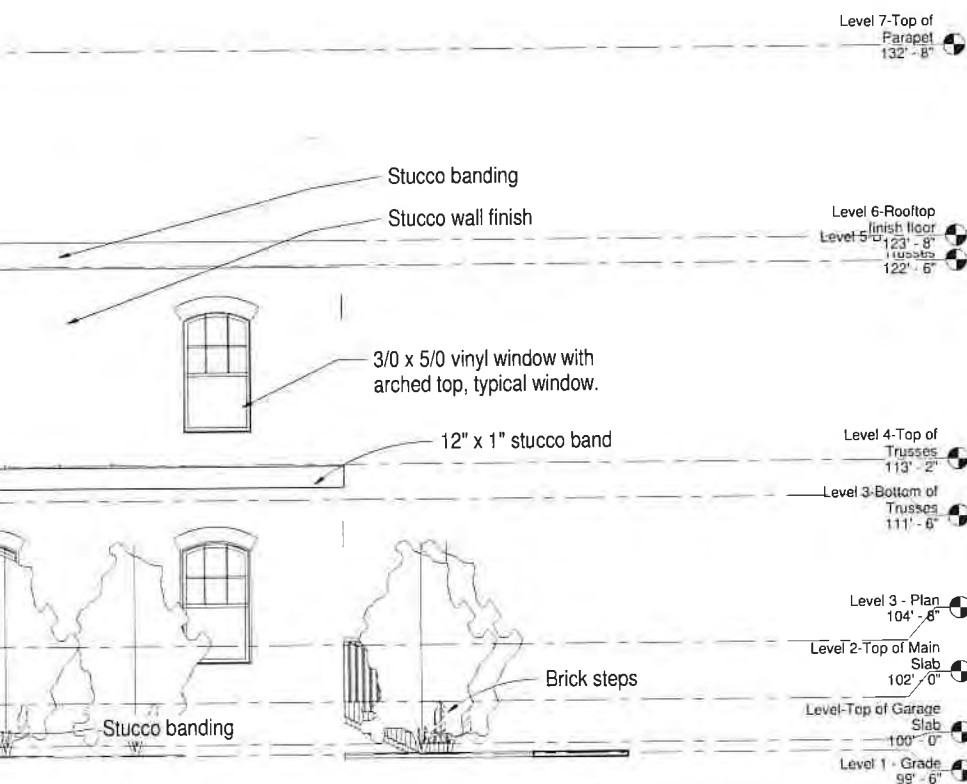
A103

Scale  $1/4" = 1'-0"$





West (N. 2nd Street) Elevations - North and South Buildings  
Scale: 1/8" = 1'-0"



North Elevation - North Building  
Scale: 1/8" = 1'-0"

[illegible]

CMR Properties, LLC

### Exterior Elevations

|                |             |
|----------------|-------------|
| Project number | 2018NST     |
| Date           | 6-20-19     |
| Drawn by       | RAS         |
| Checked by     | JES-MAM-RAS |

A105

Scale  $1/4" = 1'-0"$



South Elevation - North Building  
Scale: 1/8" = 1'-0"

East Elevation - North and South Buildings  
Scale: 1/8" = 1'-0"

[illegible]

### Exterior Elevations

|                |           |
|----------------|-----------|
| Project number | 2018N     |
| Date           | 6-20      |
| Drawn by       | R         |
| Checked by     | JES-MAM-R |
| <b>A106</b>    |           |
| Scale          | 1/4" = 1' |



CMR Properties, LLC

Building Section

|                |             |
|----------------|-------------|
| Project number | 2018NST     |
| Date           | 6-20-19     |
| Drawn by       | RAS         |
| Checked by     | JES-MAM-RAS |

A-107

Scale  $1/2" = 1'-0"$



Scale: 1/2" = 1'-0"



**HISTORIC DISTRICT COUNCIL STAFF REPORT**  
**HDC 2019-33**  
**SEPTEMBER 19, 2019**

|                                   |                                                                             |
|-----------------------------------|-----------------------------------------------------------------------------|
| <b>Owner/Applicant:</b>           | Miranda Architects, agent for Susan Dorner                                  |
| <b>Property Address:</b>          | 606 Cedar Street                                                            |
| <b>Parcel ID #:</b>               | 00-00-31-1800-0127-0011                                                     |
| <b>Current zoning:</b>            | R-2                                                                         |
| <b>FLUM land use category:</b>    | Medium-Density Residential                                                  |
| <b>Existing uses on the site:</b> | Single Family Residential                                                   |
| <b>FL Master Site File #</b>      | NA00640                                                                     |
| <b>Year Built:</b>                | c. 1900                                                                     |
| <b>Contributing Status:</b>       | Contributing                                                                |
| <b>Requested action:</b>          | Certificate of Approval (COA) to construct a two-story accessory structure. |

All required application materials have been received. All fees have been paid. All required notices have been made.



**EXISTING HOUSE 606 CEDAR STREET**



**PROPOSED GARAGE/GUEST HOUSE**





**SUMMARY OF REQUEST AND BACKGROUND INFORMATION:**

The applicant is seeking approval to construct an accessory structure that will serve as a two-car garage at the first floor and an accessory dwelling on the second floor.

The frame vernacular primary structure was constructed circa 1900, and is a contributing structure to the Downtown Historic District.

**APPLICABLE GUIDELINES:**

**SECRETARY OF THE INTERIOR’S STANDARDS FOR REHABILITATION**

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**  
Findings: *Complies* ☐ *Does not Comply* ☐ *N/A* ☒

6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**  
Findings: Complies ☐ Does not Comply ☐ N/A ☒
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**  
Findings: Complies ☐ Does not Comply ☐ N/A ☒
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**  
Findings: Complies ☒ Does not Comply ☐ N/A ☐
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**  
Findings: Complies ☒ Does not Comply ☐ N/A ☐
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**  
Findings: Complies ☒ Does not Comply ☐ N/A ☐

## **CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE**

### **5.01.00 ACCESSORY USES AND STRUCTURES**

#### **5.01.01 Generally**

It is the purpose of this section to set forth standards for the design, installation, configuration, and use of accessory structures, and the establishment of accessory uses in existing structures.

#### **5.01.03 All Accessory Structures**

- A. There shall be a permitted principal structure in full compliance with all development standards and requirements of this LDC prior to issuance of a permit for an accessory structure. This provision shall not be construed to prohibit the establishment of an accessory structure simultaneously with the establishment of a permitted principal structure.
- B. Permissible accessory uses by zoning district are identified in Table 2.03.03.
- C. There shall be no more than one (1) detached accessory dwelling and not more than a total of two (2) other detached accessory buildings on a lot.
- D. An accessory structure shall not be located within or partially within any public right-of-way.
- E. Accessory structures shall be shown on any site plan with full supporting documents as required by this LDC.
- F. Accessory structures shall be included in all calculations of impervious surface and stormwater runoff requirements.
- G. Accessory structures shall not be located in any required buffer, landscape area, or stormwater management area.
- H. A detached accessory building in a residential zoning district shall be set back from the side lot

line a minimum of three (3) feet, except within the C-3 zoning district whereby the building standards set forth in Section 4.02.03(E) shall apply.

- I. A detached accessory building shall not be closer than three (3) feet to the rear lot line except within the C-3 zoning district whereby the building standards set forth in Section 4.02.03(E) shall apply.
- J. A detached accessory building shall not exceed twenty-five (25) feet in height or exceed a maximum building footprint of 625ft<sup>2</sup>.
- K. Connection of an accessory structure to a principal structure may be permissible if the connection is non-conditioned, unenclosed, and meets all principal structure setback requirements. A half wall, knee wall, or railings may be permitted as part of the connection.

#### **5.01.04 Accessory Dwellings**

- A. Accessory dwelling units are intended to provide non-remunerated housing for relatives, guests, or domestic helpers. An accessory dwelling unit shall not be considered an apartment, hotel, or other kind of multi-family use. Accessory dwelling units shall not count towards density. Per the City's Comprehensive Plan policy 1.06.05, detached accessory dwelling units shall be permissible in all residential and mixed use zoning districts in compliance with the following standards:
  - 1. The total floor area of the detached accessory dwelling shall not exceed 625 square feet;
  - 2. The maximum height for a detached accessory dwelling located as a freestanding building or an apartment over a detached garage shall not exceed twenty-five (25) feet, measured from the approved finished grade to the peak of the roof;
  - 3. A detached accessory dwelling shall be located only within a rear yard as established by Section 4.02.03; and
  - 4. An accessory dwelling shall comply with all standards set forth in Section 5.01.03;
  - 5. The accessory dwelling shall not have a separate water or electric meter.
- B. An accessory dwelling is permissible in the I-1 or I-A zoning districts within a building which has as its principal use industrial or commercial uses. The accessory dwelling shall comply with the following standards:
  - 1. The total floor area shall not exceed 625 square feet, and only one accessory dwelling is permitted per lot of record or business, whichever is more restrictive;
  - 2. The accessory dwelling shall be provided solely for the occupancy by the owner, the manager, or an employee of the business which is the principal use;
  - 3. The accessory dwelling shall not have a separate water or electric meter from the business it serves;
  - 4. Parking for the accessory dwelling may be shared with the business it serves;
  - 5. The accessory dwelling shall not have a separate exterior entrance from the business entrance.
- C. An accessory dwelling is permissible in the OT-1 or OT-2 zoning districts subject to the standards in Section 8.01.01.02(C).

#### **8.00.01 Intent**

It is declared as a matter of public policy that protection, enhancement, perpetuation and use of sites of aesthetic, archaeological, architectural, cultural, historical and paleontological merit or value is in the interests of the health, prosperity, safety and welfare of the people of Fernandina Beach. The City Commission finds that the irreplaceable loss of these resources to the community would detrimentally

affect the community as a whole. It is therefore the intent of this chapter to:

- A. Effect and accomplish the protection, enhancement and perpetuation of buildings, structures, improvements, sites, districts, landscape features, and archaeological and paleontological resources that represent distinctive elements of the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific, and social history;
- B. Safeguard the City's architectural, cultural, economic, natural, political, prehistoric, religious, scientific and social heritage, as embodied and reflected in such structures, sites, and districts;
- C. Foster awareness and pride in the accomplishments and events of the City's past;
- D. Protect and enhance the City's attraction to residents, tourists, and visitors, and serve as an economic stimulus to business and industry;
- E. Stabilize and improve property values and encourage compatible redevelopment;
- F. Enhance the visual and aesthetic character of the City; and
- G. Promote the use of individual structures, sites, and districts for the education, leisure, and welfare of the people of Fernandina Beach.

#### **8.00.03 Relationship to Comprehensive Plan**

The following standards implement Goal 11: Historic Preservation Element of the Fernandina Beach Comprehensive Plan to identify, preserve, and protect historic and cultural resources within the City.

#### **8.01.01.01 Standards for Development in the Historic District Overlays**

- A. The review of proposed development within the Historic District Overlays shall be based upon the latest edition of Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings from the U.S. Secretary of Interior.
- B. The review of proposed development within the Historic District Overlay shall also be based upon compliance with the Downtown Historic District Guidelines, dated December 1999, as amended from time to time. The review of proposed development within Old Town shall be based upon compliance with the Old Town Preservation and Development Guidelines, dated June 1999, as amended from time to time.
- C. In addition to standards applicable to the underlying zoning district, new construction within the Historic District Overlay shall be compatible with the existing character of the landmark or the district. Compatible design means architectural design and construction that will fit harmoniously into the district or the landmark site. New construction shall be compatible in scale, materials, and quality of construction with adjacent buildings and structures that have been designated.
- D. The following features shall be considered by the Historic District Council in the evaluation of proposed new construction, as such features comply with the guidelines referenced in Section 8.01.01.01(A) and (B) above:
  - 1. Scale, including height and width;
  - 2. Setbacks;
  - 3. Orientation and site coverage;
  - 4. Alignment, rhythm, and spacing of buildings;
  - 5. Form and detail, considering the link between old and new buildings;
  - 6. Maintaining materials within the district or on the landmark site;
  - 7. Maintaining quality within the district or on the landmark site;
  - 8. Facade proportions and window patterns;
  - 9. Entrances and porch projections;
  - 10. Roof forms; and
  - 11. Horizontal, vertical, or non-directional emphasis.

### **8.02.02 Historic District Council Roles and Responsibilities**

The HDC shall have the duty and responsibility to:

- C. Review and approve or deny applications for a certificate of Approval for construction, alteration, demolition, or removal of historic landmarks, historic sites, archaeological sites, properties in historic districts, or properties in the CRA Overlay.

## **DOWNTOWN HISTORIC DISTRICT GUIDELINES**

### **Outbuildings (pg 101)**

Historic outbuildings such as garages and sheds should be retained where they remain. New outbuildings should be designed to be complimentary to the dwelling's architectural style.

1. Preserve and maintain original outbuildings such as garages and sheds as long as possible. Regular use of outbuildings and application of rehabilitation guidelines for dwellings will help ensure their longevity.
2. Design new outbuildings to be compatible with the architectural style and scale of the associated dwelling.
3. Locate new outbuildings appropriately, such as to the rear of a house or set back from the side elevations.
4. Both one- and two-story accessory outbuildings are permitted for a primary dwelling.
5. Compliance with health and safety codes should not negatively affect character-defining features and finishes of the building.
6. Energy-saving devices such as solar panels may be reviewed, but not to the extent that their placement renders them ineffective. Property owners are encouraged to place solar panels, wind turbines or other energy saving measures on elevations that are not readily visible from the street and do not detract from a dwelling's architectural character.

## **ANALYSIS:**

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The structure meets setback requirements, as well as height and maximum square footage requirements. The overall design of the structure relates to proportions present on the historic primary structure. However, Staff notes the placement and style of the windows and doors on the accessory structure, as well as the louvered panel infill and differing styles of porch columns, as obvious dissimilarities between the two structures. Additionally, Staff recommends incorporating architectural elements on the south elevation, in order to break up the massing.

The concrete driveway is to be accessed off of South 6<sup>th</sup> Street. This will require approval of a Right of Way (ROW) Use Permit. Staff recommends dividing the single garage door into two separate doors, which would be more historically appropriate.

## STAFF RECOMMENDATION:

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Staff finds that the requested action, as presented, is consistent with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines.

Staff recommends:

**APPROVAL of HDC 2019-33**

## MOTION TO CONSIDER:

---

I move to **approve or deny** HDC case number 2019-33 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case 2019-33, as presented, **is or is not** substantially compliant with the Land Development Code, the Secretary of the Interior's Standards, and the Downtown Historic District Guidelines to warrant approval at this time.

## LIST OF EXHIBITS:

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**EXHIBIT 1      HDC 2019-33 Application and Backup Materials**

**EXHIBIT 2      Florida Master Site File NA00640**

Respectfully Submitted,



**Samantha N. Rogic**  
**Planning Technician**



## APPLICATION FOR HISTORIC DISTRICT COUNCIL CERTIFICATE OF APPROVAL (COA)

|                                 |                 |
|---------------------------------|-----------------|
| OFFICE USE ONLY                 |                 |
| REC'D: 8/14/19                  | BY: [Signature] |
| PAYMENT: \$200.00               | TYPE: CR# 315   |
| APPLICATION #:                  |                 |
| HDC CASE #:                     |                 |
| APPLICATION COMPLETE: Y___ N___ |                 |
| PRE-CONFERENCE: Y___ N___ DATE  |                 |
| BOARD MEETING DATE:             |                 |
| PLANNER: DATE:                  |                 |
| ___ APPROVED ___ DENIED         |                 |

|                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------|
| <b>APPROVAL TYPE:</b>                                                                                                                                                                                                                                                                                                                                                                                                                      | <input type="checkbox"/> Staff Approval<br><input checked="" type="checkbox"/> Board Approval: Conceptual ___ or Final <b>X</b> ___ |
| <b>PROJECT TYPE:</b>                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                     |
| <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition <input type="checkbox"/> Variance<br><input type="checkbox"/> Repair <input type="checkbox"/> Paint <input type="checkbox"/> Fence <input type="checkbox"/> Sign <input type="checkbox"/> Re-roof <input type="checkbox"/> Other: _____ |                                                                                                                                     |
| <b>PROPERTY INFORMATION</b> <i>Property information can be found at the <a href="#">Nassau County Property Appraiser's Website</a> → Map Search</i>                                                                                                                                                                                                                                                                                        |                                                                                                                                     |
| Street Address: 606 CEDAR STREET                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                     |
| Historic District: <input checked="" type="checkbox"/> Downtown <input type="checkbox"/> Old Town <input type="checkbox"/> CRA Waterfront                                                                                                                                                                                                                                                                                                  |                                                                                                                                     |
| Parcel Identification Number(s): 00-00-31-1800-0127-0011                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                     |
| Zoning District: R-2, MEDIUM DENSITY RESIDENTIAL   Lot / Block Number (optional) BLOCK 127 N60 FT OF LOT 1                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                     |

|                                                     |                                                       |
|-----------------------------------------------------|-------------------------------------------------------|
| <b>Owner of Record</b>                              | As recorded with the Nassau County Property Appraiser |
| Owner(s) Name<br><b>SUSAN DORNER</b>                |                                                       |
| Company (if applicable)                             |                                                       |
| Street Address<br><b>606 CEDAR STREET</b>           |                                                       |
| City State Zip<br><b>FERNANDINA BEACH, FL 32034</b> |                                                       |
| Telephone Number                                    |                                                       |
| Email Address<br><b>dornersf@gmail.com</b>          |                                                       |

|                                                           |                                                                                                                                          |
|-----------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Applicant or Agent</b>                                 | If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included |
| Applicant Name<br><b>JOSE MIRANDA</b>                     |                                                                                                                                          |
| Company (if applicable)<br><b>MIRANDA ARCHITECTS</b>      |                                                                                                                                          |
| Street Address<br><b>309 1/2 CENTRE STREET, SUITE 206</b> |                                                                                                                                          |
| City State Zip<br><b>FERNANDINA BEACH, FL 32034</b>       |                                                                                                                                          |
| Telephone Number<br><b>261-4586</b>                       |                                                                                                                                          |
| Email Address<br><b>jmiranda@mirandaarchitects.com</b>    |                                                                                                                                          |

**PROJECT DESCRIPTION (REQUIRED)**

**Part 1. Describe The Existing Conditions and Materials.** Describe the existing structure(s) on the subject property in terms of the construction materials and site conditions, as well as the surrounding context.

Construction of new Garage with Accessory Dwelling Unit at 2nd Floor

**Part 2. Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). Attach further description sheets, if needed.

List proposed materials and colors, as applicable (use additional sheet if necessary):

| Project Scope       | Manufacturer | Product Description             | FL Product Approval # | Color (Name/Number)    |
|---------------------|--------------|---------------------------------|-----------------------|------------------------|
| Exterior Fabric     | Hardie       | Lap Siding                      |                       | classical white/SW2829 |
|                     |              |                                 |                       |                        |
| Doors               | Therma Tru   | Fiberglass                      |                       | rookwood jade/SW2821   |
|                     |              |                                 |                       |                        |
| Windows             | PGT Winguard | Vinyl Windows                   |                       | pgt white              |
|                     |              |                                 |                       |                        |
| Roofing             | PAC-CLAD     | Standing Seam Metal             |                       | granite                |
|                     |              |                                 |                       |                        |
| Fascia/Trim         | Hardie       | Hardie Trim                     |                       | classical white/SW2829 |
| Foundation          |              | Concrete                        |                       |                        |
|                     |              |                                 |                       |                        |
| Shutters            |              |                                 |                       |                        |
|                     |              |                                 |                       |                        |
| Porch/Deck          |              | PT 1 x 6 decking                |                       | gray stain             |
|                     |              |                                 |                       |                        |
| Fencing             |              |                                 |                       |                        |
|                     |              |                                 |                       |                        |
| Driveways/Sidewalks |              | plain concrete with tooled edge |                       |                        |
|                     |              |                                 |                       |                        |
| Signage             |              |                                 |                       |                        |
|                     |              |                                 |                       |                        |
| Other               |              |                                 |                       |                        |
|                     |              |                                 |                       |                        |

PLEASE SUBMIT ALL PRODUCT BROCHURES, PAINT COLOR SAMPLES, AND MATERIAL SAMPLES WITH YOUR APPLICATION.



## HISTORIC DISTRICT COUNCIL APPLICATION CHECKLIST

These requirements are not inclusive of the requirements for the proposed work. The Department of Planning & Conservation may require additional drawings, specifications or information in order to complete the application review.

### CONCEPTUAL APPROVALS

Conceptual approvals are provided by the HDC as a courtesy to the applicant in an effort to allow comment from the historic district council and citizens during the conceptual design process. The HDC will provide the applicant with feedback and guidance relating to the proposal and take a vote to indicate whether the board feels the proposal is adequately appropriate to proceed. In all cases, the applicant must return to the HDC to seek final approval of their projects. There is no additional fee for this review above the Certificate of Approval fee.

### STAFF REVIEW OR BOARD REVIEW FINAL APPROVAL

THE FOLLOWING MUST BE PROVIDED IN ORDER TO BE A COMPLETE APPLICATION FOR  
STAFF APPROVAL OR FINAL APPROVAL BY THE BOARD:

| Applicant<br>(Initials) | Please submit 1 copy of each of the following:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Staff<br>(Initials) |
|-------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| JM                      | Proof of ownership (copy of deed or tax statement)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                     |
| JM                      | 11x17 signed, sealed, scaled survey of property. Completed within the last 2 years.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                     |
| JM                      | 11x17 scaled site plan of the proposed work, including lot dimensions, setbacks, finished floor elevations, and any changes as a result of proposed building footprints                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                     |
| —                       | Site plan <u>must</u> show all trees greater than 5" diameter at breast height (DBH) and indicate any trees that are to be removed as part of the scope of work.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                     |
| JM                      | Photographs of the existing site and existing buildings if any, including views from the street.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                     |
| JM                      | 11x17 drawings to scale showing ALL existing and proposed exterior elevations of primary <u>and/or</u> accessory buildings. Existing vs. proposed features should be clearly delineated with labels, shading, and/or hatching.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |
| JM                      | Elevations <u>must</u> include specific material and detail information with call outs that define all visible exterior elements, such as (but not limited to): wall finishes, foundation wall finish, corner-boards, water-tables, barge-boards, cornice trim, door trim, window trim, column elements, railings, roof fascia, balcony trim elements, supporting/decorative brackets, gable end decorative elements, shutters, roof finishes, chimney finish, privacy fences, picket fences, gates, utility yard screens, gazebos, outdoor shower screens, etc. Provide specific detail views of features that cannot be called out with notes on the elevations. Examples include porch details, pier elements, lattice infill components, soffit and cornice trim detailing, etc. |                     |
| JM                      | Elevations and/or site plan <u>must</u> show all proposed mechanical and plumbing equipment (HVAC, hood vents, backflow preventers, etc.)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                     |
| JM                      | Product/material details and specifications, including brochures or printouts, for any proposed material as applicable and not limited to: doors, windows, roofing, exterior fabric, fascia/trim, shutters, fencing, sidewalk/driveway, landscaping, foundation, porch/deck, sheds, and proposed colors for ALL surfaces to be painted/stained/treated.                                                                                                                                                                                                                                                                                                                                                                                                                              |                     |
| JM                      | New construction applications <u>must</u> show context of project within existing streetscape.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |
| —                       | For any fencing proposed to be located on a common property line, written consent of the adjacent property owners shall be provided as required by LDC 5.01.10(B).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                     |

**CERTIFICATION (REQUIRED)**

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Community Development Department to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic District Council meeting.
5. I/We understand that the Historic District Council meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic District Council member).
6. I/We understand that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HDC may be appealed to the City Commission, with the exception of variances, which may be appealed to a court of record as outlined in Section 10.02.04(D) of the Land Development Code. Petitions to appeal shall be presented within thirty (30) days after the decision of the HDC; otherwise the decision of the HDC will be final.
9. I/We understand that Certificates of Approval are only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.

8/9/19  
Date

[Signature]  
Signature of Applicant

STATE OF FLORIDA }  
COUNTY OF NASSAU } ss

Subscribed and sworn to before me this 9th day of August, 2019.

Leah Hall  
Notary Public: Signature

LEAH HALL  
Printed Name



LEAH HALL  
MY COMMISSION # FF 929201  
EXPIRES: February 20, 2020  
Bonded Thru Budget Notary Services

My Commission Expires

Personally Known ☒ OR Produced Identification ☐ ID Produced: ☐

USE THIS FORM TO: Authorize an agent to make application and represent the owner of record.



### OWNER'S AUTHORIZATION FOR AGENT REPRESENTATION

I /WE Susan Dorner  
(print name of property owner(s))  
hereby authorize: Jose Miranda (Miranda Architects)  
(print name of agent)  
to represent me/us in processing an application for: HDC CoA  
(type of application)

on our behalf. In authorizing the agent to represent me/us, I/we, as owner/owners, attest that the application is made in good faith and that any information contained in the application is accurate and complete.

Susan Dorner  
(Signature of owner)

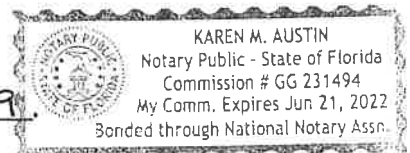
\_\_\_\_\_  
(Signature of owner)

Susan Dorner  
(Print name of owner)

\_\_\_\_\_  
(Print name of owner)

STATE OF FLORIDA }  
COUNTY OF NASSAU }  
ss

Subscribed and sworn to before me this 13 day of August, 20 19



Karen M Austin  
Notary Public: Signature

Karen M Austin  
Printed Name

\_\_\_\_\_  
My Commission Expires

Personally Known \_\_\_\_\_ OR Produced Identification ☒ ID Produced: FL DL exp 7/8/28

**PROPERTY INFORMATION**

**Parcel Number 00-00-31-1800-0127-0011**

Owner Name DORNER SUSAN K  
Mailing Address 606 CEDAR ST  
FERNANDINA BEACH, FL 32034  
Location Address 606 CEDAR ST  
FERNANDINA BEACH 32034  
Tax District FERNANDINA BEACH  
Milage 20.3245  
Homestead No  
Property Usage SINGLE FAM 000100  
Deed Acres 0  
Short Legal BLOCK 127 N60 FT OF LOT 1 IN OR 2271/1749 CITY OF FDNA  
BEACH

**2018 PROPERTY VALUES (Certified Final Roll)**

|                                        |                  |
|----------------------------------------|------------------|
| Land Value                             | \$105,000        |
| (+) Improved Value                     | \$128,788        |
| <b>(=) Market Value</b>                | <b>\$233,788</b> |
| (-) Agricultural Classification        | \$0              |
| (-) SOH or Non-Hx* Capped Savings      | \$0              |
| <b>(=) Assessed Value</b>              | <b>\$233,788</b> |
| (-) Homestead                          | \$0              |
| (-) Additional Exemptions              | \$0              |
| <b>(=) School Taxable Value</b>        | <b>\$233,788</b> |
| (-) Non-School HX & Other Exempt Value | \$0              |
| <b>(=) County Taxable Value</b>        | <b>\$233,788</b> |

Note \*10% Cap does not apply to School Taxable Value

**PARCEL MAP**



**2019 AERIAL MAP**



**PROPERTY PHOTO**



If this picture is incorrect, please email [info@nassauflpa.com](mailto:info@nassauflpa.com)

**LOCATION MAP**



**BUILDING INFORMATION**

| Type     | Total Area | Heated Area | Bedrooms | Baths | Primary Exterior | Secondary Exterior | Heating    | Cooling    | Actual Year Built |
|----------|------------|-------------|----------|-------|------------------|--------------------|------------|------------|-------------------|
| SNGL FAM | 1624       | 1444        | 3        | 2     | CEDAR            |                    | AIR DUCTED | FORCED AIR | 1900              |

**SALES INFORMATION**

| Sale Date  | Book Page                   | Price     | Instr | Qual | Imp | Grantor                        | Grantee                    |
|------------|-----------------------------|-----------|-------|------|-----|--------------------------------|----------------------------|
| 2019-04-18 | <a href="#">2271 / 1749</a> | \$465,000 | WD    | Q    | Y   | MEE BRIAN T                    | DORNER SUSAN K             |
| 2018-05-03 | <a href="#">2196 / 1634</a> | \$425,000 | WD    | Q    | Y   | BAKER ROGER A & LINDA L        | MEE BRIAN T                |
| 2006-04-11 | <a href="#">1403 / 734</a>  | \$370,000 | WD    | Q    | Y   | HARRIS BARBARA LYNN WESTON     | BAKER ROGER A & LINDA L    |
| 2003-07-17 | <a href="#">1154 / 439</a>  | \$214,000 | WD    | Q    | Y   | CAMERON ROBERT & LINSEY K WRAY | HARRIS BARBARA LYNN WESTON |



MAP OF BOUNDARY SURVEY

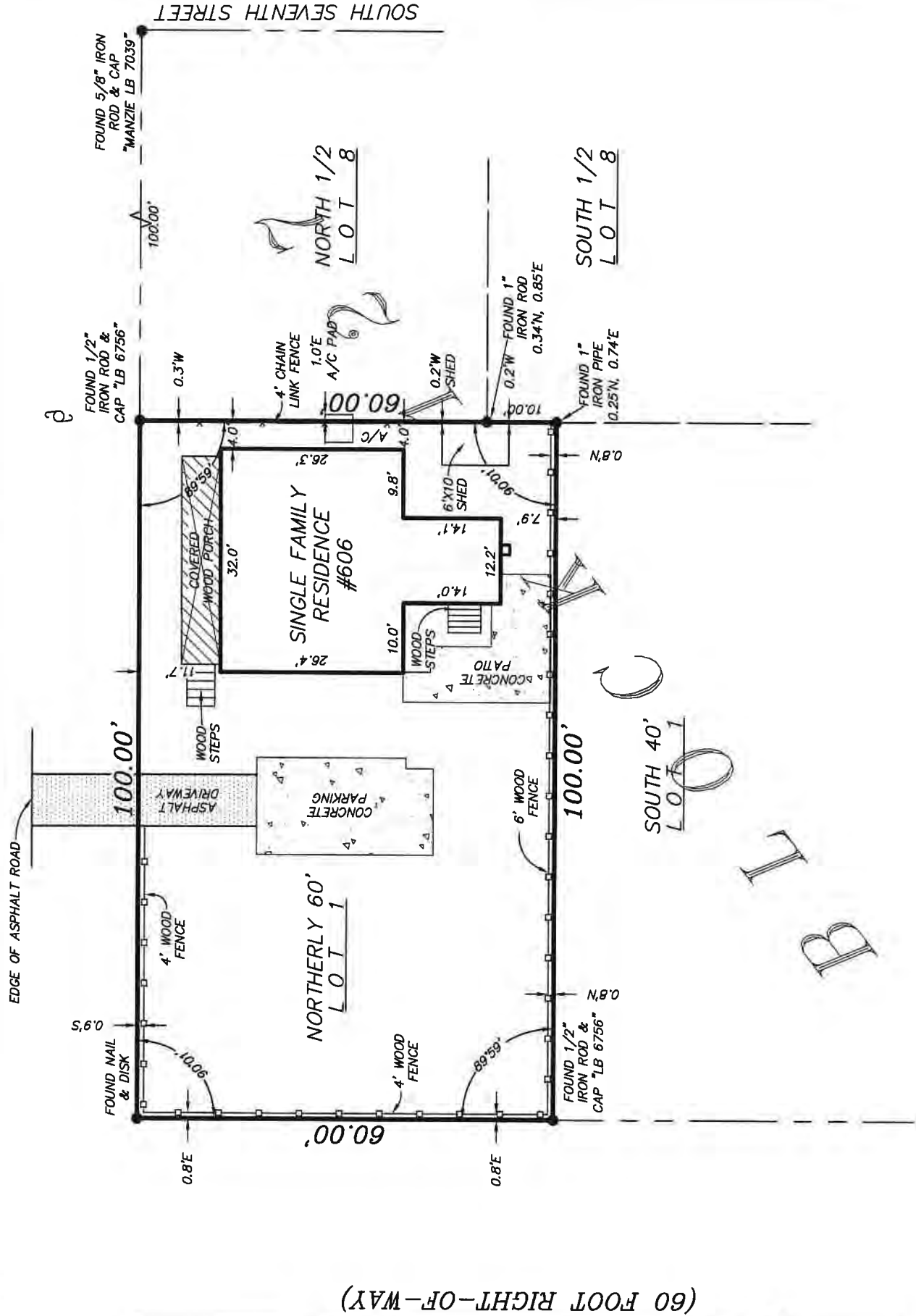
ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND SITUATE, LAYING AND BEING IN THE CITY OF FERNANDINA BEACH (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA, AND FURTHER KNOWN AND DESCRIBED ON THE OFFICIAL PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901), AS:

THE NORTHERLY SIXTY (60) FEET OF LOT ONE (1), BLOCK ONE HUNDRED TWENTY-SEVEN (127) OF THE CITY OF FERNANDINA BEACH, FLORIDA.

MANZIE & DRAKE  
LAND SURVEYING

CEDAR STREET

(60 FOOT RIGHT-OF-WAY)



SURVEY NOTES:

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
- 4) Internal lot angles shown hereon are based on recovered monumentation.
- 5) "Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid."
- 6) The property shown hereon lies within flood zone "X" as per F.E.M.A. Flood Insurance Rate Map, Panel 12089C 0237G, Dated 08/08/2017. Flood Zone information listed above and shown on this survey is provided as a courtesy and is approximate at best. All data should be verified by Nassau County Building Department for accuracy. We assume no liability for its accuracy. Flood Zone information is not covered by the certification hereon and is not required to be shown per Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
- 7) This survey is protected by copyright and is certified only to the entities listed and only for this particular transaction. Any use or reproduction of this survey without the express written permission of the surveyor is prohibited. Use of this survey in any subsequent transactions is expressly prohibited and is not authorized. The surveyor expressly disclaims any certification to any parties in future transactions. No entity other than those listed should rely upon this survey.

COPYRIGHT © 2018 BY MANZIE AND DRAKE LAND SURVEYING

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



MANZIE & DRAKE LAND SURVEYING

117 South Ninth Street, Fernandina Beach, FL 32034  
(904) 491-5700 www.ManzieAndDrake.com  
Certificate of Authorization Number "LB 7039"

"OUR SIGHTS ARE ON THE FUTURE,  
SET YOUR SITES ON US."

SCALE: 1"=20' JOB NO: 13964 DATE: 05/01/2018 CADD: BH  
F.B. NO: X-164 PAGE NO: 72 FIELD CREW: CB FILE NO: A-4547

MICHAEL A. MANZIE, P.L.S. 4069

CERTIFIED TO:  
BRIAN MEE  
PROPERTY ADDRESS:  
606 CEDAR STREET 32034  
FERNANDINA BEACH, FLORIDA

LEGEND  
A/C = AIR CONDITIONER  
C = CENTERLINE  
--x-x-- = CHAIN LINK FENCE  
--- = CONCRETE FLATWORK  
--- = COVERED AREA  
--- = WOOD FENCE  
--- = WOOD FLATWORK  
--- = WOOD POWER POLE

PROJECT INFORMATION

SQUARE FOOTAGE CALCULATION:  
FIRST FLOOR 623 SQ.FT.  
SECOND FLOOR 623 SQ.FT.  
TOTAL UNDER ROOF AREA 1,246 SQ.FT.

TYPE OF CONSTRUCTION: V-B, UNSPRINKLERED  
NO. OF STORIES: TWO STORIES  
OCCUPANCY CLASSIFICATION: R3, RESIDENTIAL  
FLOOD ZONE: X, NO MINIMUM  
ZONING: R5-2, SINGLE FAMILY RESIDENTIAL  
ZONING SETBACKS: FRONT = 25-FOOT  
CORNER = 15'-0"  
REAR = 3-FOOT  
PROPOSED SETBACKS: FRONT (NORTH) = 26'-10"  
SIDE (WEST) = 15'-0"  
REAR (SOUTH) = 4'-0"  
MAX. ACCESSORY BUILDING HEIGHT: 25'-0"  
PROPOSED BUILDING HEIGHT: 24'-8"

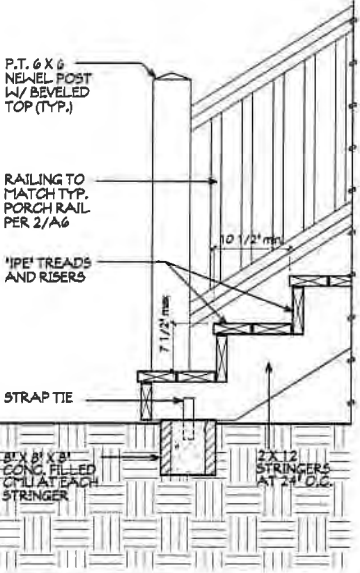
WIND ZONE INFORMATION  
THIS PROJECT HAVE BEEN DESIGNED TO COMPLY WITH THE  
FLORIDA BUILDING CODE - RESIDENTIAL, 2017 EDITION.  
THIS BUILDING IS NOT LOCATED IN THE WIND BORNE DEBRIS REGION.  
- ADDITION IS FULLY ENCLOSED  
- BASIC WIND SPEED (3 SECOND GUST) 125 MPH (V<sub>WIND</sub>) / 95 MPH (V<sub>BASE</sub>)  
- BUILDING CATEGORY II  
- WIND EXPOSURE CATEGORY 'C'  
- INTERNAL PRESSURE COEFFICIENT +0.15/-0.18

| AREA    | ZONE          |               |               |               | WALL          |
|---------|---------------|---------------|---------------|---------------|---------------|
|         | 1             | 2             | 3             | 4             | 5             |
| 10 SF.  | +23.7 / -28.9 | +23.7 / -30.3 | +23.7 / -30.3 | +28.9 / -28.1 | +28.9 / -34.7 |
| 20 SF.  | +23.0 / -24.6 | +33.0 / -29.0 | +23.0 / -29.0 | +34.7 / -28.9 | +24.7 / -32.4 |
| 30 SF.  | +22.3 / -23.8 | +32.3 / -27.3 | +22.3 / -27.3 | +33.2 / -28.4 | +23.2 / -29.3 |
| 100 SF. | +21.8 / -21.8 | +21.8 / -28.9 | +21.8 / -28.9 | +22.0 / -24.2 | +22.0 / -26.9 |

CODE REFERENCES  
FLORIDA BUILDING CODE - RESIDENTIAL (6TH ED., 2017)  
FLORIDA BUILDING CODE - MECHANICAL (6TH ED., 2017)  
FLORIDA BUILDING CODE - PLUMBING (6TH ED., 2017)  
FLORIDA BUILDING CODE - ENERGY CONSERVATION (6TH ED., 2017)  
NATIONAL ELECTRICAL CODE - 2014 EDITION

INDEX OF DRAWINGS

- A1 PROJECT DATA AND SITE PLAN  
A1.1 PROJECT SPECIFICATIONS  
A2 FOUNDATION PLAN AND DETAILS  
A3 FLOOR PLANS AND SCHEDULES  
A4 EXTERIOR ELEVATIONS  
A5 FRAMING PLANS  
A6 SECTIONS AND DETAILS  
E1 ELECTRICAL PLANS

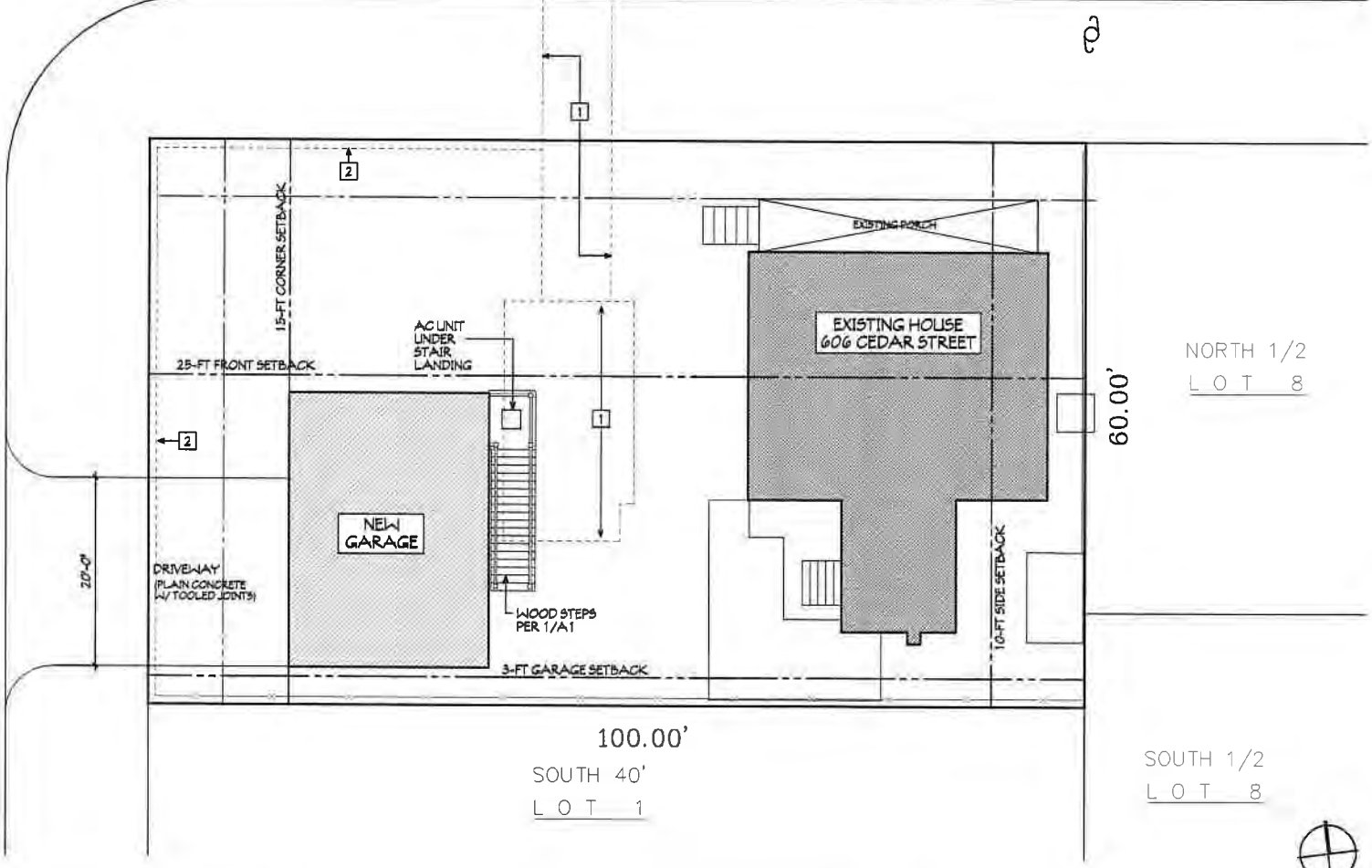


1 WOOD STEPS DETAIL 1/8"=1'-0"

SITE PLAN NOTES

- 1 REMOVE EXISTING DRIVEWAY AND CONCRETE PARKING PAD.  
2 REMOVE EXISTING WOOD FENCE AS INDICATED.

SOUTH SIXTH STREET  
(60 FOOT RIGHT-OF-WAY)



SITE PLAN

1/8"=1'-0"

This drawing and the design it represents are the property of the Architect. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, copied, or used for any other project without the written consent of the Architect.

A1 DORNER GARAGE  
SITE PLAN  
PROJECT # D190603  
DRAWN BY - JLT  
CHKD BY - JLT  
DATE - 07-30-19

MIRANDA  
ARCHITECTS  
308 1/2 CENTRE STREET, SUITE 208  
FERNANDINA BEACH, FL 32034  
TEL 904.264.598  
FAX 904.264.599



GARAGE FOR THE  
DORNER RESIDENCE  
606 CEDAR STREET  
FERNANDINA BEACH, FL 32034

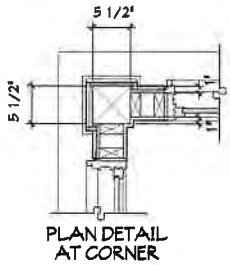
| PROJECT DATA, SITE PLAN |      |
|-------------------------|------|
| REVISIONS               | DATE |
|                         |      |
|                         |      |
|                         |      |

A1

| WINDOW SCHEDULE                                                                                        |        |            |             |             |               |                               |
|--------------------------------------------------------------------------------------------------------|--------|------------|-------------|-------------|---------------|-------------------------------|
| ○                                                                                                      | MODEL  | UNIT WIDTH | UNIT HEIGHT | TYPE        | MANUFACTURER  | REQUIRED DESIGN WIND PRESSURE |
| A                                                                                                      | DH5460 | 2'-8"      | 5'-0"       | DOUBLE HUNG | PGT ENERGYVUE | + 25.9 / - 34.7               |
| B                                                                                                      | GA5440 | 2'-4"      | 2'-4"       | FIXED       | PGT ENERGYVUE | + 25.9 / - 34.7               |
| C                                                                                                      | DH5460 | 2'-4"      | 5'-0"       | DOUBLE HUNG | PGT ENERGYVUE | + 25.9 / - 34.7               |
| D                                                                                                      | DH5460 | 2'-4"      | 3'-4"       | DOUBLE HUNG | PGT ENERGYVUE | + 25.9 / - 34.7               |
| E                                                                                                      | DH5460 | 3'-2"      | 5'-6"       | DOUBLE HUNG | PGT ENERGYVUE | + 25.9 / - 34.7               |
| * (ASTERISK) DENOTES TEMPERED GLASS UNIT    + (PLUS) DENOTES UNIT WITH OPENING LIMITER PER FBC-R 312.2 |        |            |             |             |               |                               |

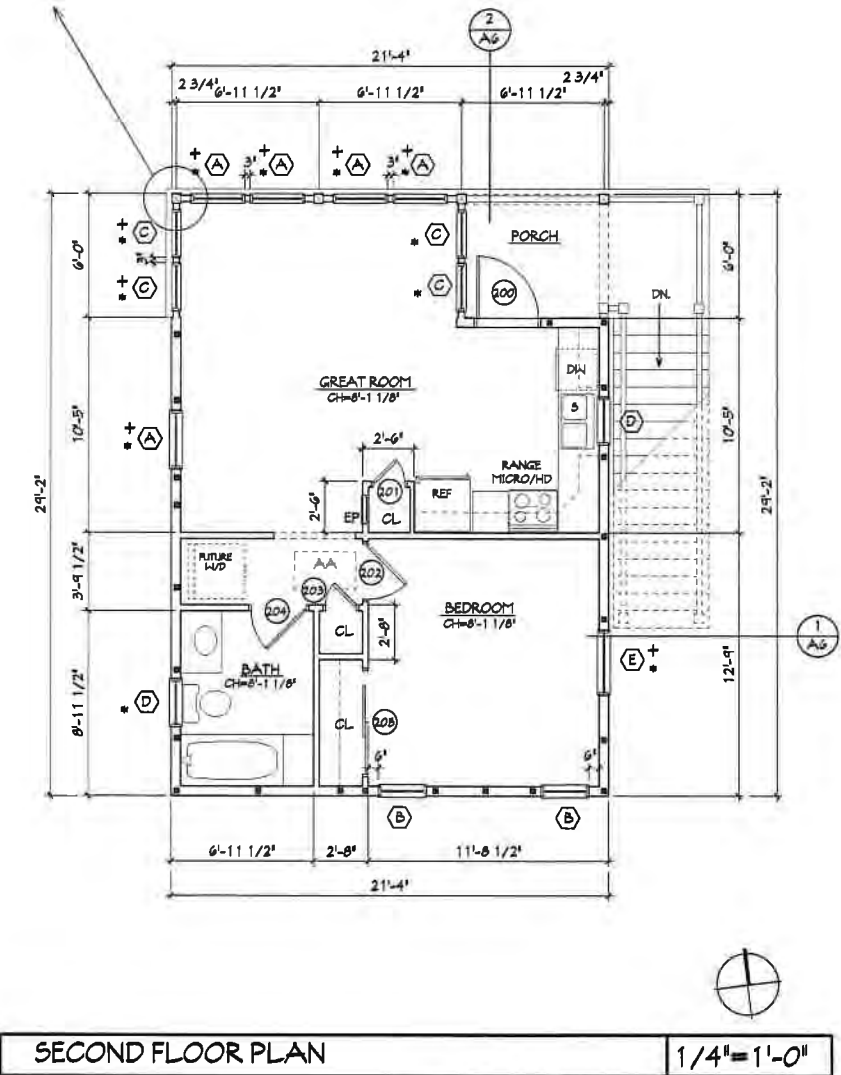
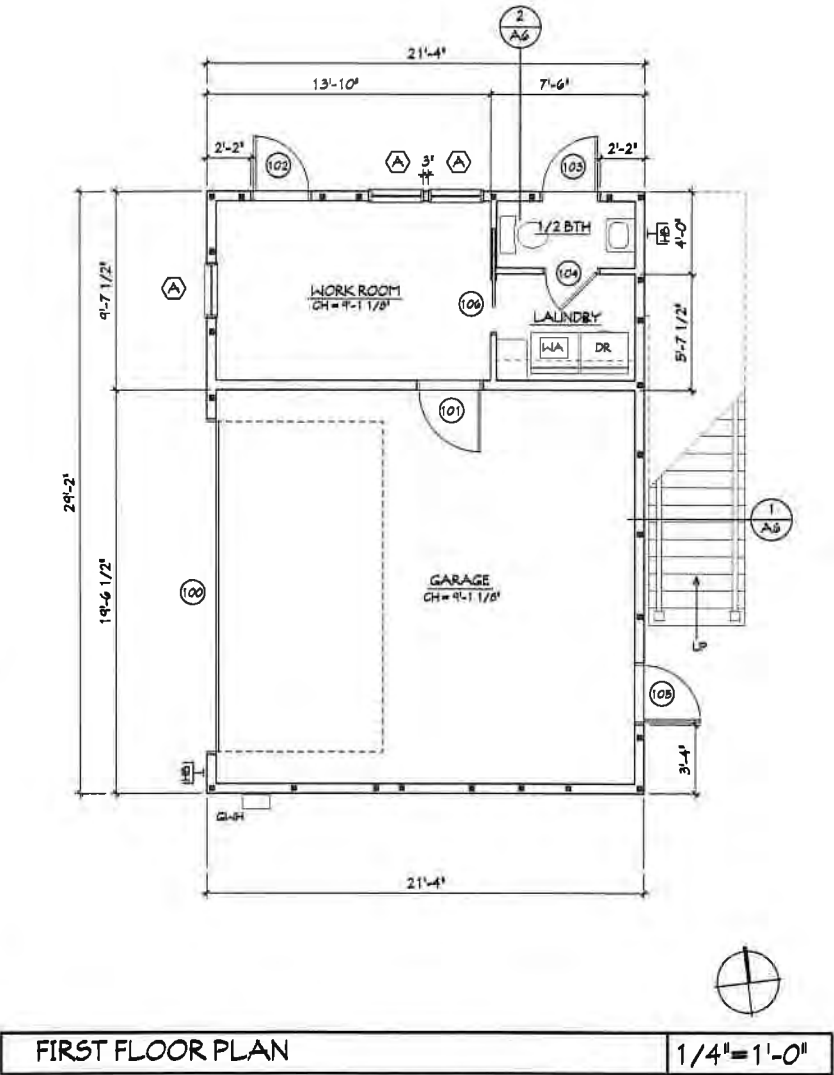
| DOOR SCHEDULE |                         |                 |              |                               |                                    |
|---------------|-------------------------|-----------------|--------------|-------------------------------|------------------------------------|
| ○             | SIZE                    | TYPE            | MANUFACTURER | REQUIRED DESIGN WIND PRESSURE | NOTES                              |
| 100           | 16'-0" X 8'-0"          | OVERHEAD        | CLOPAY       | + 20.0 / - 22.2               | CLASSIC COLLECTION, SEE EXT. ELEV. |
| 101           | R.O. 2'-10 1/2" X 6'-9" | 4-PANEL/SWING   | THERMA TRU   | + 25.9 / - 34.7               | MODEL 5960, 20-MIN FIRE-RATED      |
| 102           | R.O. 2'-10 1/2" X 6'-9" | GLASS/SWING     | THERMA TRU   | + 25.9 / - 34.7               | MODEL 5960, CLEAR GLASS            |
| 103           | R.O. 2'-10 1/2" X 6'-9" | 4-PANEL/SWING   | THERMA TRU   | + 25.9 / - 34.7               | MODEL 5960                         |
| 104           | 2'-6" X 6'-8"           | 4-PANEL/SWING   | A.S.B.O.     | —                             | —                                  |
| 105           | R.O. 3'-2 1/2" X 6'-9"  | 4-PANEL/SWING   | THERMA TRU   | + 25.9 / - 34.7               | MODEL 5960                         |
| 106           | 2'-6" X 6'-8"           | 4-PANEL/POCKET  | A.S.B.O.     | —                             | —                                  |
| 200           | R.O. 3'-2 1/2" X 6'-9"  | GLASS/SWING     | THERMA TRU   | + 25.9 / - 34.7               | MODEL 5960, CLEAR GLASS            |
| 201           | 1'-6" X 6'-8"           | 4-PANEL/SWING   | A.S.B.O.     | —                             | —                                  |
| 202           | 2'-8" X 6'-8"           | 4-PANEL/SWING   | A.S.B.O.     | —                             | —                                  |
| 203           | 1'-6" X 6'-8"           | 4-PANEL/SWING   | A.S.B.O.     | —                             | —                                  |
| 204           | 2'-8" X 6'-8"           | 4-PANEL/SWING   | A.S.B.O.     | —                             | —                                  |
| 205           | (2) 2'-6" X 6'-8"       | 4-PANEL/BI-PASS | A.S.B.O.     | —                             | —                                  |

This drawing and the details herein are hereby accepted as representing the complete and correct design for the construction of the project. It is the responsibility of the contractor to verify all dimensions and materials as shown on this drawing and to inform the architect of any discrepancies or omissions in writing prior to construction.



**FLOOR PLAN LEGEND**

- FRAMED WALL
- WINDOW SYMBOL
- DOOR SYMBOL
- WALL SECTION
- HOSE BIBS
- ATTIC ACCESS PANEL 22" X 36"
- NEW 5/8" DIA. THREADED TIE DOWN ROD DRILLED & EPOXIED INTO FOUNDATION WALL W/ MIN. 10" EMBED.



A3 DORNER GARAGE FLOOR PLAN  
PROJECT # D190603  
DRAWN BY - JLM  
CHKD BY - JLM  
DATE - 07-30-19

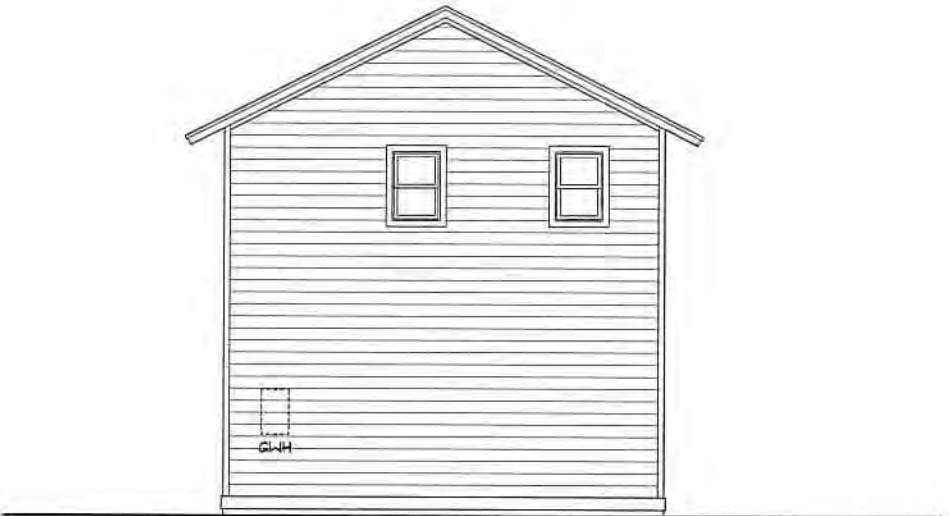
MIRANDA ARCHITECTS  
300 1/2 CENTRE STREET, SUITE 208  
FERNANDINA BEACH, FL 32034  
904.281.4586 TEL  
FL REG. NO. 44760000  
MIRANDA ARCHITECTS

GARAGE FOR THE  
**DORNER RESIDENCE**  
606 CEDAR STREET  
FERNANDINA BEACH, FL 32034

| FLOOR PLANS, SCHEDULES | REVISIONS | DATE |
|------------------------|-----------|------|
|                        |           |      |
|                        |           |      |
|                        |           |      |



EAST ELEVATION 1/4"=1'-0"



SOUTH ELEVATION 1/4"=1'-0"



NORTH ELEVATION (CEDAR STREET) 1/4"=1'-0"



WEST ELEVATION (SOUTH 6TH STREET) 1/4"=1'-0"

The drawings and the design, layout and construction of the building are the property of the architect and shall not be used for any other purpose without the written consent of the architect.

|                    |                   |
|--------------------|-------------------|
| MIRANDA ARCHITECTS | PROJECT # D190603 |
| DRAWN BY - JLM     | CHKD BY - JLM     |
| DATE - 07-30-19    |                   |

**MIRANDA ARCHITECTS**  
308 1/2 CENTRE STREET, SUITE 208  
FERNANDINA BEACH, FL 32034  
904.281.4588 TEL.  
FL REG. NO. 000000000000

GARAGE FOR THE  
**DORNER RESIDENCE**  
606 CEDAR STREET  
FERNANDINA BEACH, FL 32034

| EXTERIOR ELEVATIONS | REVISIONS | DATE |
|---------------------|-----------|------|
|                     |           |      |
|                     |           |      |
|                     |           |      |

STANDING SEAM METAL  
ROOF ON WATERPROOFING  
UNDERLAYMENT ON 1/2" PLYWD.  
ROOF SHEATHING ON PRE-FAB WOOD  
ROOF TRUSSES PER FRAMING PLAN

CONT. 2 X BLKG.  
BTWN. TRUSSES  
AT BEARING WALL

DRIP EDGE ON  
1 X 6 HARDIE TRIM  
FASCIA ON 2 X 4  
SUB FASCIA

HARDIE SOFFIT  
PANEL (VENTED)

1 X 4 HARDIE TRIM

FLASHING ON 1 X 4  
HARDIE TRIM  
TYP. AT WINDOWS/DOORS

1 X 4 HARDIE TRIM  
AT JAMBS TYP.

INSTALL WINDOWS  
PER DETAIL A/A6

SEALANT ALL SIDES  
OF WINDOW TYP.

EXTERIOR WALL ASSEMBLY  
HARDIE LAP SIDING 7 1/4"  
EXPOSURE ON INFILTRATION  
BARRIER ON 1/2" O.S.B.  
SHEATHING ON 2 X 6 STUDS  
AT 24" O.C. W/ MIN. R-19  
BATT INSULATION

SD SCREWS FROM SILL  
PLATE TO TJIS TYP.

CONT. TJI BLOCKING  
BETWEEN TJIS AT  
BEARING WALL

SD SCREW  
CONNECTOR  
PER FRMG. PLAN

5/8" DIAMETER THREADED  
TIE-DOWN RODS PER LOCATIONS  
ON PLANS

FLASHING ON  
1 X 6 HARDIE TRIM BAND  
W/ 1" OVERHANG

TERMITE SHIELD

FINISH GRADE MIN.  
6" CLEARANCE

POURED CONCRETE  
TURN DOWN SLAB EDGE  
PER FOUNDATION PLAN

1 SECTION AT TYPICAL 2-STORY

1"=1'-0"

2 SECTION AT PORCH

1"=1'-0"

1 X 4 HARDIE TRIM  
ALONG RAKE

CABLE END WALLS  
TO BE FRAMED CONT.  
FROM TOP OF PLYWD.  
SUB FLOOR AT 2ND FLOOR  
TO BOTTOM OF  
OUTRIGGERS

FLASHING ON  
1 X 12 HARDIE TRIM  
BAND

1 X 4 HARDIE TRIM  
COLUMN CAP

6 X 6 POST PER PLAN  
W/ 1/2" O.S.B. PLYWD.  
AND HARDIE TRIM  
WRAP

P.T. 2 X 4 CAP  
RAIL

P.T. 1 X 2 TRIM EACH  
SIDE OF P.T. 2 X 2 PICKETS  
AT MAX. 5' O.C.

P.T. 2 X 4 BTM RAIL  
W/ SLOPED TOP

1 X 6 HARDIE TRIM  
COLUMN BASE

P.T. 5/4 X 12  
TRIM BAND

DRIP EDGE

MIN. 1 1/2"  
CLEARANCE

P.T. 2 X 6 BAND  
AND FLASHING

EXTERIOR DOOR  
INSTALLATION  
PER B/A6

SD SCREW  
CONNECTOR  
PER FRMG. PLAN

CONT. 2 X  
2 X BLKG. CONT. BTWN. FJ

SD SCREW  
CONNECTOR  
PER FRMG. PLAN

AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL

2 X 4 OUTRIGGERS  
AT 24" O.C. PER  
FRAMING PLAN

CONNECTORS  
PER FRAMING  
PLAN

GIRDER ROOF  
TRUSSES PER  
FRAMING PLAN

HARDIE PANEL  
CEILING AT PORCH  
BOTTOM OF BEAM

EXTEND W/P  
MEMBRANE  
MIN. 10" UP  
WALL ALL  
SIDES OF  
PORCH

TOP OF PLYWD.  
AT 2ND FLOOR

2 X OVERFRAMING  
MAX. 24" O.C.

PORCH DECK ASSEMBLY  
P.T. 5/4 X 6 DECKING ON  
P.T. 2 X SLEEPERS AT 16"  
O.C. ON WATERPROOFING  
MEMBRANCE ON 3/4"  
PLYWD. SUB-FLOOR ON  
2 X 10 FJ W/ SLOPED TOP  
MIN. 1/4" PER FOOT

CONT. 2 X  
2 X BLKG. CONT. BTWN. FJ

SD SCREW  
CONNECTOR  
PER FRMG. PLAN

AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL

CONT. 2 X 10  
BLKG.  
SD SCREW  
CONNECTOR  
PER FRMG. PLAN

AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL

CONT. 2 X 10  
BLKG.  
SD SCREW  
CONNECTOR  
PER FRMG. PLAN

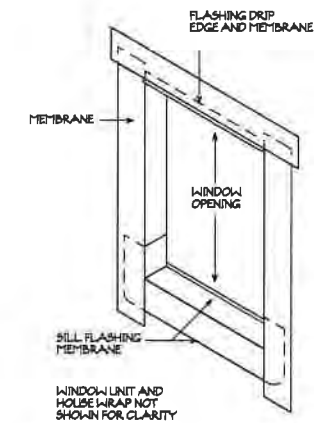
AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL

CONT. 2 X 10  
BLKG.  
SD SCREW  
CONNECTOR  
PER FRMG. PLAN

AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL

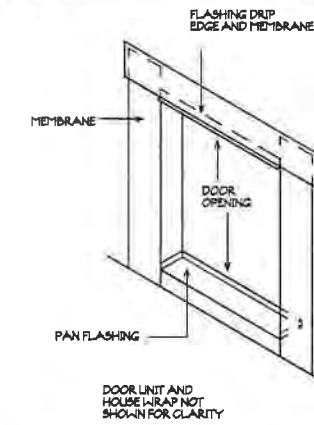
CONT. 2 X 10  
BLKG.  
SD SCREW  
CONNECTOR  
PER FRMG. PLAN

AT GARAGE CEILING  
PROVIDE 1/2" TYPE 'X'  
FIRE-RATED DRY-WALL



GENERAL NOTES  
A) WINDOWS TO BE INSTALLED USING  
"PROSOCCO FAST FLASH" MEMBRANE  
SYSTEM IN MINIMUM OF THREE (3)  
COATING LAYERS.  
B) WINDOW INSTALLATION AND  
WATERPROOFING TO COMPLY W/  
APPLICABLE REQUIREMENTS OF THE  
FOLLOWING:  
1) ASTM E2112  
2) FFA/AA/MA # 100-07, # 200-09 AND  
# 250-10  
3) WINDOW MANUFACTURER'S INSTALLATION  
GUIDELINES.

A TYP. WINDOW INSTALLATION DTL. N.T.S.



GENERAL NOTES  
A) DOORS TO BE INSTALLED USING  
"PROSOCCO FAST FLASH" MEMBRANE  
SYSTEM IN MINIMUM OF THREE (3)  
COATING LAYERS.  
B) DOOR INSTALLATION AND  
WATERPROOFING TO COMPLY W/  
APPLICABLE REQUIREMENTS OF THE  
FOLLOWING:  
1) ASTM E2112  
2) FFA/AA/MA # 100-07, # 200-09 AND  
# 250-10  
3) DOOR MANUFACTURER'S INSTALLATION  
GUIDELINES.

B TYP. EXT. DOOR INSTALLATION DTL. N.T.S.

This drawing and the design, layout, and construction details are the property of the Architect. It is to be used only for the project and site identified herein. It is not to be reproduced, copied, or used for any other project without the written consent of the Architect.

|                              |                   |
|------------------------------|-------------------|
| AA DORNER GARAGE<br>SECTIONS | PROJECT # D140603 |
|                              | DRAWN BY - JLM    |
|                              | CHKD BY - JLM     |
|                              | DATE - 07-30-19   |

**MIRANDA'S  
ARCHITECTS**  
300 1/2 CENTRE STREET, SUITE 208  
FERNANDINA BEACH, FL 32034  
TEL 904.281.4586  
FLA. ARCH. # 14887

GARAGE FOR THE  
**DORNER RESIDENCE**  
606 CEDAR STREET  
FERNANDINA BEACH, FL 32034

| SECTIONS AND DETAILS | REVISIONS | DATE |
|----------------------|-----------|------|
|                      |           |      |
|                      |           |      |
|                      |           |      |

**A6**



EXISTING HOUSE 606 CEDAR STREET



PROPOSED GARAGE/GUEST HOUSE

GARAGE FOR THE

**DORNER RESIDENCE**  
606 CEDAR STREET  
FERNANDINA BEACH, FL 32034

**MIRANDA  
ARCHITECTS**  
309 1/2 CENTRE STREET, SUITE 208  
FERNANDINA BEACH, FL 32034  
904.261.4586 TEL  
FL REG. NO. AA 100028



# HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 NAO0640  
Recorder # 332  
Field Date 3/20/2007  
Form Date 3/30/2007  
FormNo 200703  
FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

## GENERAL INFORMATION

Site Name (address if none) 606 Cedar St Multiple Listing (DHR only) \_\_\_\_\_  
Other Names \_\_\_\_\_ >> \_\_\_\_\_  
Survey or Project Name \_\_\_\_\_ Survey# \_\_\_\_\_  
National Register Category Building(s)

## LOCATION & IDENTIFICATION

### Address

| Street No. | Direction | Street Name  | Street Type   | Direction Suffix |
|------------|-----------|--------------|---------------|------------------|
| <u>606</u> |           | <u>Cedar</u> | <u>Street</u> |                  |

Cross Streets (nearest/ between) \_\_\_\_\_  
City / Town (within 3 miles) Fernandina Beach In Current City Limits? YES  
County Nassau Tax Parcel #(s) \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
Ownership \_\_\_\_\_  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

## MAPPING

USGS 7.5' Map Name \_\_\_\_\_ Publication Date \_\_\_\_\_ >> FERNANDINA BEACH; 2003  
Township: \_\_\_\_\_ Range: \_\_\_\_\_ Section: \_\_\_\_\_ 1/4 section: \_\_\_\_\_ >> 3N ; 28E ; 23; UNSP  
Irregular Section Name: \_\_\_\_\_  
Landgrant \_\_\_\_\_  
UTM: Zone \_\_\_\_\_ Easting \_\_\_\_\_ Northing \_\_\_\_\_  
Plat or Other Map (map's name, location) \_\_\_\_\_

## DESCRIPTION

Style Frame Vernacular Other Style \_\_\_\_\_  
Exterior Plan Rectangular Other Exterior Plan \_\_\_\_\_  
Number of Stories 1.5  
Structural System(s) \_\_\_\_\_ >> Wood frame  
Other Structural System(s) \_\_\_\_\_  
Foundation Type(s) \_\_\_\_\_ >> Piers  
Other Foundation Types \_\_\_\_\_  
Foundation Material(s) \_\_\_\_\_ >> Brick  
Other Foundation Material(s) \_\_\_\_\_  
Exterior Fabric(s) \_\_\_\_\_ >> Clapboard  
Other Exterior Fabric(s) \_\_\_\_\_  
Roof Type(s) \_\_\_\_\_ >> Gable  
Other Roof Type(s) \_\_\_\_\_  
Roof Material(s) \_\_\_\_\_ >> Composition shingles  
Other Roof Material(s) \_\_\_\_\_  
Roof Secondary Structure(s) (dormers etc) \_\_\_\_\_ >> Gable dormer  
Other Roof Secondary Structure(s) \_\_\_\_\_  
Number of Chimneys \_\_\_\_\_  
Chimney Material \_\_\_\_\_  
Other Chimney Material(s) \_\_\_\_\_  
Chimney Location(s) \_\_\_\_\_

# HISTORICAL STRUCTURE FORM

8NA00640

## DESCRIPTION (continued)

Window Descriptions 2/2, 1/1

Main Entrance Description (stylistic details) \_\_\_\_\_

Porches: #open 1 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) northPorch Roof Type(s) hip

Exterior Ornament \_\_\_\_\_

Interior Plan \_\_\_\_\_

Other Interior Plan \_\_\_\_\_

Condition Good

### Structure Surroundings

Commercial: \_\_\_\_\_ Residential: MOSTly this category

Institutional: \_\_\_\_\_ Undeveloped: \_\_\_\_\_

Ancillary Features (Number / type of outbuildings, major landscape features) \_\_\_\_\_

Archaeological Remains (describe): none

If archaeological remains are present, was an Archaeological Site Form completed? \_\_\_\_\_

Narrative Description (optional) \_\_\_\_\_

## HISTORY

Construction year 1900

Architect (last name first): \_\_\_\_\_

Builder (last name first): \_\_\_\_\_

### Changes in Locations or Conditions

| Type of Change | Year of Change | Date Change Noted | Description of Changes |
|----------------|----------------|-------------------|------------------------|
| >>             |                |                   |                        |

### Structure Use History

Use \_\_\_\_\_ Year Use Started \_\_\_\_\_ Year Use Ended \_\_\_\_\_ >> Private residence;1900;

Other Structure Uses \_\_\_\_\_

Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

## RESEARCH METHODS

Research Methods \_\_\_\_\_

>> FL Master Site File-Cultural Resources

Other research methods \_\_\_\_\_

## SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? \_\_\_\_\_

Name of Local Register if Eligible \_\_\_\_\_

Individually Eligible for National Register? NOPotential Contributor to NR District? YES

Area(s) of historical significance \_\_\_\_\_

>> Community planning & development

Other Historical Associations \_\_\_\_\_

Explanation of Evaluation (required) The resource contributes to the Fernandina Beach Historic District, which was listed in the NRHP in 1973 with a district boundary expansion in 1987.

# HISTORICAL STRUCTURE FORM

8NA00640

## DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF including Field Notes, Plans, other Important Documents.

Document type: \_\_\_\_\_

Maintaining Organization: \_\_\_\_\_

File or Accession #: \_\_\_\_\_

Descriptive Information: \_\_\_\_\_

>> \_\_\_\_\_

## RECORDER INFORMATION

Recorder Name (Last, First) Bland, Myles

Recorder Address / Phone 7035 Phillips HWY Ste. 5-129 Jacksonville, FL 904-448-4429

Recorder Affiliation Bland & Associates, Inc Other Affiliation \_\_\_\_\_

Is a Text-Only Supplement File Attached (Surveyor Only)? NO

## \*\*\*\*\* MASTER SITE FILE USE ONLY \*\*\*\*\*

Cultural Resource Type: SS

Electronic Form Used: S110

Form Type Code: NORM

Form Quality Ranking: NEW

Form Status Code: SCAT

SHPO's Evaluation of Resource

\_\_\_\_\_  
Date \_\_\_\_\_

Supplement Information Status: NO SUPPLEMENT

Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: \_\_\_\_\_

Computer Entry Date: 6/6/2007

Form Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

# **NA00640-200703**

## **Supplementary Printout**

- > **USGS map name/year of publication or revision:**  
FERNANDINA BEACH;2003
- > **Township/Range/Section/Qtr:**  
3N ;28E ;23;UNSP
- > **Structural system(s):**  
Wood frame
- > **Foundation types:**  
Piers
- > **Foundation materials:**  
Brick
- > **Exterior fabrics:**  
Clapboard
- > **Roof types:**  
Gable
- > **Roof materials:**  
Composition shingles
- > **Roof secondary structures (dormers etc):**  
Gable dormer
- > **Change status/year changed/date noted/nature:**
- > **Original, intermediate, present uses/year started/year ended:**  
Private residence;1900;
- > **Research methods:**  
FL Master Site File-Cultural Resources  
Examine local property records  
Pedestrian
- > **Area(s) of historical significance:**  
Community planning & development
- > **Repositories: Collection/Housed/Accession#/Describe**
- > **[Other name(s)]:**



NA640

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FLORIDA MASTER SITE FILE  
Site inventory Form

SITE NO. 8 NA 640

SITE NAME: 606 Cedar St.  
ADDRESS OF SITE: 606 Cedar St.  
INSTRUCTION FOR LOCATING: N/A

SURVEY DATE: 09/30/85

LOCATION: City of Fernandina Beach 127 1  
Subdivision Name Block No. Lot No.

COUNTY: Nassau

DISTRICT NAME IF APPLICABLE: Fernandina Beach Historic

OWNER OF SITE: NAME: Dresser, Kenneth & Cecilia

ADDRESS: c/o K. Dresser

ADDRESS: Yulee, FL 32097

TYPE OF OWNERSHIP: private

RECORDING DATE: / /

RECORDER: NAME & TITLE: Historic Property Associates, Inc.

ADDRESS: P. O. Box 1002

St. Augustine, FL 32084

CONDITION OF SITE: INTEGRITY OF SITE:  
Check One Check one or more

|              |   |               |                            |
|--------------|---|---------------|----------------------------|
| EXCELLENT    | x | ALTERED       | ORIGINAL USE pvt.residence |
| x GOOD       |   | UNALTERED     | PRESENT USE pvt.residence  |
| FAIR         | x | ORIGINAL SITE | DATES c.+ 1909             |
| DETERIORATED |   | RESTORED: / / | CULTURE/PHASE American     |
|              |   | MOVED: / /    | PERIOD: 20th Century       |

NR CLASSIFICATION CATEGORY: building

DATE LISTED ON NR: / /

THREATS TO SITE: Check one or more

ZONING

TRANSPORTATION

DEVELOPMENT

FILL

DETERIORATION

DREDGE

BORROWING

OTHER (See Remarks Below)

AREAS OF SIGNIFICANCE: architecture

SIGNIFICANCE

See Continuation Sheet

RECORD NUMBER 301

ARCHITECT:

BUILDER:

STYLE AND/OR PERIOD: frame vernacular # "folk house"

PLAN TYPE: rectangular

EXTERIOR FABRIC(S): metal: aluminum siding

STRUCTURAL SYSTEM(S): wood frame: balloon

PORCHES: N/1-story veranda, 5-bay, access N, 3rd bay; hip  
roof; square posts

ORIENTATION: N

FOUNDATION: piers: brick, concrete, poured

ROOF TYPE: gable

SECONDARY ROOF STRUCTURE(S):

CHIMNEY LOCATION:

WINDOW TYPE: DHS, 2/2, wood

CHIMNEY:

ROOF SURFACING: composition shingles: butt

ORNAMENT EXTERIOR: wood

NO. OF CHIMNEYS 0

NO. OF STORIES 1

NO. OF DORMERS: 0

OUTBUILDINGS:

SURROUNDINGS:

SITE SIZE (approx. acreage) LT1

| TOWNSHIP | RANGE | SECTION |
|----------|-------|---------|
| 3N       | 28E   | 22      |

| UTM ZONE | UTM EASTING | UTM NORTHING |
|----------|-------------|--------------|
|----------|-------------|--------------|

PHOTOGRAPHIC RECORDS NUMBERS:

CONTINUATION SHEET:

606 Cedar St. is located within a subdivision known as the City of Fernandina. The subdivision was laid-out on a series of Spanish land grants acquired by Domingo Fernandez, a ships captain and planter, and his family during the early nineteenth century. Following the acquisition of Florida by the United States in 1821, the heirs of Domingo Fernandez sold the land grants which contained the Eliza or Louisa and Yellow Bluff Plantations to David Levy Yulee, President of the Florida Railroad Company and the first United States Senator from Florida. The Florida Railroad Company recorded the plat of the City of Fernandina in 1857 and the Florida Town Improvement Company revised it in 1887 and 1901.

Constructed c. 1909, it is a one-story frame vernacular residential building. It is noteworthy for its transom over entrance and double pile central hall plan.

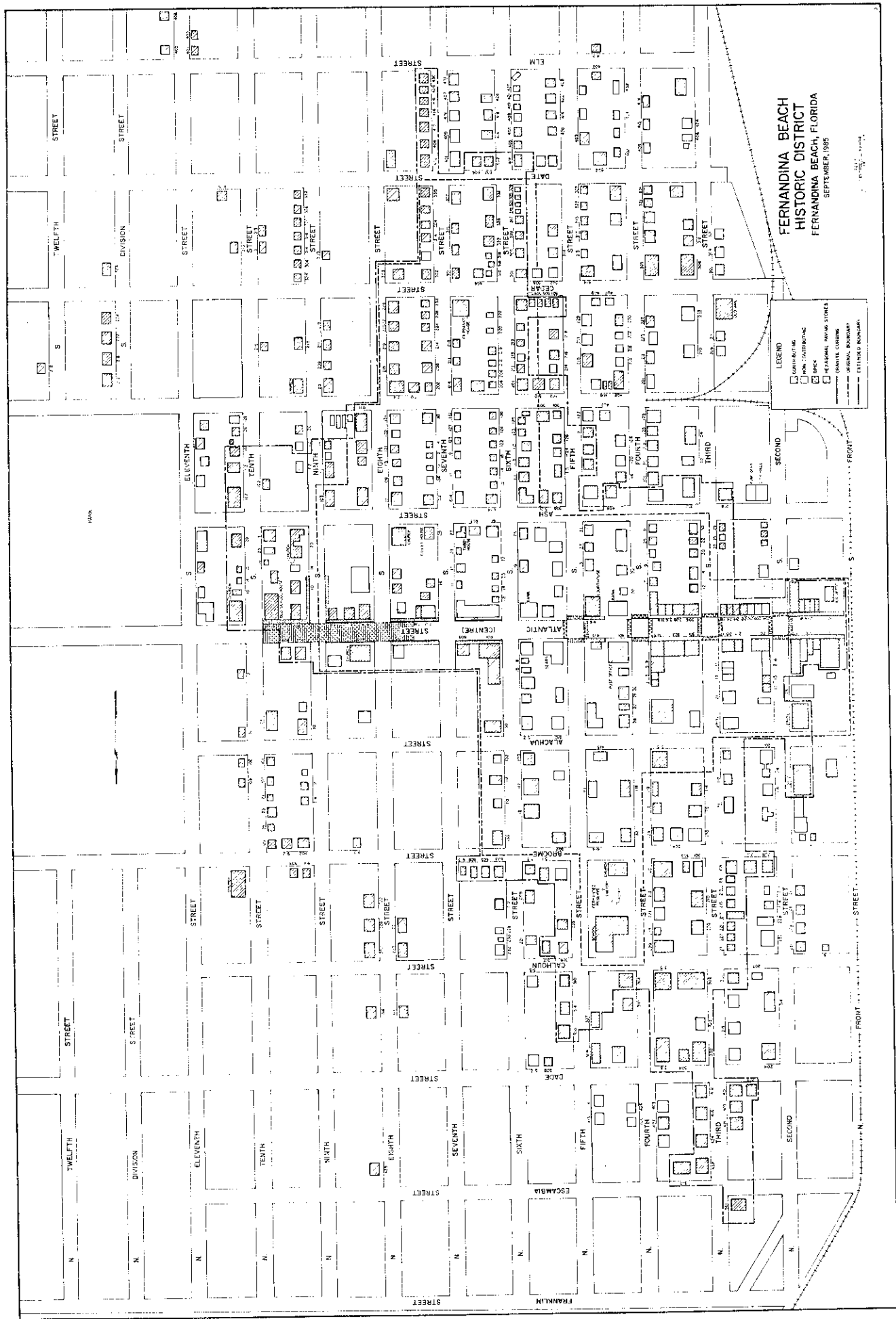


Figure 24

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NA640



| PARCEL INFORMATION TABLE |                                      |
|--------------------------|--------------------------------------|
| Selected Parcel          | 00-00-31-1800-0127-0011              |
| GIS CALCULATED ACREAGE   | 0.14                                 |
| Property Use             | SINGLE FAM                           |
| Land Use                 | SFR                                  |
| OWNERSHIP INFORMATION    |                                      |
| Name                     | BAKER ROGER A & LINDA L              |
| Mailing Address          | 851 STATE ROAD<br>OIL CITY, PA 16301 |
| Situs/Physical Address   | 606 CEDAR ST                         |
| 2006 PROPOSED VALUES     |                                      |
| Land Value               | 90,000                               |
| Ag Land Value            | 0                                    |

☐ Original  
☒ Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site # **NA00640**  
 Field Date 2-14-2018  
 Form Date 2-14-2018  
 Recorder # \_\_\_\_\_

Shaded Fields represent the minimum acceptable level of documentation.  
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 606 Cedar St. Multiple Listing (DHR only) \_\_\_\_\_  
 Survey Project Name Fernandina Beach Historic Resource Survey Update Survey # (DHR only) \_\_\_\_\_  
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object  
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

### LOCATION & MAPPING

Address: 606 Cedar Street Suffix Direction  
 Cross Streets (nearest / between) \_\_\_\_\_  
 USGS 7.5 Map Name FERNANDINA BEACH USGS Date \_\_\_\_\_ Plat or Other Map \_\_\_\_\_  
 City / Town (within 3 miles) Fernandina Beach In City Limits? ☒ yes ☐ no ☐ unknown County Nassau  
 Township 3N Range 28E Section 23 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: \_\_\_\_\_  
 Tax Parcel # 00-00-31-1800-0127-0011 Landgrant \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting        Northing         
 Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
 Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1900 ☒ approximately ☐ year listed or earlier ☐ year listed or later  
 Original Use Private Residence (House/Cottage/Cabin) From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Current Use Private Residence (House/Cottage/Cabin) From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
 Moves: ☐ yes ☐ no ☒ unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature Some windows; some siding  
 Additions: ☒ yes ☐ no ☐ unknown Date: \_\_\_\_\_ Nature Rear gable extension  
 Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
 Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe Downtown historic district

### DESCRIPTION

Style Frame Vernacular Exterior Plan T-shaped Number of Stories 1.5  
 Exterior Fabric(s) 1. Weatherboard 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof Material(s) 1. Sheet metal:standing seam 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Roof secondary strucs. (dormers etc.) 1. Gable dormer 2. \_\_\_\_\_  
 Windows (types, materials, etc.) 2/2 dhs

Distinguishing Architectural Features (exterior or interior ornaments) Central hall form; transom; gable dormers; chamfered supports

Auxiliary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

|                                          |                                                                                                                                                                                           |
|------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NR List Date _____                       | SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____                |
| <input type="checkbox"/> Owner Objection | KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____                                                                                         |
|                                          | NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2) |

**DESCRIPTION (continued)**Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_Foundation Type(s): 1. Piers 2. \_\_\_\_\_Foundation Material(s): 1. Brick 2. \_\_\_\_\_Main Entrance (stylistic details) Half light door w transom; decorative screen doorPorch Descriptions (types, locations, roof types, etc.) Entry/N, open, hip, full facade, chamfered supports and railingCondition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource \_\_\_\_\_

Archaeological Remains \_\_\_\_\_ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (check all that apply)**☒ FMSF record search (sites/surveys)☒ library research☐ building permits☒ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☒ plat maps☐ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☒ historic photos☐ interior inspection☒ HABS/HAER record search☐ other methods (describe) \_\_\_\_\_

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) \_\_\_\_\_

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☒ yes☐ no☐ insufficient informationExplanation of Evaluation (required, whether significant or not, use separate sheet if needed) This is an update-the building has been deemed a contributing resource to the Fernandina Beach Historic District, which was listed in the NRHP in 1973 with a district boundary expansion in 1987.Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. Community planning & development 3. \_\_\_\_\_ 5. \_\_\_\_\_

2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_

Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_

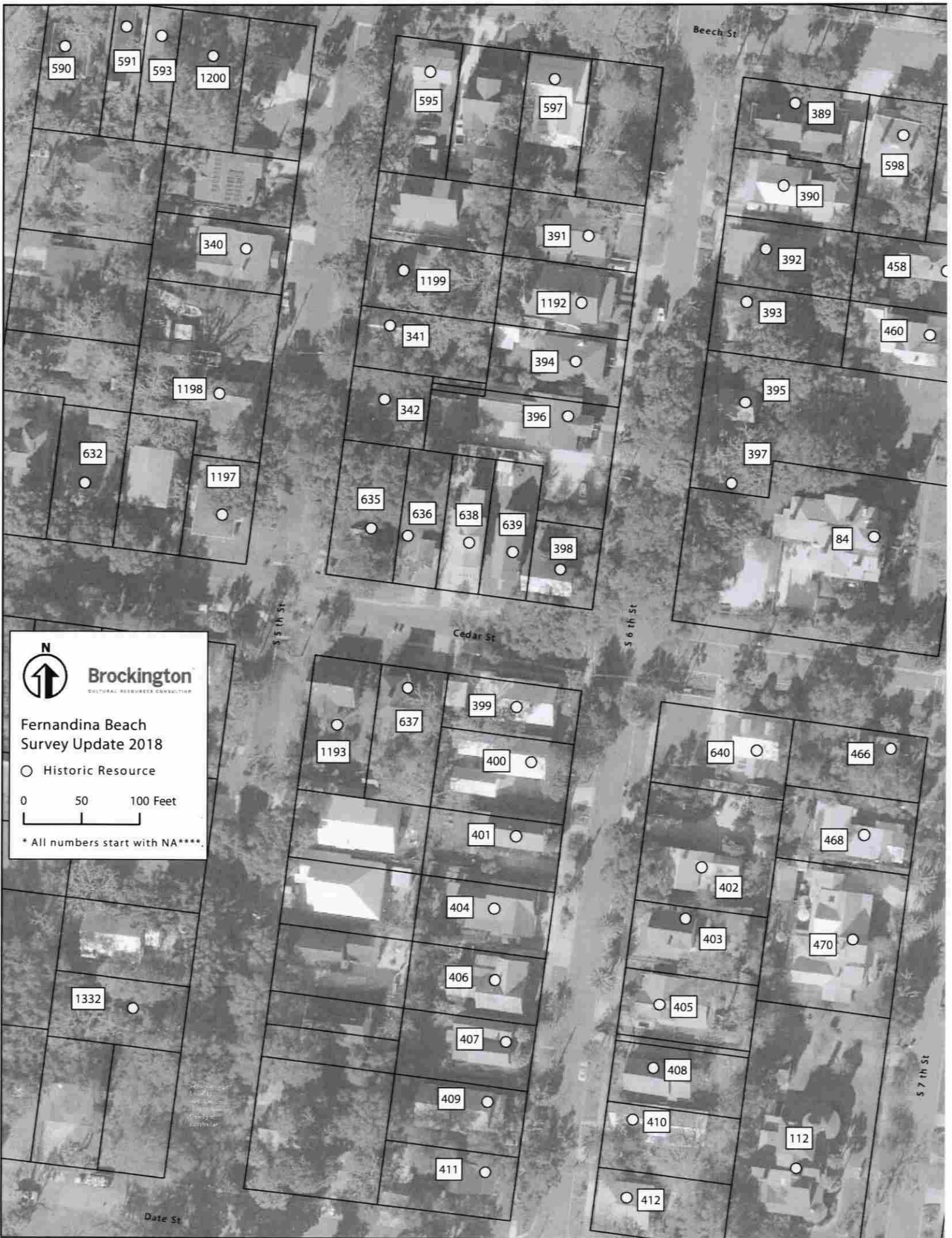
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name Sheldon Owens Affiliation Brockington and Assoc. Inc.Recorder Contact Information 498 Wando Park Blvd. Suite 700, Mt. Pleasant SC 29464; 843-881-3128

(address / phone / fax / e-mail)

**Required Attachments**● **USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED**● **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)● **PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE**If submitting an image file, it must be included on disk or CD **AND** in hard copy format (plain paper is acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**Brockington**  
CULTURAL RESOURCES CONSULTING

**Fernandina Beach  
Survey Update 2018**

○ Historic Resource

0 50 100 Feet

\* All numbers start with NA\*\*\*\*.







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