

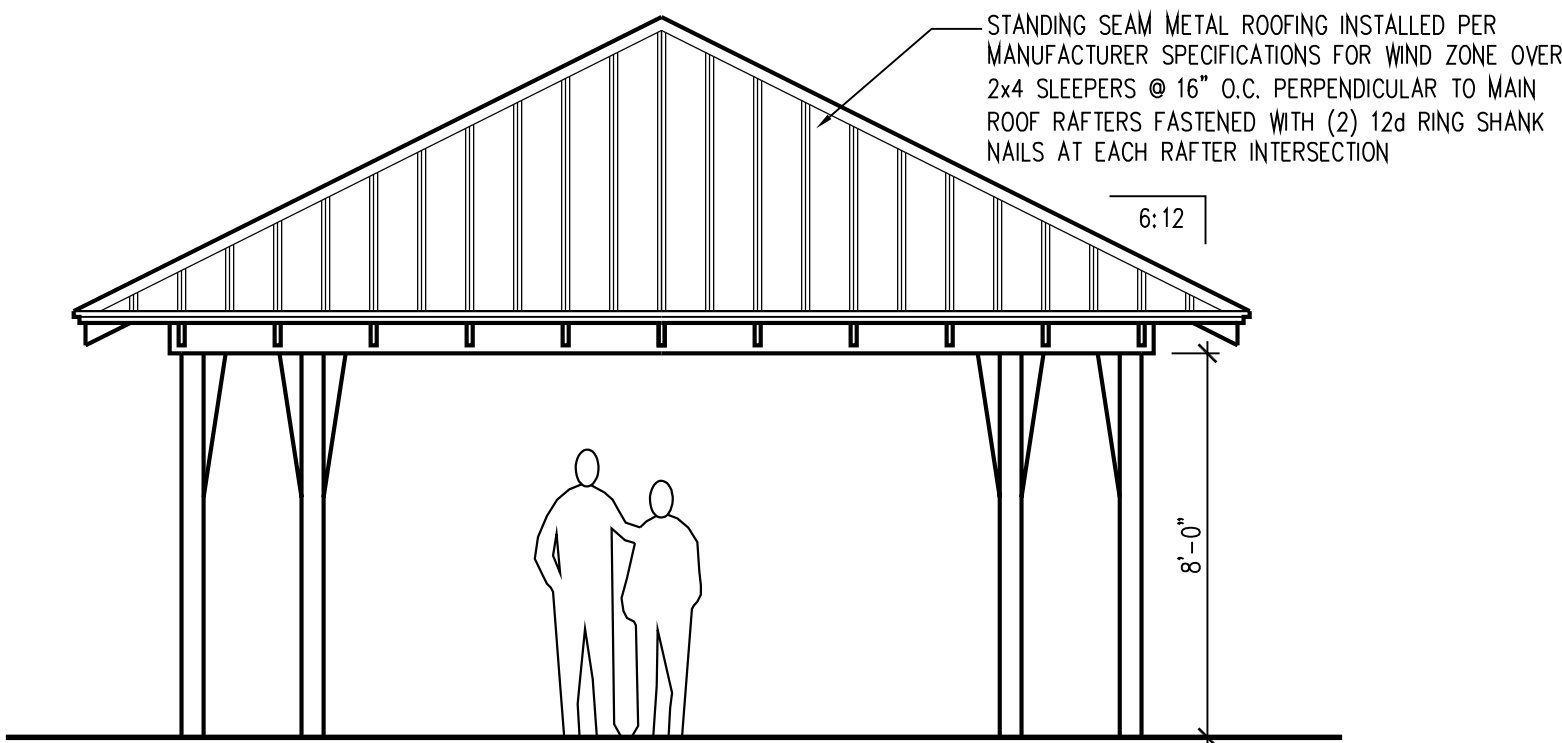


**AGENDA  
PARKS AND RECREATION ADVISORY COMMITTEE  
REGULAR MEETING  
OCTOBER 8, 2019  
4:00 PM  
CITY HALL COMMISSION CHAMBERS  
204 ASH STREET  
FERNANDINA BEACH, FL 32034**

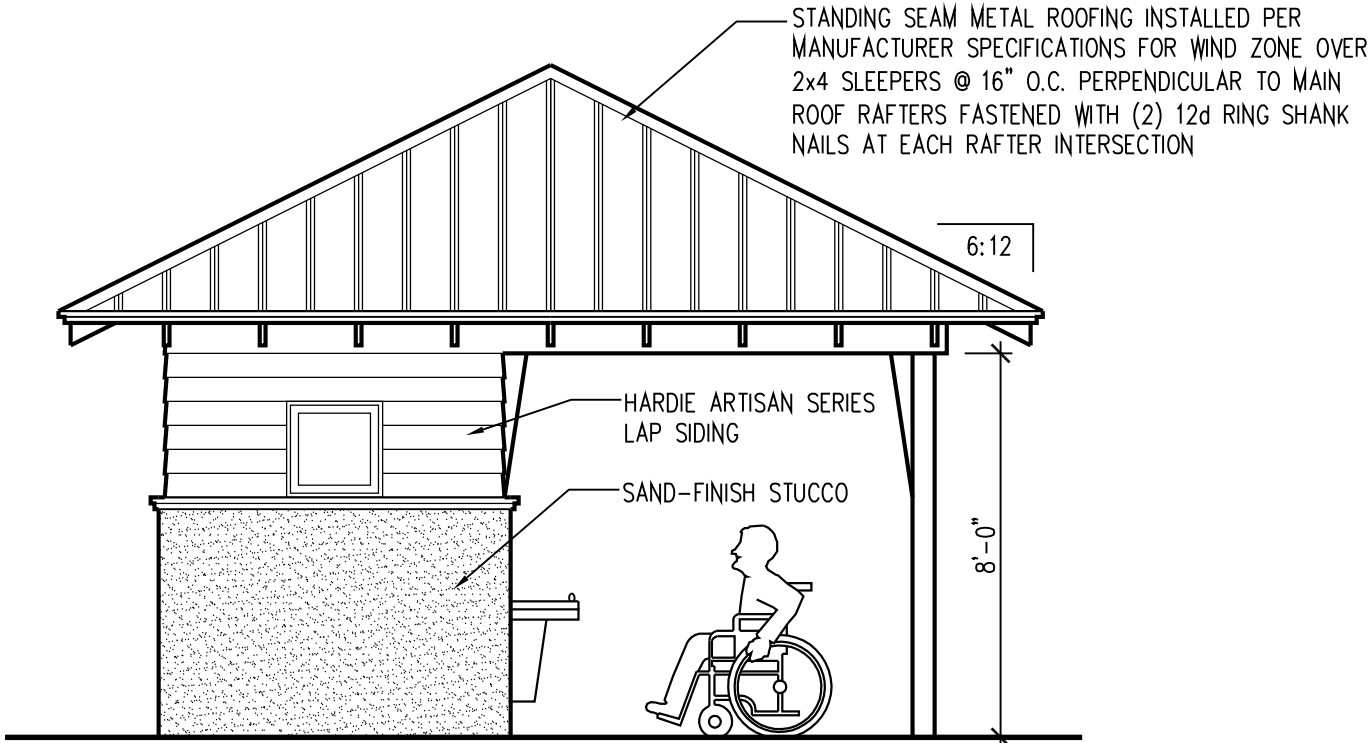
- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. MINUTES**
- 4. DISCUSSION**
  - 4.1 Simmons Park
  - 4.2 Master Plan
- 5. OTHER BUSINESS**
- 6. ADJOURNMENT**

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at 904-310-3115 or TTY/TDD 711 (for the hearing or speech impaired).

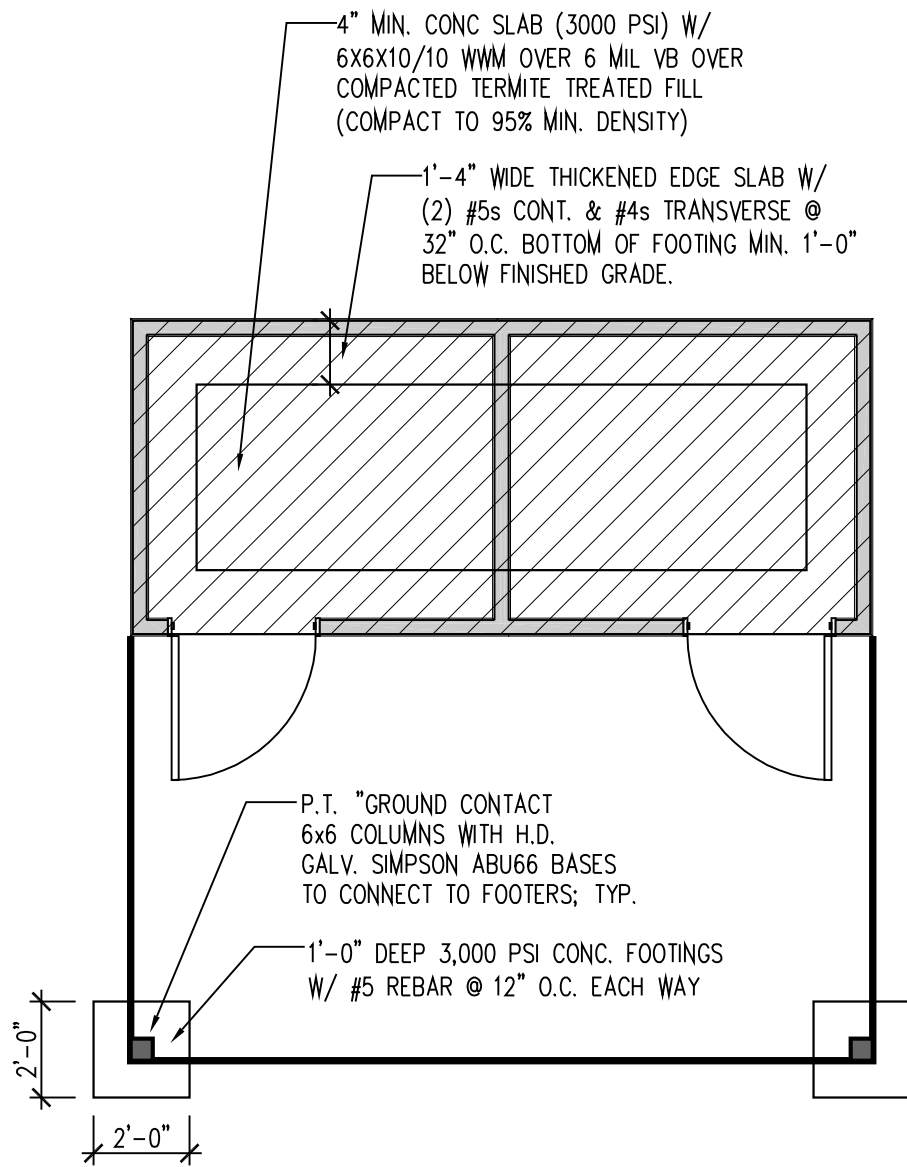
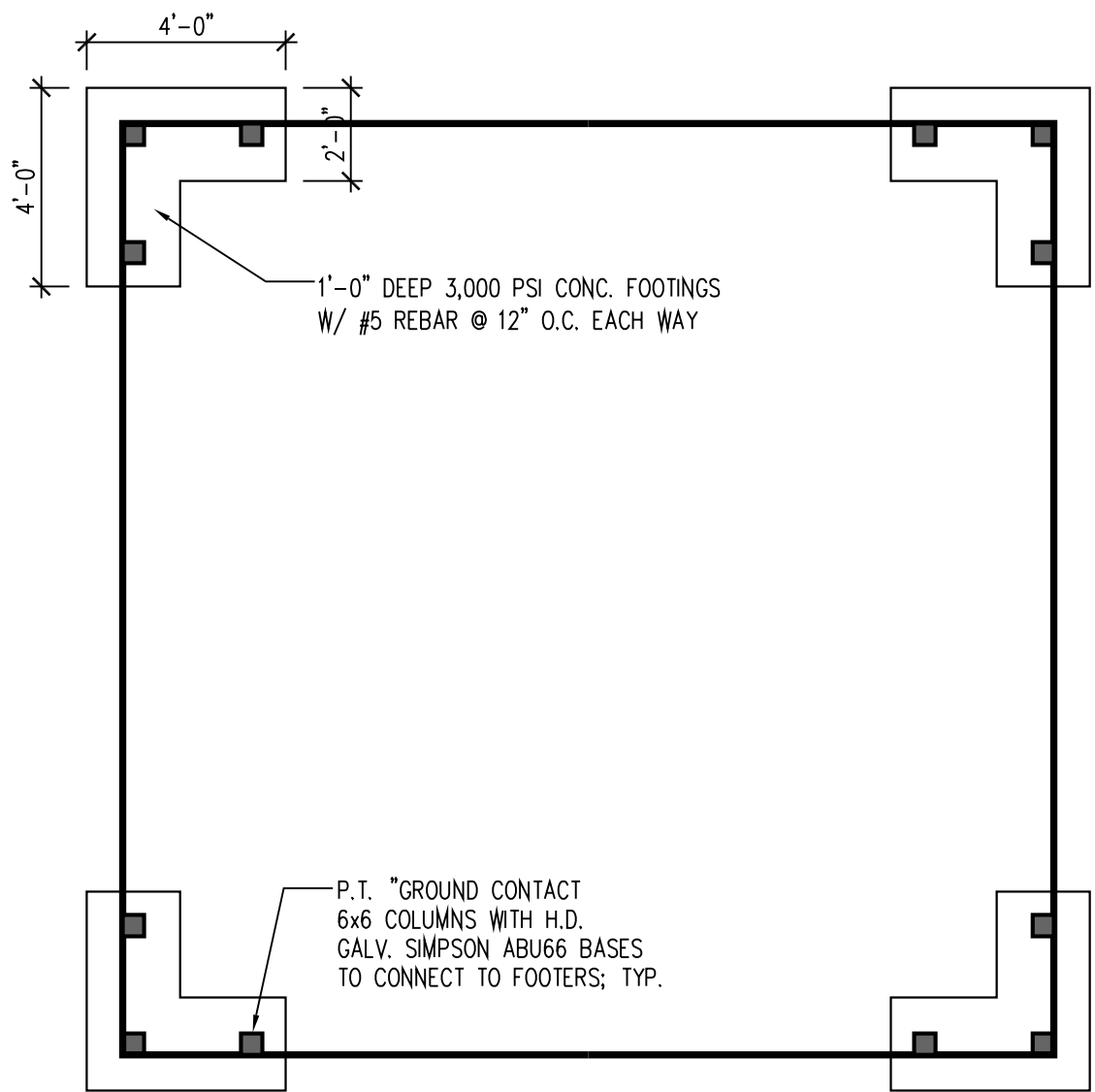
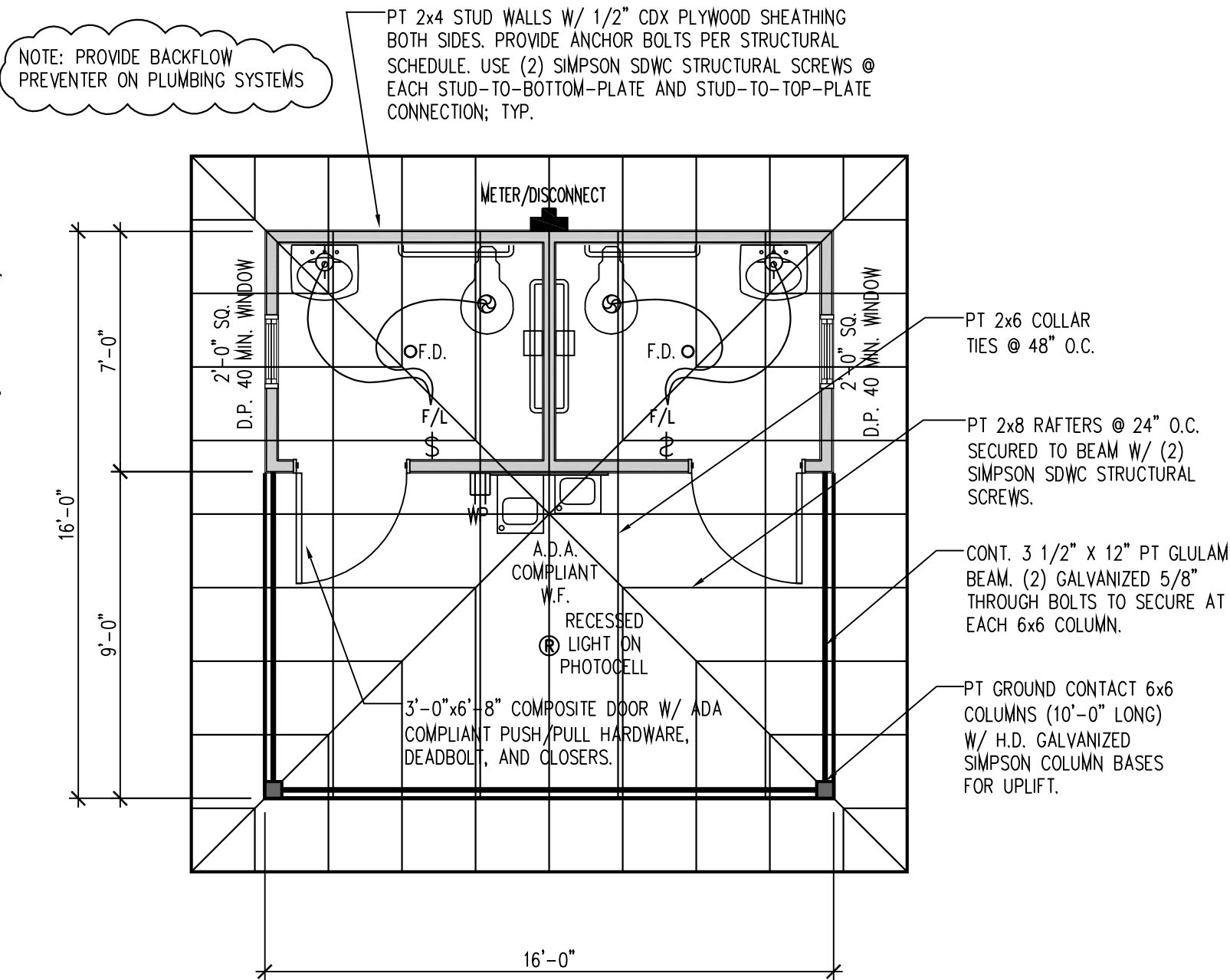
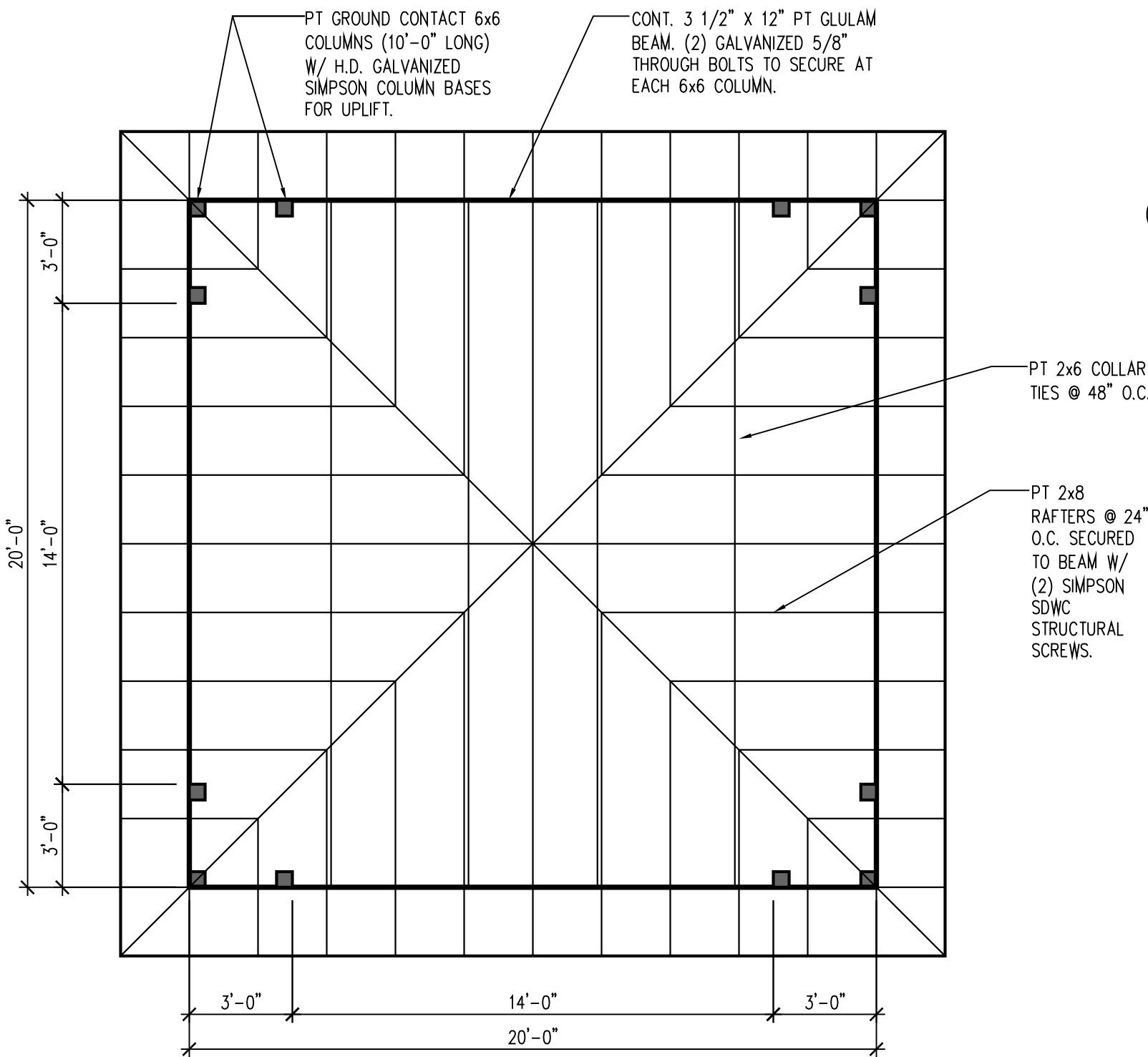




SMALL PAVILION



RESTROOMS



| Revisions |  | Description | Date |
|-----------|--|-------------|------|
| No.       |  |             |      |
|           |  |             |      |
|           |  |             |      |

| PROGRESS PRINTS                                                                                                                                                                                                                   |      | Restrictions |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|--------------|
| Issue                                                                                                                                                                                                                             | Date |              |
|                                                                                                                                                                                                                                   |      |              |
|                                                                                                                                                                                                                                   |      |              |
| Not Published + All Rights Reserved                                                                                                                                                                                               |      |              |
| This drawing is the property of the Architect. It is to be used only for the project for which it was prepared. It is not to be used for any other project or for any other purpose without the written consent of the Architect. |      |              |

## FOUNDATION & STRUCTURAL NOTES

- REFERENCE: ASTM C 90, ACI 303

- DIMENSIONS: COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.

- FOOTINGS: REFER TO STRUCTURAL DWGS. FIRST; IF NO INFO APPEARS, THEN CENTER FOOTINGS UNDER LOAD BEARING MASONRY AND COLUMNS; FOOTINGS MAY BEAR ON EITHER COMPACTED NATURAL SOILS OR COMPACTED STRUCTURAL FILL; THE BEARING LEVEL SOILS, AFTER COMPACTION, SHOULD EXHIBIT DENSITIES EQUIVALENT TO 95% OF THE MODIFIED PROCTOR DRY DENSITY (ASTM D 1557) TO A DEPTH OF AT LEAST 12" BELOW THE FOUNDATION BEARING LEVELS.

- COMPACTION TESTS AND STRUCTURAL BACKFILL: BACKFILL SHALL BE PLACED IN LOOSE LIFTS **NOT EXCEEDING 6"** AND COMPACTIONED. CONTRACTOR SHALL PROVIDE COMPACTION DENSITY TESTS AND SUBMIT TO ARCHITECT AT BEARING LEVELS OF SOIL AS FOLLOWS (PER ASTM D1556, D2167, D2922, OR D3017): 1. UNDER SLAB; (2) MIN DENSITY TESTS W/IN BLDG AREA @ FINISHED GRADE OF SLAB POUR 2. PAD FOOTINGS: (1) DENSITY TEST FOR EVERY 50 s.f. OF BRNG AREA 3. CONT. FOOTINGS: (1) DENSITY TEST PER 100 LIN. FEET OF CONT. FTG BEARING SURFACE

- FILL TYPES: A. GENERAL FILL (WHERE NOTED): SUBSOIL EXCAVATED ON-SITE OR IMPORTED NATURAL RIVER OR BANK SAND, FREE OF SILT, LOAM, FRIABLE OR SOLUBLE MATERIALS, OR ORGANIC MATTER; NO SUGAR SAND, FREE OF LUMPS >3", FREE OF ROCK >4" B. GRANULAR FILL (UNDER SLABS ON GRADE): CRUSHED STONE, GRADED AND FREE OF SHALE, CLAY, SAND, FRIABLE MATERIALS AND DEBRIS C. SAND (OVER BURIED UTIL. PIPING & CONDUITS IN TRENCHES & UNDER SLABS): NATURAL RIVER OR BANK SAND; WASHED, FREE OF SILT, CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS, AND ORGANIC MATTER (ASMTD2487 GROUP SYMBOL SW)

- CONCRETE: NORMAL WEIGHT, 28 DAY, (AVG. 2 CYLINDERS) CONVENTIONAL SHALLOW FOOTINGS ----- 3000 PSI SLABS ON GRADE ----- 3000 PSI ELEVATED SLABS ----- 4000 PSI BEAMS ----- 4000 PSI ALL OTHER CONCRETE (JOIN) ----- 4000 PSI

- ALLOWABLE SLUMP: SLABS AND FOOTINGS, BEAMS: 3"-5" NOTE: STRUCTURAL CONCRETE SUSCEPTIBLE TO EFFECTS OF SALT ENVIRONMENT TO BE 5,000 PSI, I.E. PILES, BEAMS & COLUMNS OF OCEANFRONT PROPERTIES

- GROUT: 8-11" SLUMB, 3000 PSI @ 28 DAYS, MAX. COURSE AGGREGATE SIZE OF 1/2"

- MASONRY/CMU: HOLLOW CMU, ASTM C90, TYPE 11, Fm' 1500 PSI; MASONRY MORTAR: ASTM C270, TYPE "S"

- HORIZONTAL JOINT REINFORCEMENT: 9 GAUGE LADDER TYPE ASTM A153 CLASS B-2 W/ 1.5 OUNCES OF ZINC PER FOOT COATING; INSTALL @ 16" O.C. VERT. UNO.

- REINFORCING BARS: ASTM A615, GRADE 60 DEFLECTED, 25" MIN. VERT. DIST. REINFORCING BARS: CONCR. IN CONTACT WITH EARTH = 3" CONCR. EXPOSED TO THE WEATHER = 2" CONCR. NOT EXPOSED TO WEATHER = 1 1/2" MASONRY WALLS EXPOSED TO WEATHER = 2" MASONRY NOT EXPOSED TO WEATHER = 1 1/2" REINFORCEMENT BARS EMBEDDED IN GROUTED MASONRY CELLS SHALL HAVE A MIN. CLEARANCE OF 1/2" BETWEEN BARS AND ANY FACE OF A CELL. ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF THE CONCRETE.

- PROTECTION OF METALS IN CONCRETE: ALL ANGLES, BAR, ANCHOR BOLTS, ETC. EMBEDDED IN CONCRETE SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION. STRUCTURAL ITEMS TOO LARGE TO BE HOT DIPPED GALVANIZED SHALL BE PAINTED WITH GALV. COLD PRIMER.

- ANCHOR BOLTS/EMBEDMENT FOR WOOD PLATE CONNECTION: PROVIDE 5/8" diam GALV. ANCHOR BOLTS W/ 3" x 3" x 1/8" GALV. PLATE WASHERS AT BOTH SIDES OF CORNERS, EACH SIDE OF ALL OPENINGS, SHEAR WALL ANCHOR LOCATIONS, AND AT 32" O.C. EMBED BOLTS MIN. OF 6" IN CONCR. SLABS & MASONRY CONST. REFER TO FRAMING CONNECTORS SCHEDULE FOR REFERENCE.

- CONCRETE SLABS: 4" MIN. THICKNESS OVER 6 MIL VAPOR BARRIER OVER TERMITRE TREATED SOIL (APPLIED IMMED. PRIOR TO INSTALL. OF VAPOR BARRIER (5 YEAR INSTALLER'S WARRANTY-COORD. DETAILS W/ OWNER) COMPACTED TO 95% MIN. COMPACTION. SUBMIT TO ARCHITECT CERTIFICATE OF TREATMENT FOR TREATED SOILS.

- CONCRETE CRACK CONTROL: AT EXPOSED LOCATIONS: 6X6X10/10 W/H.F. @ ALL CONCRETE SLABS TO BE LEFT EXPOSED, CENTER AND SUPPORT MESH @ 3" O.C. EACH WAY MAX. W/ APPROVED SUPPORTS; WELDED WIRE FABRIC (W.W.F.): ASTM A185, WELDED STEEL WIRE FABRIC, PLAIN TYPE AND FINISH LAP 6" @ SIDES. AT CONCEALED LOCATIONS (TO BE COVERED BY FINISH FLOORING): AT CONTRACTOR'S OPTION (BUT FIRST MUST RECEIVE APPROVAL FROM OWNER), SYNTHETIC FIBER REINFORCEMENT MAY BE SUBSTITUTED. FIBER LENGTHS SHALL BE 1/2" TO 2" IN LENGTH. DOSAGE AMOUNTS SHALL BE FROM .75# TO 1.5# PER CUBIC YARD IN ACCORDANCE W/ MANUF. RECOMMENDATIONS. COMPLY W/ ASTM C 116.

- EXPANSION AND CONSTRUCTION JOINTS: PROVIDE AS REQUIRED TO COMPLY WITH STANDARDS OF THE AMERICAN CONCRETE ASSOCIATION. PROVIDE 1/2" PREMOLOD EXPANSION JOINT WHERE SLABS ON GRADE ARE POURED AROUND COLUMNS, PEDESTALS, AND FOUNDATION MATS. GRADE

| REBAR SPlice SCHEDULE |     |       |
|-----------------------|-----|-------|
| BAR SIZE              | LAP | SPICE |
| #3                    | 15" |       |
| #4                    | 20" |       |
| #5                    | 25" |       |

## FASTENING SCHEDULE

THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THOSE SPECIFIED IN THIS SCHEDULE. NAILS AND OTHER FASTENING DEVICES OF A TYPE OTHER THAN THOSE SHOWN IN THE SCHEDULE SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE FOLLOWING GUN SIZED NAILS MAY BE SUBSTITUTED FOR PENNY SIZED NAILS:

6d = 2" x .266"; 8d = 2 1/2" x .281"; 10d = 3" x .313"; 12d = 3 1/2" x .313"; 16d = 3 3/4" x .344"

| CONNECTION                                      | FASTENER   | I / SPACING               |
|-------------------------------------------------|------------|---------------------------|
| BAND JOIST TO SILL OR TOP PLAN, TOE NAIL        | 8d         | 6" O.C.                   |
| JOIST TO BAND JOIST, FACE NAIL                  | 16d common | 3                         |
| JOIST TO SILL OR GROSS, TOE NAIL                | 8d common  | 3                         |
| JOIST TO SILL OR GROSS, TOE NAIL                | 8d common  | 3                         |
| BRIDGING TO JOIST, TOE NAIL EA. END             | 8d common  | 2                         |
| 2x LEDGER STRIP                                 | 16d common | 3 @ EA. JOIST             |
| 1x6 SUBFLOOR TO EA. JOIST, FACE NAIL            | 8d common  | 2                         |
| OVER 1x6 SUBFLOOR TO EA. JOIST, FACE NAIL       | 8d common  | 3                         |
| 2" SUBFLOOR TO JOIST OR GROSS, FACE NAIL        | 16d common | 2                         |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL      | 16d common | 16" O.C.                  |
| TOP OR SOLE PLATE TO STUD, END NAILED           | 16d common | 2                         |
| STUD TO SOLE PLATE, TOE NAIL                    | 8d common  | 4                         |
| DOUBLED STUDS, FACE NAIL                        | 10d common | 24" O.C.                  |
| DOUBLED TOP PLATES, FACE NAIL                   | 10d common | 16" O.C.                  |
| TOP PLATES, LAP & INTERSECTIONS, FACE NAIL      | -----      | (2) 16d OR (3) 10d COMMON |
| CEILING JOISTS TO PLATE, TOE NAIL               | 16d common | 16" O.C. along each edge  |
| CEILING JOISTS TO PLATE, TOE NAIL               | 8d common  | 3                         |
| CONTINUOUS HEADER TO STUD, TOE NAIL             | 8d common  | 3                         |
| CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL | -----      | (3) 16d OR (4) 10d        |
| CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL   | -----      | (2) 16d OR (4) 10d        |
| RAFTER/TRUSS TO PLATE, TOE NAIL                 | 8d common  | 3                         |
| 1" BRACE TO EA. STUD & PLATE, FACE NAIL         | 8d common  | 2                         |
| 1x8 SHEATHING OR LESS TO EA. BEARING, FACE NAIL | 8d common  | 2                         |
| OVER 1x8 SHEATHING TO EA. BEARING, FACE NAIL    | 8d common  | 3                         |

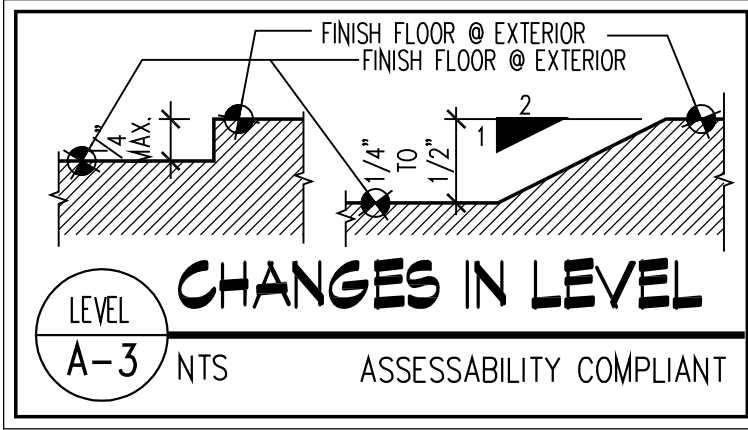
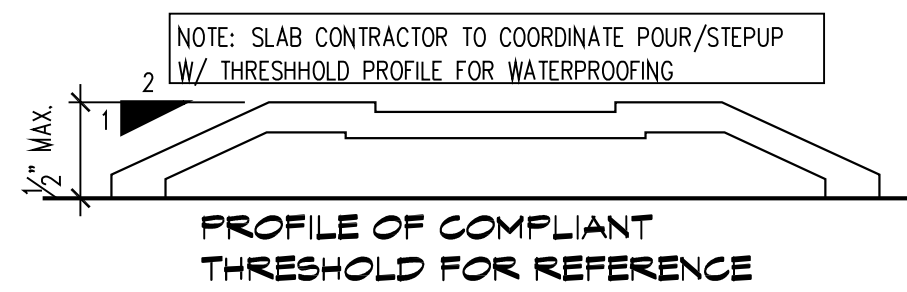
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|-------------------------------------------------|-----------------------------------------------------------|--------------------------------------|
| BUILT-UP CORNER STUDS                           | 16d common -OR- 13"x13" @ 6" O.C. STAGG.                  | 6" O.C.                              |
| 2" PLANKS, DECKING                              | 16d common annular                                        | 2 ea. bearing                        |
| 5/4" PLANKS, DECKING                            | 12d common annular                                        | 2 ea. bearing                        |
| STUDS TO SOLE PLATE, END NAIL                   | 16d common                                                | 2 ea. end                            |
| WOOD SING: 1/2"-3/4": (1), 3/4": (3), 3/4": (4) | 1 1/4" - #8 type W Bugle Head Screw                       | 7" o.c. on chng 8" o.c. on walls     |
| HARDBOARD LAP SING OVER SHEATHING               | 10d (61/7) corrosion resistant; shank 0.092", head 0.240" | 16" o.c. @ top & bottom edges        |
| HARDBOARD PANEL SING OVER SHEATHING             | 8d(61/7) corrosion resistant; shank 0.092", head 0.226"   | 6" o.c. edges; 12" o.c. intermediate |
| CALV. METAL LATH TO SUBSTRATE                   | 1" MIN GALV. NAILS @ 6" O.C.                              | ATTACHED TO SUPPORTS, NOT SHEATHING  |

## SHEATHING & DECKING FASTENING SCHEDULE

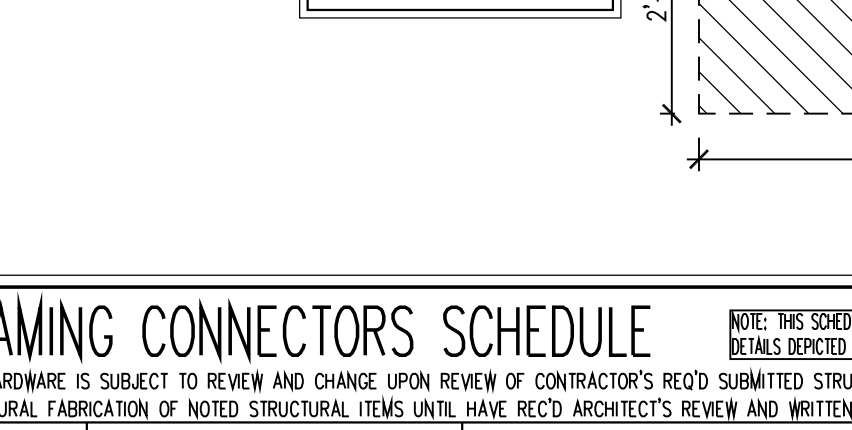
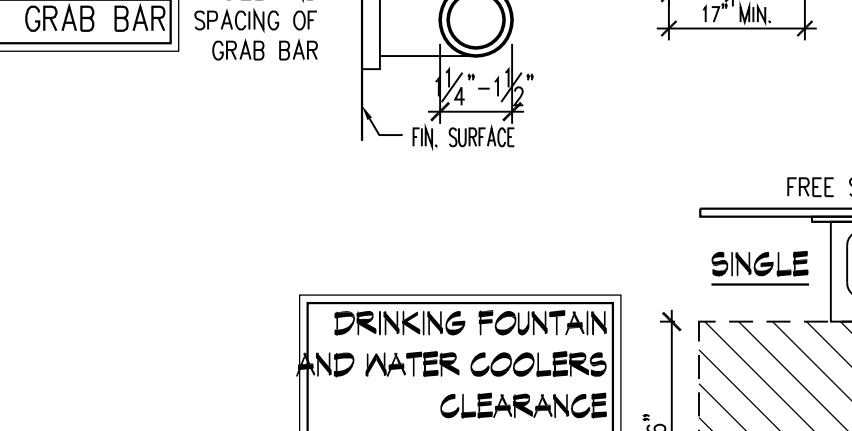
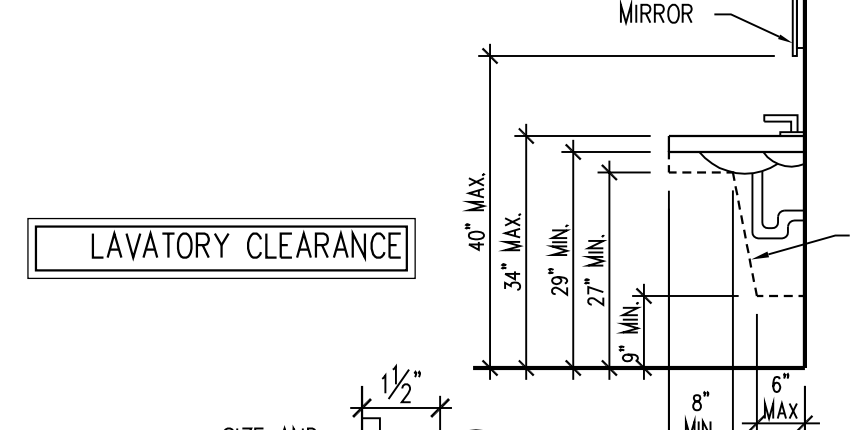
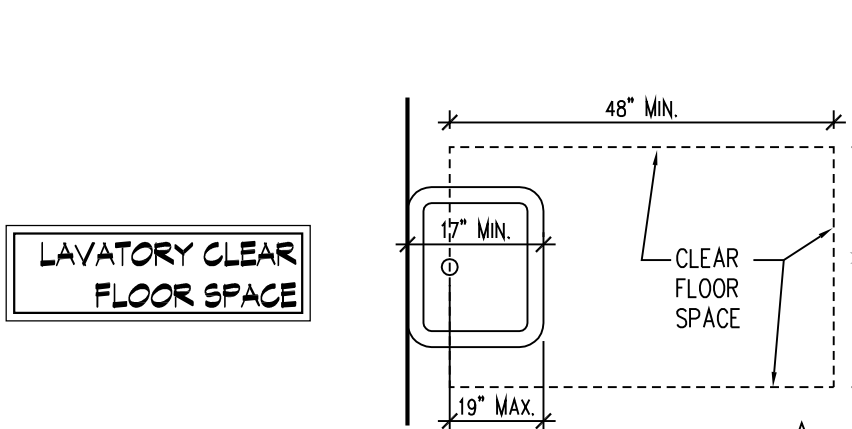
| CONNECTION                                          | FASTENER                                   | I / SPACING                                                             |
|-----------------------------------------------------|--------------------------------------------|-------------------------------------------------------------------------|
| WALL SHEATHING AND ROOF DECKING: 1/2" THICK OR LESS | 8d common ring shank @ roof                | *****IMPORTANT FOR SHEAR STRENGTH***** 3/2" o.c. Edges; 6" o.c. Interm. |
| GREATER THAN 1/2" THICK                             | 10d common ring shank @ roof               | 3/2" o.c. Edges; 6" o.c. Interm.                                        |
| OTHER PLYWOOD & SUBLOORING: 1/2" OR LESS            | 6d com, annular OR spiral thread           | 6" o.c. Edges; 12" o.c. Interm.                                         |
| 1/2" OR LESS                                        | 8d com, OR 6d annular OR 6d spiral thread  | 6" o.c. Edges; 12" o.c. Interm.                                         |
| 1/2" AND GREATER                                    | 10d com, OR 8d annular OR 8d spiral thread | 6" o.c. Edges; 12" o.c. Interm.                                         |

|                                            |                              |                             |
|--------------------------------------------|------------------------------|-----------------------------|
| SHEATHING: GYPSUM (EXTERIOR): 1/2" OR LESS | 11 ga 1 1/2" gph, 1/16" hole | o.c. Edges; 8" o.c.         |
| 1/2" OR LESS                               | 11 ga 1 1/4" gph, 1/16" hole | o.c. Edges; 8" o.c. Interm. |

GENERAL NOTES: 1. EMBEDDED NAILS SHALL HAVE A MINIMUM EDGE DISTANCE OF 3/8". 2. USE ANNULAR OR SPIRAL THREAD NAILS FOR COMBINATION SUBFLOOR / UNDERLAYMENT, AND EXTERIOR DECKING. 3. NAILS MUST BE OF SUFFICIENT LENGTH TO ACCOMMODATE THICKNESS OF SING AND SHEATHING, IF USED, AND ALLOW MINIMUM STUD PENETRATION OF 1 1/2". 4. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL, UNO. 5. REMOVAL NAILS SHALL CONFORM TO ASTM A 304.



THRESHOLDS AT DOORWAYS: THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED W/ A SLOPE NO GREATER THAN 1:2. (FLORIDA ACCESSIBILITY CODE)

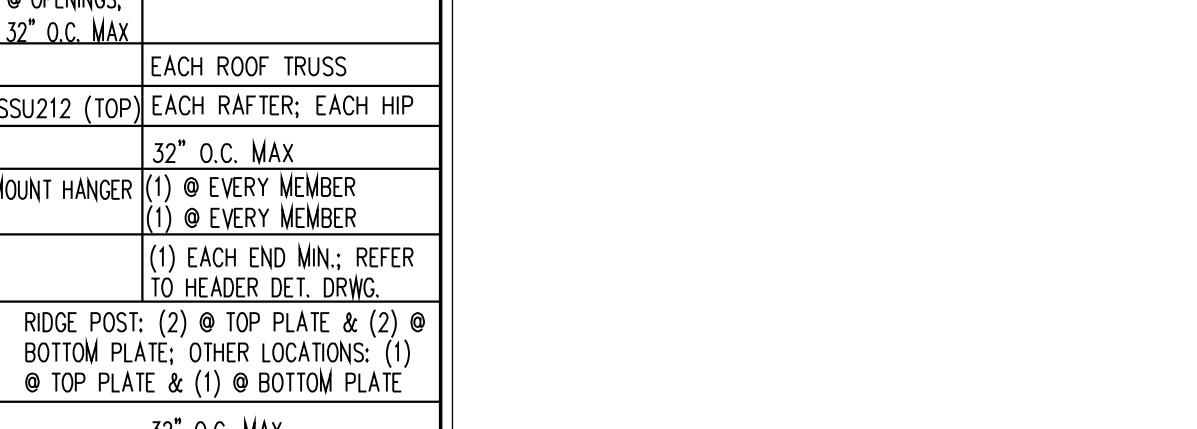
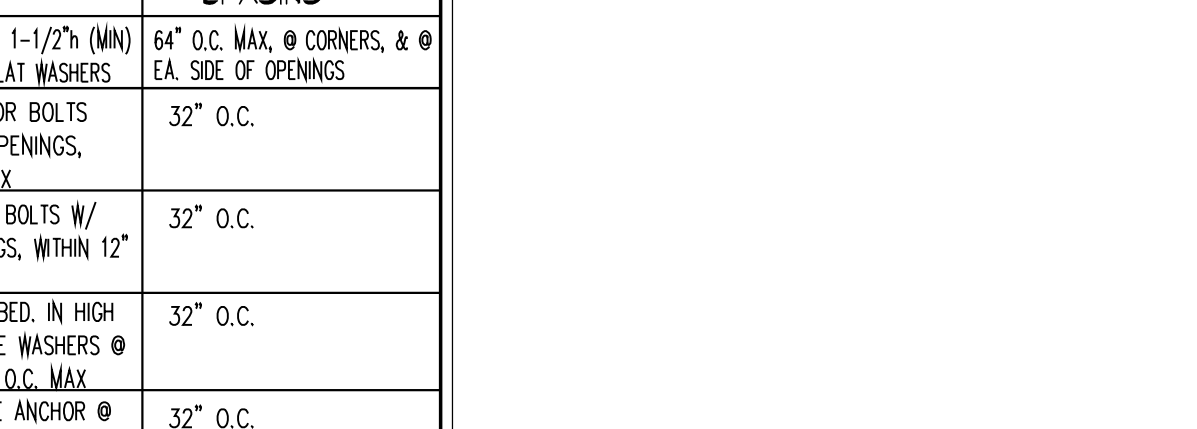
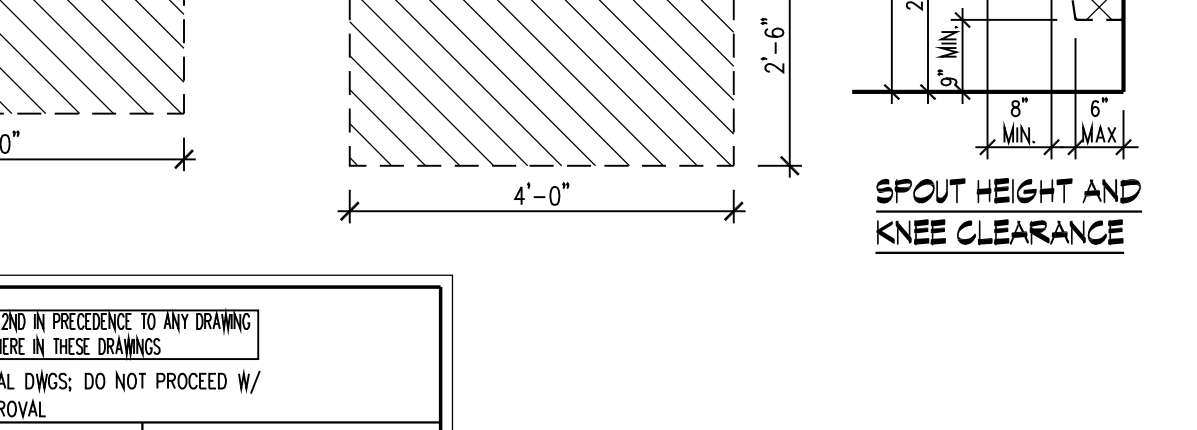
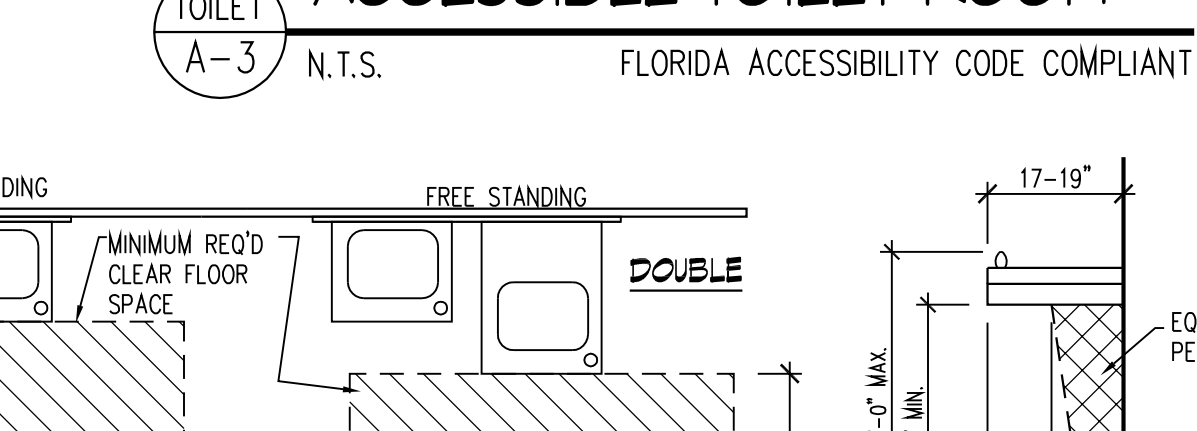
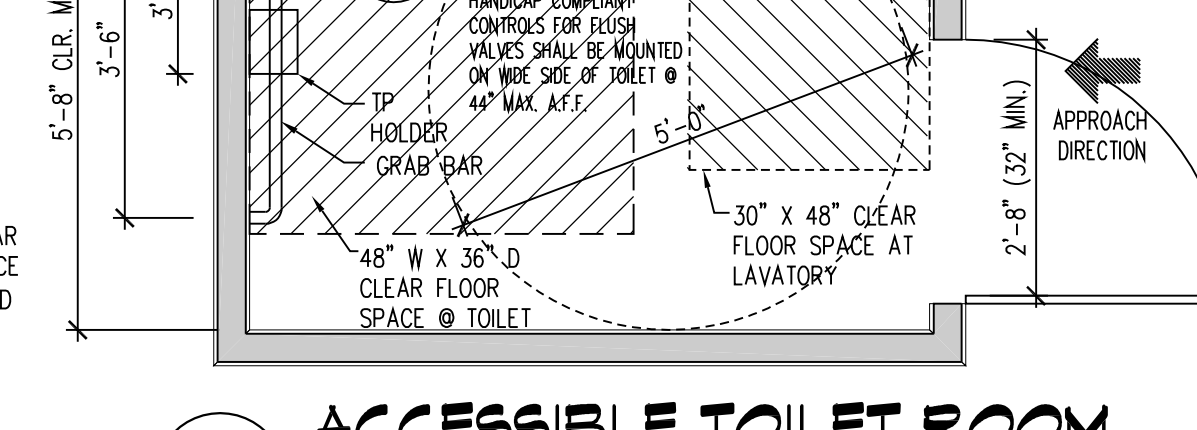
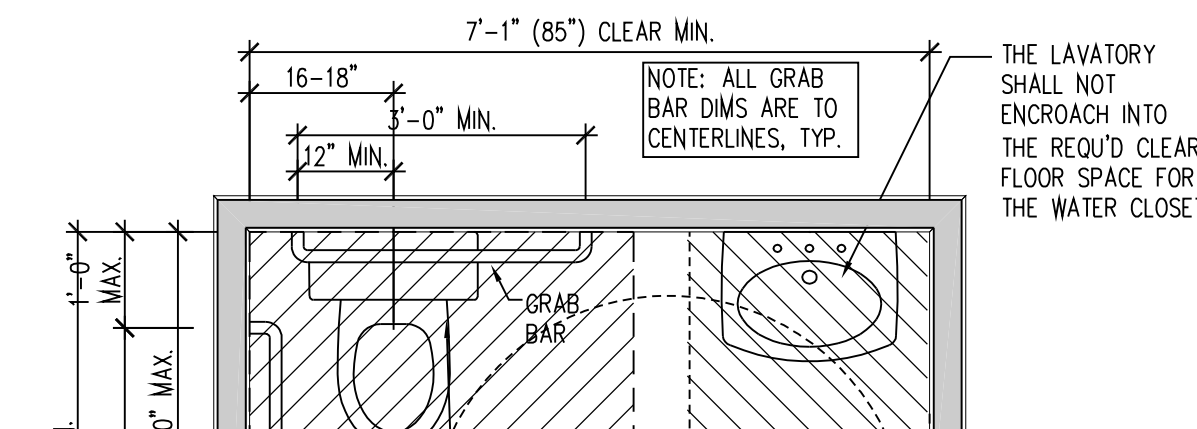
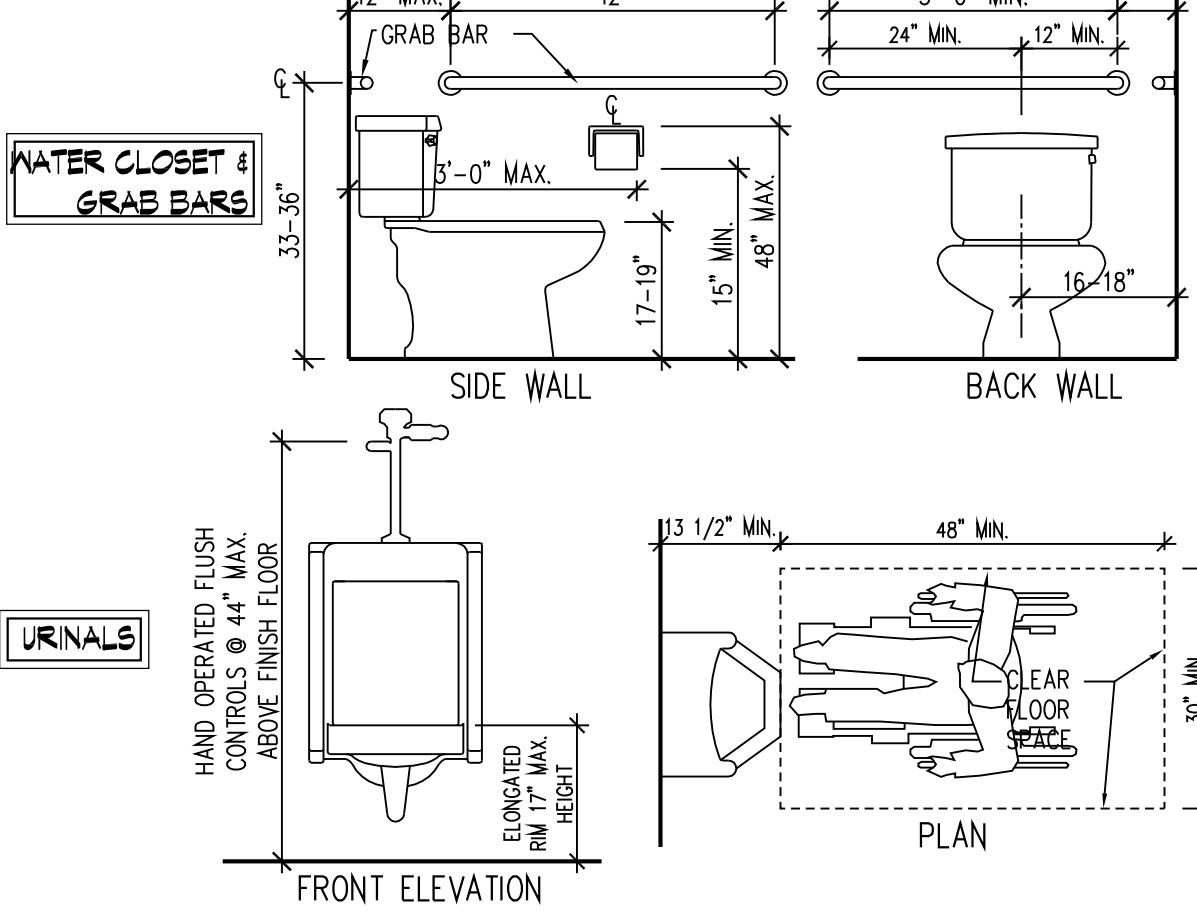


## FRAMING CONNECTORS SCHEDULE

NOTE: THIS SCHEDULE IS 2ND IN PRECEDENCE TO ANY DRAWING DETAILS RESTRICTED THEREIN IN THESE DRAWINGS. THIS HARDWARE IS SUBJECT TO REVIEW AND CHANGE UPON REVIEW OF CONTRACTOR'S RECD SUBMITTED STRUCTURAL DWGS; DO NOT PROCEED W/ STRUCTURAL FABRICATION OF NOTED STRUCTURAL ITEMS UNTIL HAVE RECD ARCHITECT'S REVIEW AND WRITTEN APPROVAL.

| NAME               | LOCATION                                                                        | CONNECTOR                                                                                                                                                        | SPACING                                                                                                 |
|--------------------|---------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
| ROD CONNECTOR      | TOP WALL PLATE TO FOUNDATION MUD SILL (ROD) SYMBOL (WHERE OCCURS)               | 5/8" diam. STEEL ROD WITH THREADED ENDS AND 1-1/2" (MIN) COUPLINGS TO A.B.; NUT W/ 3" x 3" x 1/4" INK. FLAT WASHERS                                              | 64" O.C. MAX. @ CORNERS, & @ EA. SIDE OF OPENINGS                                                       |
| ANCHOR BOLT (A.B.) | SOLE PLATE/SILL TO CONC FOUNDATION @ EXTERIOR WALL                              | 5/8" DIA. x 7" L x 3" HOOK GALV. ANCHOR BOLTS W/ 3" x 3" x 1/4" INK. FLAT WASHERS @ OPENINGS, WITHIN 12" OF CORNERS, & @ 32" O.C. MAX                            | 32" O.C.                                                                                                |
| ANCHOR BOLT (A.B.) | SOLE PLATE/SILL TO CMU FOUNDATION @ EXTERIOR WALL                               | 5/8" DIA. x 10" L x 3" HOOK GALV. ANCHOR BOLTS W/ 3" x 3" x 1/4" INK. PLATE WASHERS @ OPENINGS, WITHIN 12" OF CORNERS, & @ 32" O.C. MAX                          | 32" O.C.                                                                                                |
| ANCHOR BOLT (A.B.) | SOLE PLATE/SILL TO CMU OR CONC. FOUNDATION @ EXTERIOR WALL                      | 5/8" DIA. GALV. ALL-THREAD W/ 1/4" MIN 5" EMBED. IN HIGH STRENGTH EPOXY W/ 3" x 3" x 1/4" INK. PLATE WASHERS @ OPENINGS, WITHIN 12" OF CORNERS, & @ 32" O.C. MAX | 32" O.C.                                                                                                |
| WEDGE ANCHOR       | SOLE PLATE/SILL TO FOUNDATION @ INTERIOR SLAB (WHEN A.B. CANNOT BE PLACED ONLY) | 5/8" diam x 7" SMPSON "WEDGE ALL" WEDGE ANCHOR @ 32" O.C. W/ 3" x 3" x 1/4" INK. FLAT WASHERS @ OPENINGS, WITHIN 12" OF CORNERS, INTERSECTIONS, & @ 32" O.C. MAX | 32" O.C.                                                                                                |
| HURRIC. TIE        | ROOF TRUSS TO TOP PLATE                                                         | SMPSON H16 HURRICANE TIE                                                                                                                                         | EACH ROOF TRUSS                                                                                         |
| HURRIC. TIE        | RAFTER TO TOP PLATE; HIP RAFTER                                                 | SMPSON H16; FOR HIP: HCP2 (BOT); LSSU212 (TOP)                                                                                                                   | EACH RAFTER; EACH HIP                                                                                   |
| ROOF STRAP         | RAFTER OVER RIDGE TO RAFTER                                                     | SMPSON MSTA 36                                                                                                                                                   | 32" O.C. MAX                                                                                            |
| OUTLOOKER HARDWARE | OUTLOOKERS TO PLATE                                                             | SMPSON LU24, LU24A, LU24, OR HU26 FACE MOUNT HANGER                                                                                                              | (1) @ EVERY MEMBER                                                                                      |
| HEADER STRAP       | OUTLOOKERS TO DBL TRUSS OR RAFTER                                               | SMPSON H2A5A HURRIC. TIE                                                                                                                                         | (1) @ EVERY MEMBER                                                                                      |
| ANCHOR BOLT (A.B.) | EXTERIOR DOOR, OPENING                                                          | SMPSON LSTA 36                                                                                                                                                   | (1) EACH END MIN.; REFER TO HEADER DETL. DRWG.                                                          |
| SHEAR CONNECTOR    | RIDGE POST, GARAGE DOOR OPENINGS, OR AS NOTED                                   | SMPSON HD2A W/ (2) 5/8" BOLTS @ EACH CONNECTOR                                                                                                                   | RIDGE POST: (2) @ TOP PLATE & (2) @ BOTTOM PLATE; OTHER LOCATIONS: (1) @ TOP PLATE & (1) @ BOTTOM PLATE |

MUD SILL TO STUD, STUD TO FLOOR EXISTING LOCATIONS WHERE THREADED ROD CANNOT OCCUR SMPSON LSTA 36 32" O.C. MAX. 1. ALL NAILS ON EXTERIOR OF STRUCTURE OR EXPOSED TO THE ELEMENTS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL, UNO. 2. ALL CONNECTORS AND STRAPS TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL, UNO. 3. ALL FRAMING CONNECTORS TO BE FASTENED PER MANUFACTURER'S INSTRUCTIONS, UNO. 4. WEDGE ANCHORS SHALL BE "RAW-STUD" OR "WIK-BOLT" OR APPROV. EQUAL USE ONLY WHEN GREATER THAN 6" FROM EDGE OF SLAB. 5. EPOXY SYSTEM SHALL BE SMPSON "EPOXY-TIE" OR HELIX "TIT" OR APPROV. EQUAL.



## STUCCO APPLICATION

STUCCO A-3  
STANDARDS/REFERENCES: (NOTE: THE FOLLOWING INFO IS COMPILED/EXERPTED FROM THE FOLLOWING CODES; CONTRACTOR SHALL FOLLOW REFERENCED SPECS AS LISTED BELOW): 1. ASTM C 926; 2. ASTM C 1063; 3. PORTLAND CEMENT PLASTER (STUCCO) MANUAL, EB-049, PORTLAND CEMENT ASSOC.; 4. "GUIDE SPECIFICATIONS FOR METAL LATHING AND FURRING", METAL LATH/STEEL FRAMING ASSOC.

ELASTOMERIC FACTORY-PREPARED FINISH-COAT PRODUCT: (CONTRACTOR TO SELECT FROM ONE OF THE FOLLOWING PRODUCTS, AND USE (1) MANUFACTURER FOR ALL STUCCO PRODUCTS (NO MIXING OF DIFFERENT MANUFACTURER'S STUCCO PRODUCTS). SUBMIT TO ARCHITECT PRODUCT DATA AND APPLICATION PROCEDURE FOR WRITTEN APPROVAL PRIOR TO PROCEEDING WITH THE WORK. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR APPLICATION AND USE ALL SUBSTRATE PREPARATION PRODUCTS PER MANUFACTURE. REPAIR ANY CRACKS PER MANUFACTURER. PROVIDE SAMPLES FOR OWNER'S SELECTION OF COLOR(S) AND TEXTURE(S).

1. DRYVIT: WEATHERLASH (DS418), TEXTURES: QUARTZITE, SANDPERBLE, SANDPERBLE FINE, AND ADOBE. 2. STO: POWERFLEX SILCO, TEXTURES: FINE (285), MEDIUM (286), SWIRL (287), FREEFORM (288) 3. PAREX: E-LASTIC, TEXTURES: FLEXFINE (426), FLEXSAND (427), FLEXSWRL (428), FLEXTEX (429).

| BASE          | 1ST COAT | NO COAT | 3RD COAT | TOTAL |
|---------------|----------|---------|----------|-------|
| WTL LATH/FELT | 3/8"     | 3/8"    | 3/8"     | 3/8"  |
| UNIT MASONRY  | 1/4"     | 1/4"    | 1/8"     | 1/8"  |

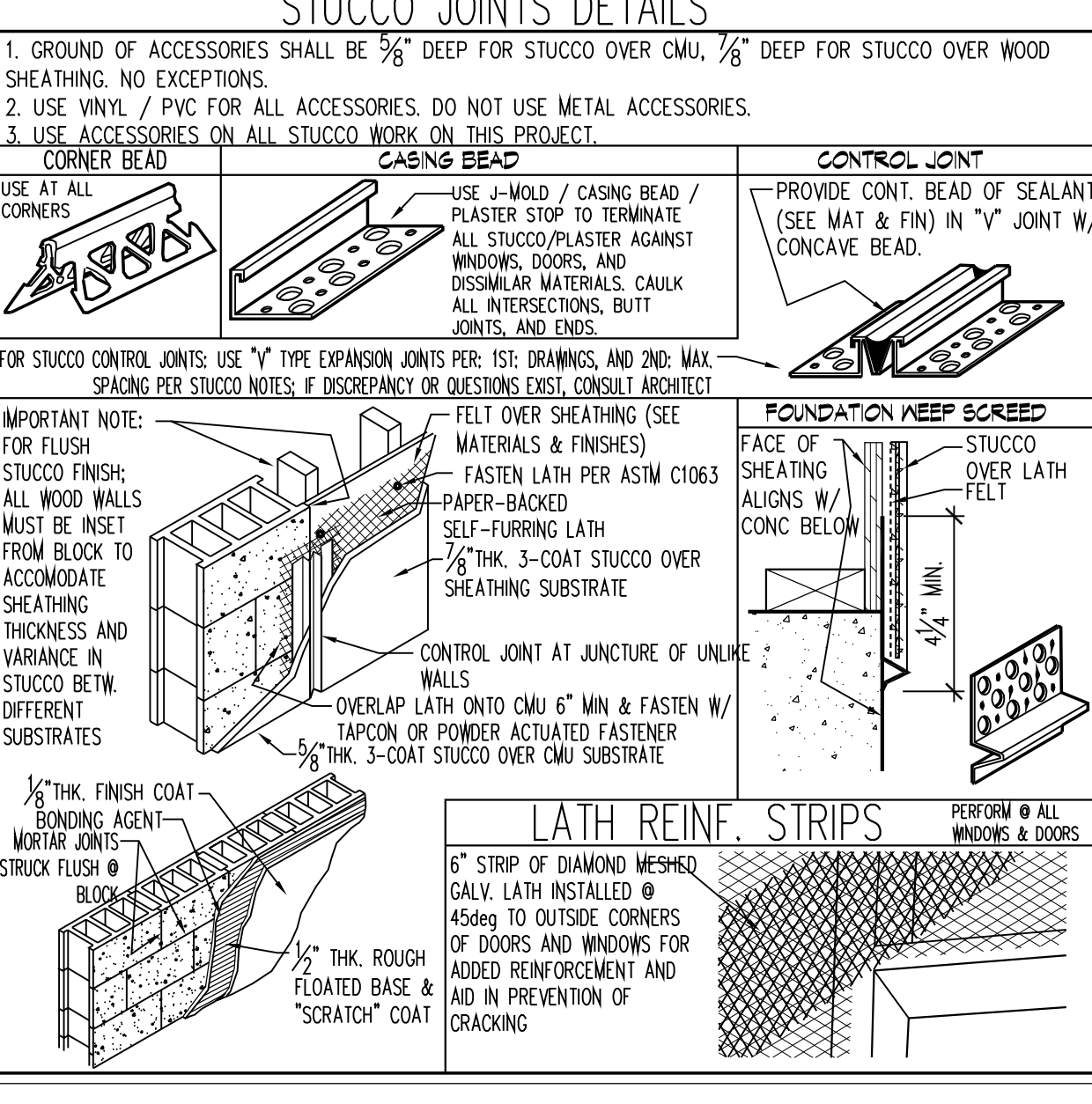
PORTLAND CEMENT MIXTURE: PROPORTION SHOULD BE ADJUSTED TO SUIT USE AND CLIMATIC CONDITIONS AT PROJECT TO PRODUCE A HARD SURFACE THAT IS RESISTANT TO ABRASION AND UNAFFECTED BY DAMPF. FOLLOW TOLERANCES OF STANDARDS REFERENCES AS LISTED ABOVE.

- EXTERIOR TRIMS: (REFER TO ELEVATIONS FOR DESIGNATIONS) -CAST STONE -AND/OR- HARDFOAMED POLYSTYRENE OR URETHANE: WHERE DRAWN (1ST), -OR- COORDINATE LOCATIONS W/ OWNER (2ND); ALL TRIMS TO BE INSTALLED PER MANUF. INSTRUCTIONS W/ MANUF. ACCESSORIES

- FOR FINISHED-IN-PLACE FOAM BLOCKING (WHEN CALLED FOR IN DRAWINGS): USE DRYVIT PRODUCTS AS DETAILED BELOW, OR OTHER ARCHITECT APPROVED EQUAL. APPLY TO STUCCO FACE PRIOR TO FINISH COAT AND FINISH STUCCO AND FOAM BLOCKING AT SAME TIME (STEP #5). FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR PROPER INSTALLATION 1. WRAP (BACKWRAP) DRYVIT REINFORCING MESH (4.3 HEIGHT) AROUND TRIM 2. ADHERE POLYSTYRENE FOAM BLOCKING TO SUBSTRATE W/ DRYVIT ADEPS, OR MECHANICALLY ATTACH. 3. SEAL JOINTS W/ MANUF. APPROVED SEALANT 4. APPLY CEMENTITIOUS BASE COAT OF DRYVIT GENESIS OR PRIMUS 5. APPLY DRYVIT ACRYLIC FINISH COAT, TEXTURE(S) AND COLOR(S) T.B.S. BY ARCHITECT/OWNER.

- STUCCO SEQUENCE OVER LATH & FELT: 1. INSTALL SELF-FURRED DIAMOND-MESH LATH W/ PAPER-BACKING (GRADE D, 60 MIN.; FED. SPEC. UU-B-790-A) OVER FELT TO SHEATHING (SEE MAT. AND FIN. FOR SHEATHING SPEC). FOLLOW ASTM C1063 FOR SUPPORT SPACING, FASTENER SELECTION, AND FURTHER INFO REGARDING PROPER INSTALLATION OF METAL LATH. A. LATH LAP: 1/2" MIN. @ SIDES & 1" MIN. @ TOP & BOTTOM. B. LATH SHOULD NOT BE CONTIN. @ CONTROL JOINTS BUT SHOULD BE STOPPED AND TIED @ EA. SIDE. C. THE VERT AND HORIZ JOINTS SHALL BE BACKING ON BACKING AND METAL ON METAL, LAPPED IN DOWNWARD DIRECTION. 2. SCRATCH COAT: THE SCRATCH COAT MUST BE SCORED HORIZONTALLY. 3. BROWN COAT: THE BROWN COAT SHALL BE APPLIED AS SOON AS POSSIBLE AFTER THE SCRATCH COAT AS LONG AS SUFFICIENT TIME HAS BEEN ALLOWED BETWEEN COATS TO DRY AND DEVELOP RIGIDITY TO RESIST DAMAGE WHEN THE NEXT COAT IS APPLIED. 4. FINISH COAT: USE ELASTOMERIC FACTORY-PREPARED ELASTOMERIC FINISH-COAT PRODUCT AS SPECIFIED ABOVE. A MIST CURE SHALL BE MAINTAINED AS NEEDED FOR CLIMATIC CONDITIONS, AT DISCRETION OF INSTALLER. CONTROL JOINTS @ STUCCO OVER LATH & FELT: WHERE DRAWN (1ST), OR AS SPEC'D BELOW (2ND): MAX. AREA OF PANEL: A. 144 S.F. ON VERT SURFACES; B. 100 S.F. ON HORIZONTAL SURFACES MAX. DIST. BETW CONTROL JOINTS: 18' MAX. LENGTH TO WIDTH RATIO: 2-1/2 TO 1

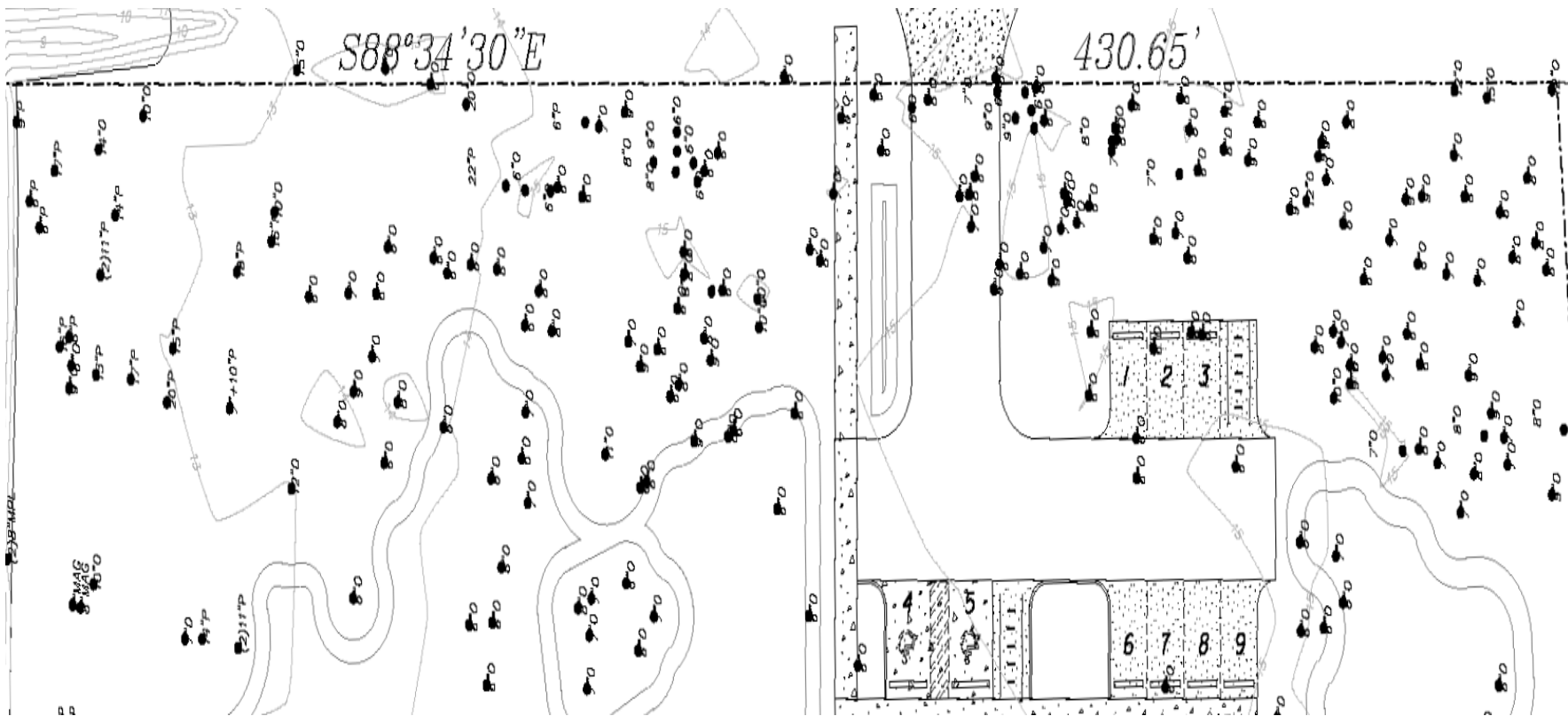
STUCCO OVER CMU BLOCK WALLS & CONCRETE WALLS: (3) COAT CEMENTITIOUS STUCCO W/ ELASTOMERIC FINISH COAT W/ INTEGRAL COLOR OVER CMU BLOCK. STUCCO (FLUSH) CMU JOINTS TYP @ RAW BLOCK TO RECEIVE STUCCO. STUCCO SEQUENCE: 1. CLEAN & ROUGHEN SUBSTRATE TO ENSURE CHEMICAL & MECHANICAL BOND. 2. BONDING AGENT: APPLY BONDING AGENT PER ASTM C-932 DIRECTLY TO CONCRETE SURFACE AS RECOMMENDED BY MANUF. -OR- 2B. INSTALL SELF-FURRED DIAMOND-MESH LATH W/ PAPER-BACKING (GRADE D, 60 MIN.; FED. SPEC. UU-B-790-A) OVER FELT TO SHEATHING (SEE MAT. AND FIN. FOR SHEATHING SPEC). FOLLOW ASTM C1063 FOR SUPPORT SPACING, FASTENER SELECTION, AND FURTHER INFO REGARDING PROPER INSTALLATION OF METAL LATH. A. LATH LAP: 1/2" MIN. @ SIDES & 1" MIN. @ TOP & BOTTOM. B. LATH SHOULD NOT BE CONTIN. @ CONTROL JOINTS BUT SHOULD BE STOPPED AND TIED @ EA. SIDE. C. THE VERT AND HORIZ JOINTS SHALL BE BACKING ON BACKING AND METAL ON METAL, LAPPED IN DOWNWARD DIRECTION. -FOLLOW SEQUENCE FOR STUCCO OVER LATH TO THE LEFT IF OPTION 2B IS CHOSEN. 3. SCRATCH COAT: THE SCRATCH COAT MUST BE SCORED HORIZONTALLY. 4. BROWN COAT: THE BROWN COAT SHALL BE APPLIED AS SOON AS POSSIBLE AFTER THE SCRATCH COAT AS LONG AS SUFFICIENT TIME HAS BEEN ALLOWED BETWEEN COATS TO DRY AND DEVELOP RIGIDITY TO RESIST DAMAGE WHEN THE NEXT COAT IS APPLIED. SMALL DELAY BETWEEN COATS PROMOTES COMPLETE CURING, LESS SHRINKAGE AND IMPROVED BOND. 5. FINISH COAT: USE ELASTOMERIC FACTORY-PREPARED ELASTOMERIC FINISH-COAT PRODUCT AS SPECIFIED ABOVE. A MIST CURE SHALL BE MAINTAINED AS NEEDED FOR CLIMATIC CONDITIONS, AT DISCRETION OF INSTALLER. 6. CONTROL JOINTS: STUCCO DIRECTLY OVER CMU NEED ONLY BE JOINTED AT THE CONTROL JOINTS IN THE BASE CMU WALL, UNO, AND WHERE DRAWN ON BUILDING ELEVATIONS: USE PVC/UNO CORNER BEADS, CONTROL JOINTS, ETC.



| Revisions | Date | Description |
|-----------|------|-------------|
| No.       |      |             |

| PROGRESS PRINTS | Issue Date | Issued To/For | Restrictions |
|-----------------|------------|---------------|--------------|
|                 |            |               |              |

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October 29, 2018

Ms. Tamika Bass  
Florida Department of Environmental Protection  
Land and Recreation Grants Section  
Mail Station #585  
3900 Commonwealth Boulevard  
Tallahassee, FL 32399-3000

RE: Exhibit A: Capital Improvement Plan Assurances  
FY 2019-2020 Florida Recreation Assistance Program

Dear Ms. Bass:

The City of Fernandina Beach, Florida respectfully requests funding from the Florida Department of Environmental Protection, FY 2019-2020 Florida Recreation Development Assistance Program, for the construction of a new picnic area/playground/trail with support parking and bathroom amenities in an underserved area of our city. As you know, a requirement of the FDEP Florida Recreation Development Assistance Program application is correspondence signed by managers of applicant agencies assuring that the project for which funding is sought is included in the applicant's Capital Improvement Plan (CIP). Please accept this correspondence as assurance and verification that the proposed project described in the City of Fernandina Beach's FY 2019-2020 Florida Recreation Development Assistance Program grant application is located in our city's Five-Year Capital Improvement Plan, on page 31 of pages 25 – 35, which was adopted via City Resolution 2018-119 on September 18, 2018. I have attached for your reference the City of Fernandina Beach's Five-Year Capital Improvement Plan schedule, with the Simmons Road project highlighted (see Attachment A of grant application).

If additional information pertaining to the enclosed documents is needed, please contact the City of Fernandina Beach Grants Administrator, Lorelei Jacobs at 904-310-3104 or [ljacobs@fbfl.org](mailto:ljacobs@fbfl.org), or me at 904-310-3101 or [dmartin@fbfl.org](mailto:dmartin@fbfl.org). Thank you for your consideration of the important project described in the enclosed application and for the work of your Department to provide desirable and health-giving recreational amenities within Florida's local communities.

Sincerely,

Dale L. Martin  
City Manager

Enclosures

## **Exhibit C-3 – Proof of Simmons Road Park Discussion to Neighborhood Association.**

On March 20, 2018, City of Fernandina Beach Director of Parks and Recreation Nan Voit attended a meeting of the Egan's Bluff neighborhood association. Given that the Egan's Bluff neighborhood is in close proximity to the proposed Simmons Road Park, Ms. Voit had arranged to be placed on the Egan's Bluff neighborhood association agenda. Below is confirmation of the presentation by Egan's Bluff President and a copy of the agenda of the meeting.

**From:** william terry [mailto:terrygroup@live.com]  
**Sent:** Friday, March 23, 2018 10:18 AM  
**To:** Nan Voit  
**Subject:** Simmons Park

Nan-

Thank you for coming to the Egan's Bluff association meeting Tuesday night. The presentation and the Q&A were very helpful in informing our residents about the proposed park and the grant application.

The agenda from our meeting:

### **Agenda**

**(3-20-18)**

- 1. 1. Call to order.**
- 2. 2. Secretary's report and approval of prior minutes.**
- 3. 3. Treasurer's report.**
- 4. 4. Election of directors.**
- 5. 5. Old business.**
- 6. 6. New business.**
  - 1. Simmons park.**

2. **Dues Increase update.**
3. **Open to the floor.**

## **7. Adjoinment**

Let me know if you have any questions.

William W. Terry, III  
[Terrygroup@live.com](mailto:Terrygroup@live.com)  
2138 Lakeside Drive East  
Fernandina Beach, FL 32034  
904-261-2753  
904-624-0416 (cell)

---

**From:** Nan Voit <[nvoit@fbfl.org](mailto:nvoit@fbfl.org)>  
**Sent:** Friday, March 23, 2018 9:54 AM  
**To:** [terrygroup@live.com](mailto:terrygroup@live.com)  
**Subject:** test

**Nan S. Voit, CPRP**  
**Director of Parks and Recreation**  
**City of Fernandina Beach**  
**(904) 310-3350**  
**"IT STARTS IN PARKS"**

**Disclaimer: According to Florida law, e-mail correspondence to and from the City of Fernandina Beach, including email addresses and other personal information, is public record and must be made available to the public and media upon request, unless otherwise exempt by the Public Records Law. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."**



# CITY OF FERNANDINA BEACH

## Parks and Recreation Department

204 Ash Street, Fernandina Beach, FL 32034

[www.fbfl.us/cdd](http://www.fbfl.us/cdd)

### **Simmons Road Proposed Small Park Public Meeting Meeting Agenda 3/22/2018**

- Overview and Status of Florida Department of Environmental Protection, Land and Water Conservation Fund (FDEP LWCF) Grant Program by Lorelei Jacobs, City Grants Administrator
- Overview of Proposed Simmons Road Park by Nan Voit, CPRP, Director Parks and Recreation Director
- City Conservation Mission and Comprehensive Plan by Kelly Gibson, AICP, Planning Manager, Community Development Department

.....

The City of Fernandina Beach Comprehensive Plan Goal 6.04.08 stipulates *"Neighborhood-serving parks shall be prioritized for placement in areas underserved by recreation facilities and shall be prioritized in capital improvement planning. Adding additional neighborhood-serving park components to existing facilities shall be secondary after underserved recreational areas are addressed."*

Within the City of Fernandina, there are approximately twelve parks on the north side of the City and only one on the south side.

The Florida Department of Environmental Protection, Land and Water Conservation Fund (FDEP LWCF) program is now accepting grant applications with a deadline of March 26, 2018, for land and parks-related projects to be implemented over a three-year timeframe.

On March 20<sup>th</sup>, 2018, at their regularly-scheduled meeting commencing at 6:00 PM, the Fernandina Beach City Commission will vote on whether to apply for \$200,000 from the FDEP LWCF program to help fund the construction of a small park to be located on the south side of the City. The proposed park consists of a small playground, picnic area, restroom, water

Contact: Nan S. Voit, CPRP  
City of Fernandina Beach Parks and Recreation Department  
(904) 310-3350

fountain, nature trail, and parking surface to be constructed within an approximately 6 and ½ acre parcel located at 1650 Simmons Road, Fernandina Beach, Fl. In addition to providing a needed play and picnic area on the south side of the City, the proposed park will provide a rest and water station for bicyclists traveling on the adjacent “Sea to River Trail,” scheduled for completion by Nassau County by March 2019. Should the City be successful in receiving a FDEP LWCF grant for the playground, Florida’s Land Conservation rules will require the City to commit the 6 and ½ acre parcel within which the park is located as conservation land in perpetuity.

In addition to the City Commission meeting on March 20<sup>th</sup>, during which the grant application will be discussed, the City of Fernandina is hosting a community meeting on Thursday, March 22, from 1:30 to 2:30 PM to provide an additional opportunity for City residents to provide input regarding the proposed south side park. Both meetings will be held in City Commission Chambers at City Hall, located at 204 Ash Street, Fernandina Beach, Florida.

One factor that the Florida Department of Environmental Protection considers when awarding City FDEP LWCF grant funds is the degree to which there is demonstrated community support for the proposed recreation project.

The City of Fernandina hopes residents will come to one or both meetings to share your opinions about this grant-funded opportunity to bring additional recreational amenities to the south side of the City of Fernandina Beach!

For more information or to submit written comment about the proposed park, please contact City of Fernandina Beach Parks and Recreation Director Nan S. Voit at (904) 310-3350 or by e-mail at [nvoit@fbfl.org](mailto:nvoit@fbfl.org).

###

# **Exhibit C-1 – Pre-advertisement for Public Meeting re: Simmons Road Park**

FERNANDINA OBSERVER NEWS

## **Fernandina Observer™** A JOURNAL OF NEWS AND OPINION

### **Simmons Road Proposed Small Park Public Meetings**



**City of Fernandina Beach**

**Parks & Recreation Department**

**Press Release**

**Submitted by Mary Hamburg**

**March 19, 2018 12:00 p.m.**

The City of Fernandina Beach Comprehensive Plan Goal 6.04.08 stipulates “Neighborhood-serving parks shall be prioritized for placement in areas underserved by recreation facilities and shall be prioritized in capital improvement planning. Adding additional neighborhood-serving park components to existing facilities shall be secondary after underserved recreational areas are addressed.”

Within the City of Fernandina Beach, there are approximately twelve parks on the north side of the City and only one on the south side.

The Florida Department of Environmental Protection, Land and Water Conservation Fund (FDEP LWCF) program is now accepting grant applications with a deadline of March 26, 2018, for land and parks-related projects to be implemented over a three-year timeframe.

On March 20, 2018, at its regularly-scheduled meeting commencing at 6:00 PM, the Fernandina Beach City Commission will vote on whether to apply for \$200,000 from the FDEP LWCF program to help fund the construction of a small park to be located on the south side of the City. The proposed park consists of a small playground, picnic area, restroom, water fountain, nature trail, and parking surface to be constructed within an approximately six and one-half acre parcel located at 1650 Simmons Road, Fernandina Beach, Fl.

In addition to providing a needed play and picnic area on the south side of the City, the proposed park will provide a rest and water station for bicyclists traveling on the adjacent “Sea to River Trail,” scheduled for completion by Nassau County by March 2019. Should the City be successful in receiving a FDEP LWCF grant for the playground, Florida’s Land Conservation rules will require the City to commit the six and one-half acre parcel within which the park is located as conservation land in perpetuity.

In addition to the City Commission meeting on March 20, 2018, during which the grant application will be discussed, the City of Fernandina Beach is hosting a community meeting on Thursday, March 22, from 1:30 to 2:30 PM to provide an additional opportunity for City residents to provide input regarding the proposed south side park. Both meetings will be held in the City Hall Commission Chambers, located at 204 Ash Street, Fernandina Beach, Florida.

One factor that the Florida Department of Environmental Protection considers when awarding City FDEP LWCF grant funds is the degree to which there is demonstrated community support for the proposed recreation project.

The City of Fernandina Beach invites residents to attend one or both meetings to share opinions regarding this grant-funded opportunity to bring additional recreational amenities to the south side of the City.

For more information or to submit written comment about the proposed park, please contact City of Fernandina Beach Parks and Recreation Director Nan S. Voit at (904) 310-3350 or by e-mail at [nvoit@fbfl.org](mailto:nvoit@fbfl.org).

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#### LIKE THIS:

#### RELATED

#### [NEW SKATE PARK HEADED TO MAIN BEACH?](#)

Submitted by Suanne Z. Thamm Reporter - News Analyst February 9, 2015 7:14 a.m.

Organizers and supporters of a new, improved skate board park for Main Beach presented their ideas to the city of Fernandina Beach during the Fernandina Beach City Commission's (FBCC) February 3, 2015 Regular Meeting. Rob...

February 9, 2015

With 8 comments

#### [PARKS AND RECREATION MASTER PLAN UPDATE FOR FBCC](#)

Submitted by Suanne Z. Thamm Reporter - News Analyst March 23, 2015 The Fernandina Beach City Commission (FBCC) minus Vice Mayor Johnny Miller met in workshop session on March 19, 2015 to review findings from site visits, public workshops and stakeholder meetings, and survey results regarding the Parks Master Plan....

March 23, 2015

Similar post

#### [NOT ALL FUN AND GAMES IN PARKS AND REC](#)

Submitted by Suanne Z. Thamm Reporter - News Analyst September 28, 2016 5:58 p.m.  
With the advice and consent of the Fernandina Beach City Commission, the city



March 19, 2018 at 5:41 pm

### Reply

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[illegible]

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## Exhibit C-2 – Discussion of Simmons Road Park at Regular Advisory Board Meeting

The Simmons Road Park was discussed at two City of Fernandina Beach Parks and Recreation Advisory Commission meetings held on February 14, 2018 and on March 14, 2018. City of Fernandina Beach Parks and Recreation Director Nan Voit attended both meetings and herein affirms that the Simmons Road Park was discussed at both meetings. However, a quorum of Board Members was not present at either meeting, and it is the practice of the City of Fernandina Beach Parks and Recreation Advisory Board to not take minutes when meeting without a quorum take place, so no minutes are available.

# 2018 SIMMONS ROAD PARK

## Exhibit G: Simmons Road Park with Simmons Road Trail Outside Project Boundary



City of Fernandina Beach  
Community Development Department

### SITE PLAN

#### LEGEND

- Parcels
- Roads
- City Limits
- Wetlands



Picnic Pavillion = 22' X 24' (480 sq. feet)  
Bathroom = 8' X 10' (80 sq. feet)  
Playground Area = 3,172 square feet  
Nature Trail = ¼ mile or 1,320 linear feet

Pervious Parking Lot = 107' X 42' (4,494 sq. feet)  
- ADA Paved Space = 18' X 17' (306 sq. feet)  
Driveway = 10' X 24' (240 sq. feet)

Property Totals: 6.67 Acres

Simmons Road Trail  
AKA "Amelia River to Sea Trail"

2.2 Miles (Off Road Multi-Use Path)  
Under Construction - Completion July 2019

Map Reference #: COFB ZONING  
Created: October 26, 2018  
Data Source: Planning Department GIS



In a letter dated October 29, 2018, a letter was sent by Dale Martin, City Manager to the Florida Department of Environmental Protection. “The City of Fernandina Beach, Florida respectfully requests funding from the Florida Department of Environmental Protection, FY 2019-2020 Florida Recreation Development Assistance Program, for the construction of a new picnic area/playground/trail with support parking and bathroom amenities in an underserved area of our city.”

# **PARKS AND RECREATION MASTER PLAN AMENDMENTS 2019**

## **Renaming Atlantic Avenue**

On page 51 of the current Parks and Recreation Master Plan (PRMP) changing the name of Atlantic Avenue to “Avenida de las Banderas” (Avenue of the Flags) is proposed. At the June 13, 2018 Parks and Recreation Advisory Committee (PRAC) meeting it was recommended to not change the name of Atlantic Avenue.

## **Removing Parking from Waterfront**

On page 53 of the PRMP it states “Parking will be removed from the river front”. At the June 13, 2018 PRAC meeting it was recommended not to remove all of the parking from the waterfront as this would have a negative impact on the marina operation and the new park when it is built. It was agreed that parking should be reduced and the lots reconfigured as much as possible to remove parking from close proximity to the shoreline.

## **Central Park**

On page 53 of the current PRMP it is proposed that the existing sports fields, known as Buccaneer Field, should be moved to expand the Fernandina Sports Complex (softball and soccer fields). At the September 11, 2018 PRAC meeting a motion was made to recommend keeping the existing ballfields at Central Park with the vote being all ayes. The reasoning was that having the ball fields centrally located at Central Park allows easier access for young players, who can bike or walk to the fields; land would have to be purchased and new facilities built, the cost of which would exceed the value of relocating the fields; and that a plan would be developed for Central Park to address the issues about having ball fields at Central Park, that were raised by the PRMP. At this same meeting it was recommended to incorporate pickleball courts into the existing tennis court area.

## **Atlantic Recreation Center**

On page 54 of the current PRMP it is proposed to change this property to the Atlantic Aquatics Center. It is suggested that a waterslide, pickleball court and lazy river be installed. Also, the existing buildings should be renovated to provide classrooms, concessions, meeting spaces and water related programs. The PRAC recommends removing the Pickleball court from the plan and leaving the buildings in their current use. The lazy river and waterslide can remain as future options. a possibility should a location be determined.

## **Peck Center**

On page 51 of the PRMP it is proposed that the Peck Center could become an arts, education and culture center. The PRAC recommends leaving the center as it is because it is currently occupied by non-profit organizations, city departments, rentals and parks and recreation programs. Should this function change, re-visiting the facility use as an arts, education and culture can occur. According to PRAC, the addition of a walking path around Richo (Peck)

Field, a restroom with a water fountain and a larger pavilion should be considered as part of the proposed plan.

### **Martin Luther King Jr. Center**

On page 51 of the PRMP it is proposed that the MLK Center be used as a senior center. At the December 11, 2018 PRAC meeting it was recommended that the MLK Center maintain its current use as this would be a duplicate service that is already provided by the Council on Aging.