



**AGENDA
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
JULY 22, 2021
9:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**
 - 4.1 July 8th, 2021 Meeting Minutes
- 5. DISCUSSION ITEMS**
 - 5.1 Pre-Application Discussion - John Sellentin, 815 Calhoun St. - To discuss a 9th St. access point. The property is zoned R-2.
 - 5.2 Pre-Application Discussion - Matt & Catherine Moeller - To discuss a food truck park at 611 S. 9th Street. The property is zoned MU-8.
- 6. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN.**
- 7. COMMITTEE BUSINESS**
- 8. ADJOURNMENT**

NEXT REGULAR TRC MEETING IS SCHEDULED FOR AUGUST 12TH

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.



**MINUTES
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
JULY 8, 2021**

1. CALL TO ORDER 9:08

2. ROLL CALL

MEMBERS PRESENT:

Jacob Platt, Planning

Michelle Forstrom, Code Enforcement

Andre Desilet, Stormwater/Utilities

Don Kukla, Building

Rex Lester, Streets/ADA

Jason Higginbotham, Fire

OTHERS PRESENT:

Taylor Hartmann, Recording Secretary

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

4.1 Approval of Minutes for the June 24, 2021 Regular Meeting.

ACTION TAKEN: A motion was made by Mr. Forstrom, seconded by Mr. Desilet to approve the minutes as presented.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

5. DISCUSSION ITEMS

5.1 Gloria Kanahele - To discuss operating a food truck park at 1015 Atlantic Avenue. This parcel is located within the Central Business District with C-3 zoning.

Mr. Platt introduced the case and invited the applicant to speak.

Gloria Kanahele, provided an overview of what the project entails which would include 2-4 food trucks with picnic table style seating and outdoor games.

Mr. Desilet stated that because food trucks are mobile and self-contained, a design professional would be able to calculate approximate square footage and seat count in order to determine utility impact fees. A formal site plan is required.

Mr. Kukla indicated that depending on the seat count, the current restroom facilities may have to be expanded in order to handle increased customer traffic.

Mr. Lester pointed out that ADA parking and seating would also need to be accounted for in a site plan.

Mr. Higginbotham confirmed that each food truck would require 10 feet of clearance on all sides and generator exhaust must have 5 feet of clearance.

Ms. Forstrom stated that a Local Business Tax Receipt for the food truck park would be required, but agreements between the property owner and individual food truck owners are beyond the city's

purview.

6. NEW BUSINESS

- 6.1 SPR 2021-0011: Asa Gillette with Gillette & Associates - 21 N. Second St. - Construction of 5 townhomes on individual 25-foot-wide platted lots of record.

Mr. Platt provided a brief history of the project which has received Conceptual approval from the Historic District Council.

Mr. Lester inquired about whether a response has been received from the applicant regarding comments provided during the TRC Pre-application discussion.

7. DEVELOPMENT INQUIRIES FROM APPLICANTS NOT ON THE AGENDA - DISCUSSION ONLY, NO ACTION TO BE TAKEN.

No parties were present.

8. COMMITTEE BUSINESS

- 8.1 SPR 2020-0009 - Towles Residence Amendment: Sign-off

- 8.2 SPR 2020-0013 - Settlers Cove: Sign-off

9. ADJOURNMENT 10:37

Jacob Platt

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FLORIDA

PREPARED BY:
GILLETTE AND ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO.: 9332
20 SOUTH 4TH STREET
FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819
FAX: 904-261-9905
ASA R. GILLETTE, P.E.
FL P.E. NO. 56177

CONDITIONED AREA: 1,896 SQ. FT.
UNCONDITIONED AREA: 897 SQ. FT.
OPEN DECK: 448 SQ. FT.

FLORIDA BUILDING CODE PARAMETERS:

USE: SINGLE FAMILY RESIDENTIAL
OCCUPANCY CLASSIFICATION: RESIDENTIAL, R-3
CONSTRUCTION TYPE: V-B

CODES:

- 1) 2020 FLORIDA BUILDING CODE 7TH ED. (2020), RESIDENTIAL
2) 2017 NATIONAL ELECTRIC CODE

DIFFERENTIAL PRESSURE (DP) FORCES FOR WIND LOAD
815 CALHOUN STREET - FERNANDINA BEACH, FLORIDA

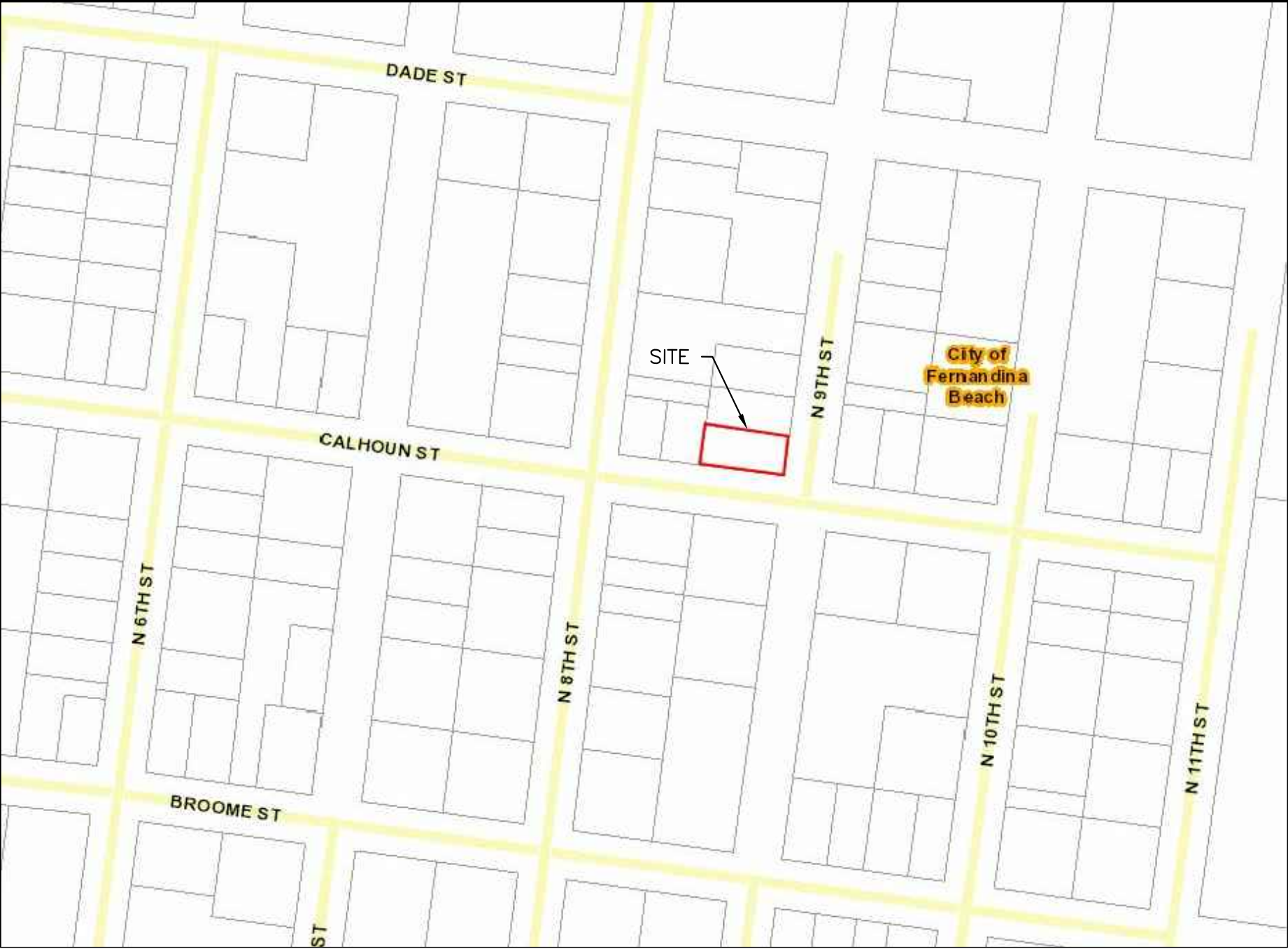
MAIN WIND FORCE RESISTING SYSTEM (MWFRS), V=129, EXP=C, RISK CAT. II, FULLY ENCLOSED					
ITEM	AREA	HEIGHT	L/B	ROOF ANGLE	PRESSURE FORCE
MWFRS	ROOF	30-FT	N/A	L.T. 30°	-45.3 PSF (MAX)
	WALL	30-FT	2.0	N/A	+42.2 PSF

COMPONENT AND CLADDING WIND PRESSURES					
ULTIMATE WIND VELOCITY: V _{ULT} = 129 MPH EXP. CAT. "C" RISK CAT. II FULLY ENCLOSED					
NOMINAL WIND VELOCITY: V _{NOM} = 101 MPH EXP. CAT. "C" RISK CAT. II FULLY ENCLOSED					
LOCATION	ZONE	ROOF ANGLE	A eff.	P1 (PSF)	P2 (PSF)
ROOF	1	10° < θ ≤ 30°	10 S.F.	+17.5	-27.7
			20 S.F.	+16.3	-25.8
ROOF	2	10° < θ ≤ 30°	10 S.F.	+17.5	-48.2
			20 S.F.	+16.3	-44.8
ROOF	3	10° < θ ≤ 30°	10 S.F.	+17.5	-71.3
			20 S.F.	+16.3	-66.3
WALLS	4	N/A	10 S.F.	+30.2	-32.8
			20 S.F.	+28.1	-30.5
			50+ S.F.	+26.6	-28.9
WALLS	5	N/A	10 S.F.	+27.7	-50.0
			20 S.F.	+25.8	-47.2
			50+ S.F.	+24.4	-44.7

- C&C WIND PRESSURE FORCES LISTED ABOVE ARE BASED ON NOMINAL WIND SPEEDS. REDUCTION ALLOWED PER PER SECTION 1609.3, FLORIDA BUILDING CODE 2020. P_{NOM} = (0.6)(P_{ULT})
- MWFRS PRESSURE FORCES DERIVED FROM ASCE 7-16 CHAPTER 27 (27.5), PART 2, SIMPLIFIED METHOD (BUILDING CLASS 1)
- C&C PRESSURE FORCES DERIVED FROM F.B.C. 2020, RESIDENTIAL
- ZONE 5 IS DEFINED AS 5-FT FROM EACH EXTERIOR WALL CORNER
- ZONE 4 IS DEFINED AS ALL OTHER EXTERIOR WALL AREA
- IMPACT RESISTANT GLAZING IS NOT REQUIRED PER ASCE 7-16 AND F.B.C. 2020

BUILDING DRAWING INDEX:

CVR: COVER SHEET
PRE- 1: PREDEVELOPED SITE PLAN
GE-1: GEOMETRY PLAN
GE-2: LOT PROFILE
DR-1: DRAINAGE PLAN
A-1: FLOOR PLAN
A-2: FOUNDATION & ROOF PLAN
A-3: ELECTRICAL PLAN
A-4: ELEVATIONS PLAN
A-5: MISCELLANEOUS DETAILS
A-6: MISCELLANEOUS DETAILS
S-1: FDN & FRAMING PLANS
S-2: FRAMING PLAN & NOTES



NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL

ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

GILLETTE & ASSOCIATES, INC.

CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. * FL. PE. NO. 56177

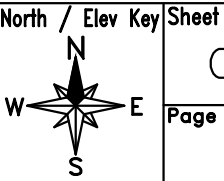
20 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * WWW.GILLETTEASSOCIATES.COM

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL

CONTRACTOR:

ISSUE DATE: 4/1/21

COVER



CVR

Page 1 of

GENERAL NOTES

PROPERTY INFORMATION:

- PID#: 00-00-31-1800-0072-0082
- ACREAGE: 0.11 ACRES (5,000 SF)
- LOCATION: FERNANDINA BEACH, FL
- FLOOD ZONE: X-SHADED, AE-9
- BFE = 9.0 FT
- DFE = 11.0 FT
- ZONING: R2
- FUTURE LAND USE: MEDIUM DENSITY RESIDENTIAL
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- MAX BUILDING HEIGHT: 35 FT
- PROPOSED BUILDING HEIGHT: 25 FT

DEVELOPMENT REQUIREMENTS:

- MAX DENSITY: 8 UNITS/AC
- MAX IMPERVIOUS: 60%
- PROPOSED IMPERVIOUS: 49.1%
- MAX (F.A.R.) PERCENTAGE: 50%
- PROPOSED (F.A.R.) PERCENTAGE: 38.0%

SETBACK REQUIREMENTS:

- FRONT: 25 FEET
- SIDES: 10% OF LOT WIDTH = (5.0) FEET
- REAR: 20 FEET
- CORNER: 15 FEET

NOTE: EACH SIDE YARD SETBACK SHALL BE INCREASED BY ONE-HALF (1/2) FOOT FOR EACH ONE (1) FOOT, OR FRACTION THEREOF, OF BUILDING HEIGHTS ABOVE TWENTY-FIVE (25) FEET

UTILITIES:

- WATER: CITY OF FERNANDINA BEACH
- SEWER: CITY OF FERNANDINA BEACH
- POWER: F.P.U.

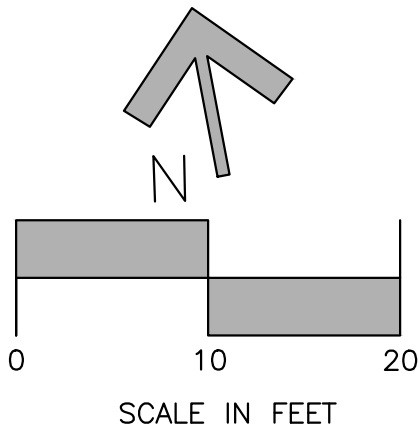
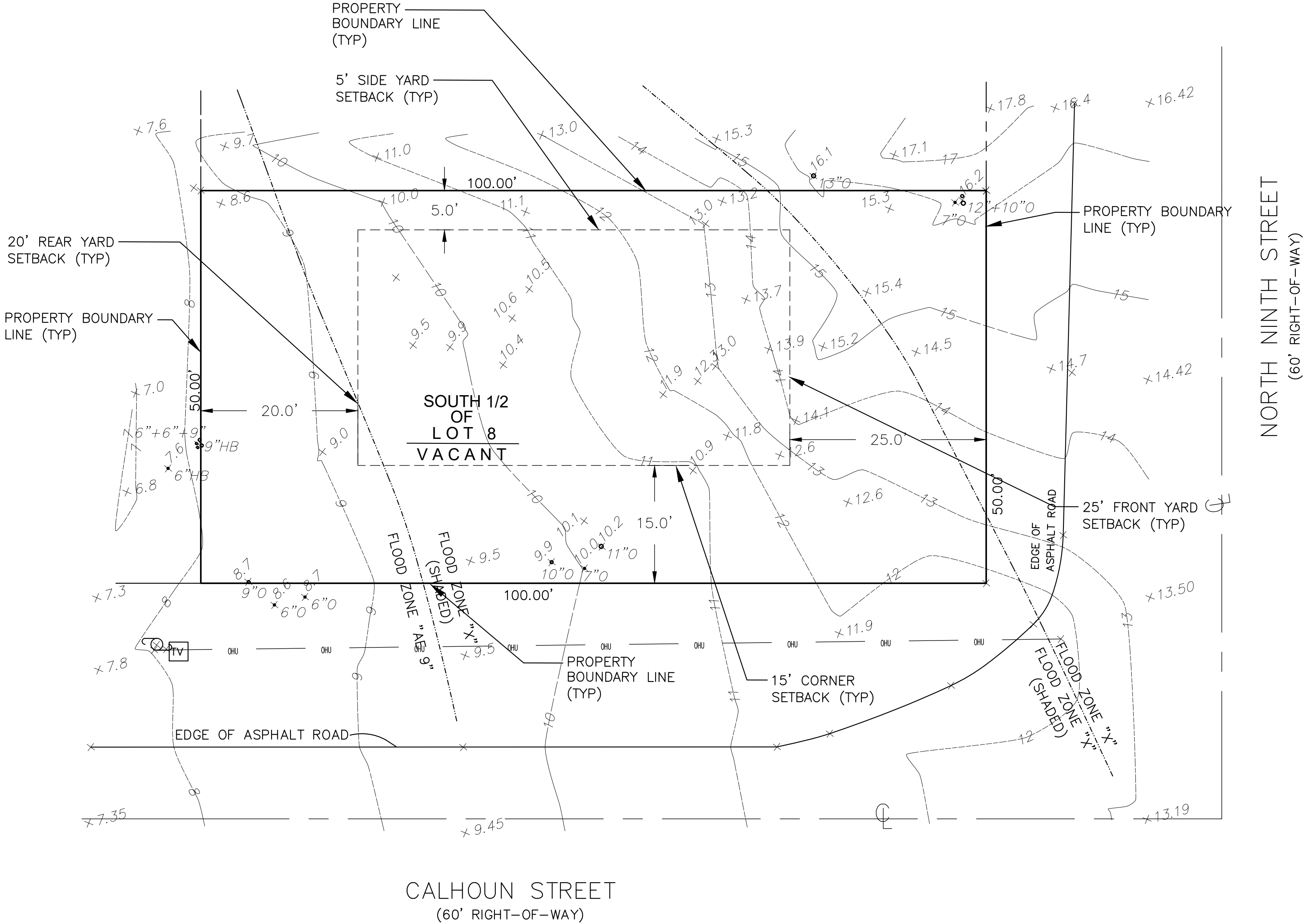
NEAREST FIRE HYDRANT IS 117 FEET WEST OF PROPERTY, AT THE CORNER OF CALHOUN STREET AND NORTH 8TH STREET

LANDSCAPING:

- NO BUFFER REQUIRED

PIN: 00-00-31-1800-0072-0081
USE: VACANT
ZONING: R2
FLUM: MEDIUM DENSITY RESIDENTIAL

PIN: 00-00-31-1800-00072-0012
USE: VACANT
ZONING: R2
FLUM: MEDIUM DENSITY RESIDENTIAL



NOT FOR CONSTRUCTION

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PHONE: 904-261-8819 * WWW.GILLETTEASSOCIATES.COM

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL

CONTRACTOR:

ISSUE DATE: 4/1/21
PREDEVELOPED
SITE PLAN

North / Elev Key/Sheet
W N E S
PRE-1
Page 2 of 2

GENERAL NOTES

- PROPERTY INFORMATION:
- PID#: 00-00-31-1800-0072-0082
 - ACREAGE: 0.11 ACRES (5,000 SF)
 - LOCATION: FERNANDINA BEACH, FL
 - FLOOD ZONE: X-SHADED, AE-9
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 - PROPOSED (F.A.R.) PERCENTAGE: 38.0%

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 - SIDES: 10% OF LOT WIDTH = (5.0) FEET
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- UTILITIES:
- WATER: CITY OF FERNANDINA BEACH
 - SEWER: CITY OF FERNANDINA BEACH
 - POWER: F.P.U.

NEAREST FIRE HYDRANT IS 117 FEET WEST OF PROPERTY AT THE CORNER OF CALHOUN STREET AND NORTH 8TH STREET

- LANDSCAPING:
- NO BUFFER REQUIRED

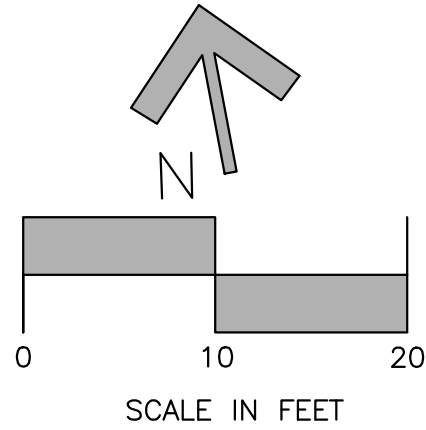
- MITIGATION SPECS:
- PRE DEV DBH: 172"
 - REQUIRED 50% POST DEV DBH: 86"
 - DBH REMAINING: 75"
 - DBH TO PLANT ONSITE: 11"
(4 TREES AT 3" EA.)

NOT FOR CONSTRUCTION

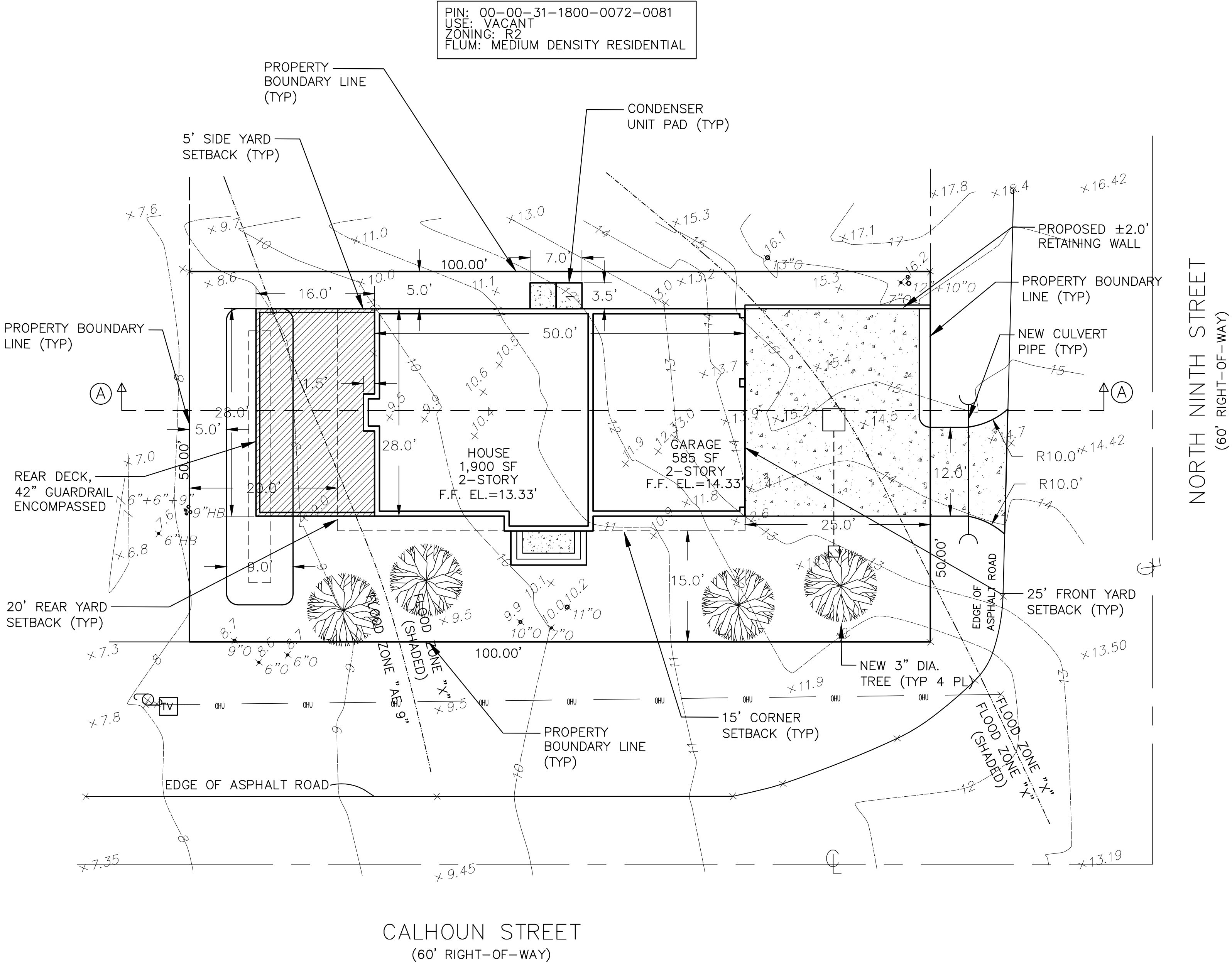
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FLORIDA P.E. NO. 56177



PIN: 00-00-31-1800-00072-0012
USE: VACANT
ZONING: R2
FLUM: MEDIUM DENSITY RESIDENTIAL



LEGEND

- CONCRETE
- WOOD

GILLETTE & ASSOCIATES, INC.

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SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL

CONTRACTOR:

ISSUE DATE: 4/1/21

GEOMETRY
PLAN



GE-1

Page 3 of 3

GENERAL NOTES

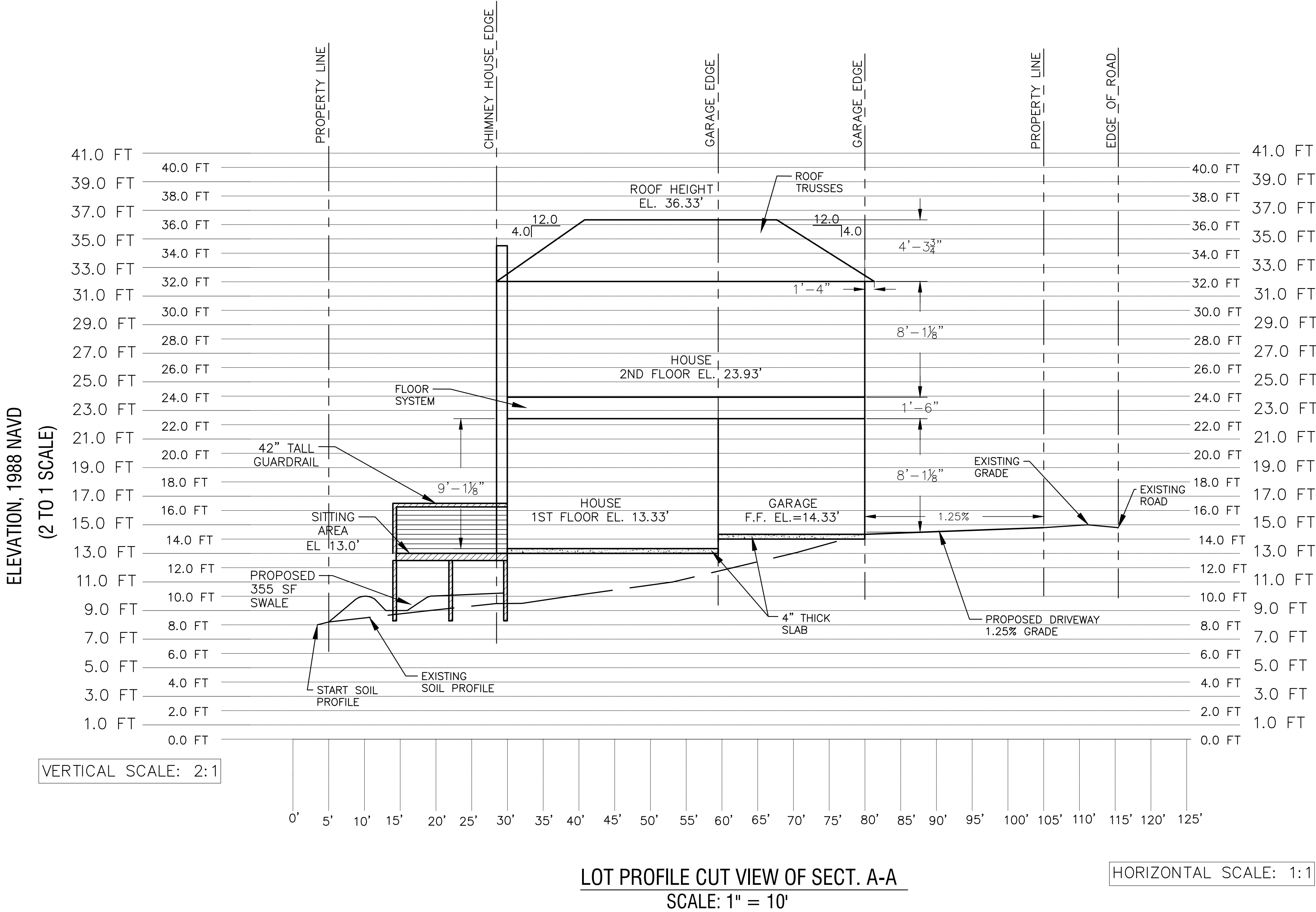
- NOTES:
- 1ST FLOOR FINISHED FLOOR ELEVATION OF THE HOUSE IS SET AT 13'-4"
 - 2ND FLOOR FINISHED FLOOR ELEVATION OF THE HOUSE IS SET AT 23'-11 1/8"
 - THE GARAGE FINISHED FLOOR ELEVATION IS SET TO 14'-4" FEET
 - THE PROPOSED DRIVEWAY GRADE IS 1.25%
 - PARTIAL OF THE PROPERTY RESIDES IN FLOOD ZONE AE-9, THUS 2 FOOT OF FREE BOARD REQUIRES F.F. ELEVATION MINIMUM OF 11.0 FEET
 - FOUR(4) CORNER AVERAGE ELEVATION IS ROUGHLY 11'-4" FEET
 - REAR DECK ±3.5-FT FROM GROUND

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LEGEND

CONCRETE WOOD

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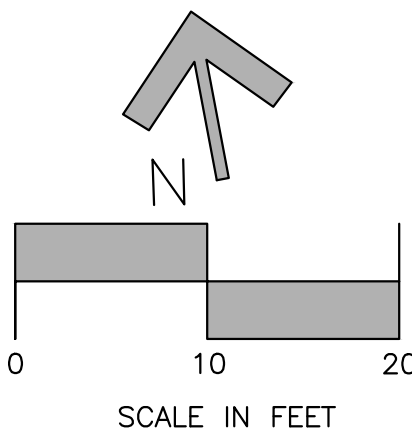
LOT PROFILE
OF SECT. A-A

North / Elev Key Sheet
GE-2
Page 4 of 4

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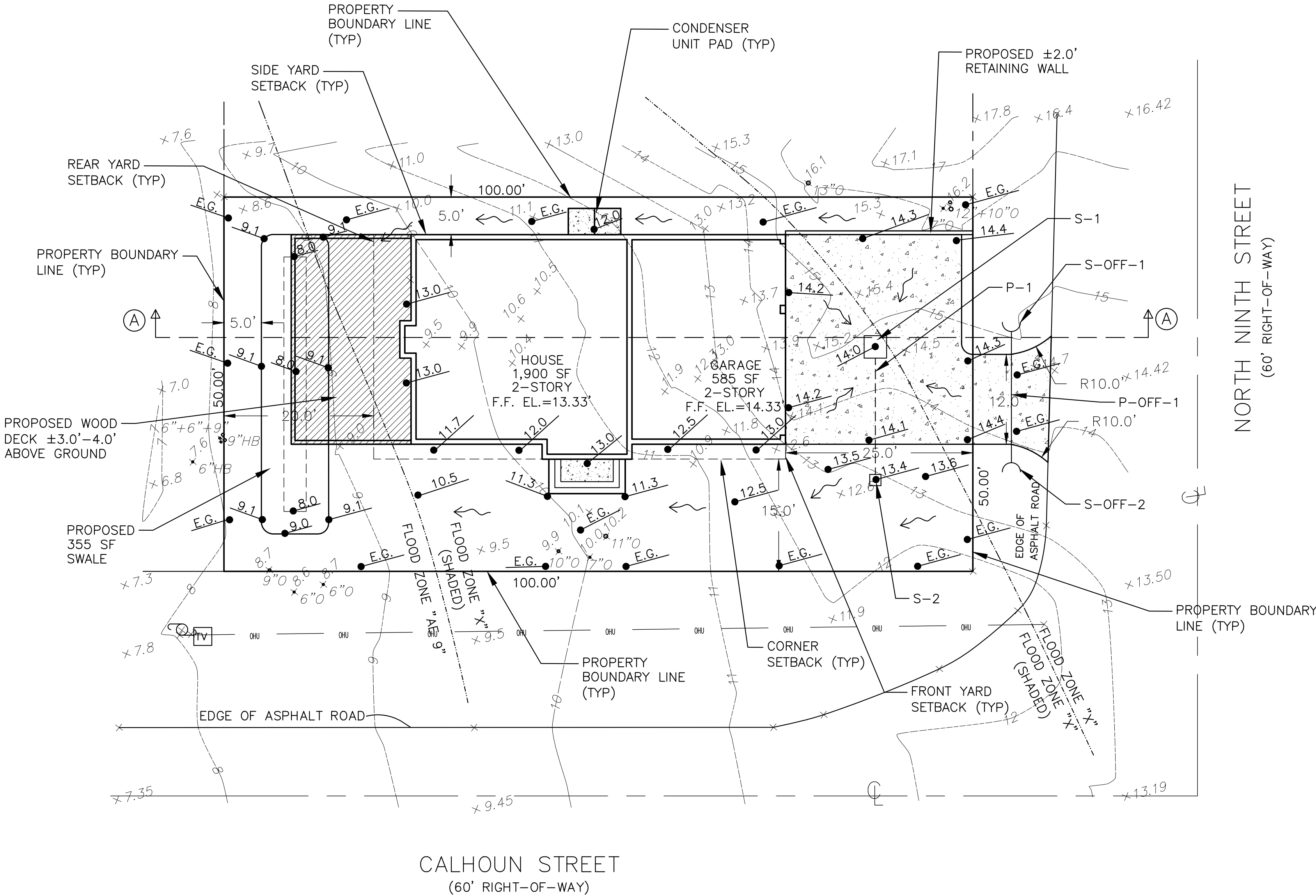
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PIN: 00-00-31-1800-0072-0081
USE: VACANT
ZONING: R2
FLUM: MEDIUM DENSITY RESIDENTIAL

PIN: 00-00-31-1800-00072-0012
USE: VACANT
ZONING: R2
FLUM: MEDIUM DENSITY RESIDENTIAL



DRAINAGE CALCULATIONS:

DRAINAGE AREA: 5,000 SF
IMPERVIOUS AREA: 2,455 SF

TOTAL LOT RUNOFF:
(5,000 SF)*(0.5")*(1/12 FT/IN) = 209 C.F.

TOTAL IMPERVIOUS AREA RUNOFF:
(2,455 SF)*(1.0")*(1/12 FT/IN) = 205 C.F.

TREATMENT VOLUME REQUIRED: 209 C.F.
TREATMENT VOLUME PROVIDED: 357 C.F.

NOTES:

SWALE GRADE 3:1

LEGEND



CONCRETE

STRUCTURE TABLE

NAME	TYPE	TOP/ INLET ELEV.	INVERT ELEVATION			
			N	S	E	W
S-1	TYPE C INLET	14.0	11.5	-	-	-
S-2	18"x18" LANDSCAPE BOX	13.4	-	11.5	-	-
S-OFF-1	M.E.S.	-	14.5	-	-	-
S-OFF-2	M.E.S.	-	-	13.5	-	-

PIPE TABLE

NAME	SIZE	TYPE	LENGTH	FROM	TO
P-1	15"	HDPE PERFORATED	16'	S-1	S-2
P-OFF-1	18"	RCP	18'	S-OFF-1	S-OFF-2

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SELLENTIN RESIDENCE

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CONTRACTOR:

ISSUE DATE: 4/1/21

DRAINAGE
PLAN



DR-1

Page 5 of 5

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REV	BY	DATE	ITEM
A	AB	01/29/21	OWNER REVIEW
B	AB	02/25/21	OWNER REVIEW #2
C	AB	04/01/21	OWNER REVIEW #3

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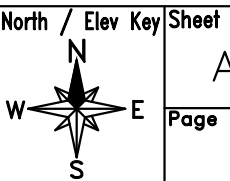
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SELLENTIN RESIDENCE
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FERNANDINA BEACH, FL

CONTRACTOR:

ISSUE DATE: 4/1/21

FLOOR
PLANS



A-1

Page 6 of

GENERAL NOTES

- ALL DOOR HARDWARE TO BE ADA COMPLIANT.
- ALL INTERIOR SIGNAGE TO BE INSTALLED PER FBC 11-4.30 SIGNAGE. SIGNS SHALL BE INSTALLED ON WALLS ADJACENT TO LATCH SIDE OF DOOR. MOUNTING HT SHALL BE 60" AFF TO CENTERLINE OF SIGN. FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- FIRE EXTINGUISHERS TO BE FURNISHED BY CONTRACTOR IN ACCORDANCE WITH LIFE SAFETY PLAN AND DRAWINGS (COORDINATE W/SUBCONTRACTORS).
- ALL ELECTRICAL WIRING TO BE PER ELECTRICAL NOTES AND NEC 2017.
- EXITS TO REMAIN CLEAR AT ALL TIMES.
- EMERGENCY BATTERY UNITS IF AS REQUIRED BY OWNER.
- COORDINATE INTERIOR FINISHES FOR CEILING AND WALL TYPES WITH OWNER
- ANY CUSTOM FURNITURE, TELEVISION MONITORS, BENCHES, VENDING MACHINES, AND COMPUTER EQUIPMENT SHOWN OR NOTED ON PLANS TO BE COORDINATED W/OWNER. CONTRACTOR TO COORDINATE AS JOB PROGRESSES.
- ALL SPECIALTY ITEMS (SHELVES, DISPLAYS, ETC) TO BE FABRICATED IN PLACE BY THE CONTRACTOR AND COORDINATED WITH THE OWNER.

WATERPROOFING & PAINTING

- EXTERIOR JOINT SEALERS AND CAULKING TO BE APPLIED AT ALL JOINTS TO ACHIEVE MDISTURE AND AIR-TIGHT JOINTS. THE FOLLOWING ARE RECOMMENDED WITH EQUALS ACCEPTABLE:
USE/CHANGES (TO BE COVERED):
 - SIKAFLEX 15LM (LOW MODULUS)
 - TREMCO VULKEM 921 (LOW MODULUS)SILICONES USE PRIMER AND SURFACE PREP AS REQ'D:
 - DOW CORNING 795
 - PECORA 795
 - TREMCO SPECTUM II
 - SIKA
- EXPOSED BLOCK PAINT SYSTEM TO BE THOROCOAT WATER-BASED, HIGH-BUILD ACRYLIC WATERPROOF COATING (OR EQUAL) TO BE SUPPLIED WITH A 10-YEAR MANUFACTURER'S WARRANTY. SEAL PRIOR WITH THORO CM PRIMER (OR EQUAL). SEAL ALL CRACKS AND JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO PAINTING.
- RECOMMENDED JOINT CAULKING PARAMETERS (VERIFY WITH MANUFACTURER'S LITERATURE): JOINTS 1/4" TO 1/2" WIDE, WIDTH TO DEPTH TO BE EQUAL. JOINTS 1/2" WIDE OR GREATER SHOULD HAVE A SEALANT DEPTH OF 1/4". MINIMUM JOINT SIZE TO BE 1/4"x1/4".
- PAINTING OF SUBSTRATES AS FOLLOWS:
 - EXPOSED 8X16 EXTERIOR CMU BLOCK
 - ELASTOMERIC PAINT SYSTEM (OR EQUAL) WITH FINAL COLOR TO BE DETERMINED BY OWNER. (1) COAT PRIMER; (2) COAT SEALER; CLEAN AND PREP SURFACE PER MANUFACTURER'S SPECIFICATIONS.
 - STEEL (SHD PRIMED): TOUCH UP WITH ZINC CHROMATE PRIMER; (2) COATS ALKYD ENAMEL.
 - EXISTING WOOD EXTERIOR: PRESSURE CLEAN SURFACE AND REMOVE DEBRIS AND LOOSE MATERIAL; (1) COAT OIL BASED/ALKYD PRIMER/SEALER; (2) COATS ACRYLIC FINAL COLORS BY OWNER.
 - GYPSUM BOARD (WALLS): SAND SMOOTH, DUST AND CONDITION TO RECEIVE FINISH; (1) COAT LATEX WALL PRIMER; (2) COATS FLAT OR SATIN ACRYLIC. SEE INTERIOR FINISH SCHEDULE FOR COLORS.

CEILING SYSTEM:

TYPE #1:

1/2" GYPSUM BOARD, PAINTED INTERIOR FINISH AS NOTED ON PLANS. MATERIAL SHALL BE CLASS B (F.S. INDEX 26-75-S-D 0-450 FINAL COLOR T.B.D.

WINDOWS AND DOORS

- STANDARDS/LABELING: EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE LABELED WITH AN APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY AND FLORIDA BUILDING CODE COMPLIANCE.
- DESIGN PRESSURE PERFORMANCE TO BE IN ACCORDANCE WITH WIND LOAD PARAMETERS LISTED ON THE COVER SHEET.
- ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE W/THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE MOUNTING STRENGTH FOR THE DESIGN PRESSURE SPECIFIED.
- ALL NEW WINDOWS TO BE DOUBLE PANE (INSULATED), 1/2" THICK GLASS. FRAMING TO BE ENERGY EFFICIENT VINYL OR SIMILAR.
- EXTERIOR DOORS TO BE INSULATED AND MANUFACTURED IN ACCORDANCE WITH CURRENT BUILDING CODE AND MEET CURRENT WIND LOADS LISTED ON THE COVER SHEET.
- INTERIOR DOORS DO NOT REQUIRE AN STC RATING.
- FINAL DOOR HARDWARE TO BE DETERMINED BY OWNER
- ALL WINDOW AND DOOR SIZES SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ACTUAL DIMENSIONS AND USE STOCK SIZES WHENEVER POSSIBLE. ALLOW FOR ADDITIONAL BUCKING IN R.D. SIZES WHERE POSSIBLE IN MASONRY WALLS.
- INSULATE AROUND NEW DOORS AND WINDOWS W/ POLYFDM OR SIMILAR.

WALLS AND TRIM

- SEE PLANS AND/OR OWNER FOR FLOOR, WALL AND CEILING FINISHES.
- ALL NEW INTERIOR WALLS TO RECEIVE 1/2" GYP BD, SCREWED INTO PLACE PER INDUSTRY STANDARDS WITH SMOOTH FINISH. ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND (2) SEPARATE COATS OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. ALL JOINT COMPOUND TO BE FREE OF TOOL MARKS AND RIDGES.
- INSULATE INTERIOR WALLS WITH SOUND BATTS WHERE SHOWN ON THE FLOOR PLAN.
- NEW EXTERIOR WINDOW AND DOOR TRIMS TO MATCH EXISTING IN FINISH APPEARANCE.
- INTERIOR, NON LOAD BEARING WALL CONSTRUCTION TO BE 2X4 WOOD STUDS OR EQUIVALENT LIGHT GAGE FRAMING.
- ALL INTERIOR WALLS TO HAVE A CLASS B FINISH (FLAME SPREAD INDEX 26-75, SMOKE SMOKE DEVELOPED INDEX 0-450).
- SUPPLY SAMPLES AS REQUIRED BY OWNER FOR APPROVAL PRIOR TO PROCUREMENT.

ALLOWANCES

- COSTS INCLUDED IN ALLOWANCES:
 - DESIGN, MATERIALS & INSTALL: COST OF DESIGN TO CONTRACTOR; COST OF PRODUCT TO CONTRACTOR DELIVERED AT THE SITE, INSTALLATION, FINISHING, AND ALL REQUIRED TAXES, LESS APPLICABLE TRADE DISCOUNTS. COST TO INSTALL IS PART OF ALLOWANCE NUMBER.
 - MATERIALS AND INSTALL: COST OF PRODUCT TO CONTRACTOR DELIVERED AT THE SITE, INSTALLATION, FINISHING, AND ALL REQUIRED TAXES, LESS APPLICABLE TRADE DISCOUNTS. COST TO INSTALL IS PART OF ALLOWANCE NUMBER.
 - MATERIALS ONLY: COST OF PRODUCT TO CONTRACTOR DELIVERED AT THE SITE, ALL REQUIRED TAXES, LESS APPLICABLE TRADE DISCOUNTS) INSTALLATION COST SHALL BE INCLUDED IN THE BASE BID.
- COSTS NOT INCLUDED IN ALLOWANCES: CONTRACTOR'S COST FOR UNLOADING, STORING AND HANDLING AT THE SITE, OVERHEAD, PROFIT, AND OTHER EXPENSES CONTEMPLATED FOR STATED ALLOWANCE AMOUNTS SHALL BE INCLUDED IN THE CONTRACT BASE BID SUM AND NOT IN THE ALLOWANCES.
- FUNDS: DIFFERENCE IN COST WILL BE ADJUSTED BY CHANGE ORDER. CONTRACTOR TO COORDINATE ADJUSTMENT METHOD W/ OWNER PRIOR TO CONTRACT.
- CASH ALLOWANCE LIST: CONTRACTOR TO PROVIDE ITEMIZED PRICE BREAKDOWN AT THE TIME OF BID FOR OWNER'S EVALUATION. IN WRITING, LIST PRICES IN SAME ORDER AND BY CATEGORY FOR OWNER'S REVIEW.

FIRE RATED ASSEMBLIES

- STUD SYSTEM TO BE AS STATED ON DRAWINGS.
- ALL JOINTS TO RECEIVE JOINT TAPE AND COMPOUND IN ACCORDANCE WITH UNDERWRITER'S LABORATORY.
- ALL DOORS WHICH RESIDE IN 1-HOUR RATED ASSEMBLIES SHALL HAVE A 20 MINUTE RATING.
- ALL PENETRATIONS TO BE SEALED WITH FIRE RATED CAULKING. PENETRATIONS AS FOLLOWS:
 - PLUMBING/CONDUIT (WHERE APPLICABLE): UTILIZE A 2-HR FIRE RATED SLEEVE AND SEAL ANNULAR SPACE WITH FIRE RATED CAULKING EQUIVALENT TO A 2-HR RATING.
 - ELECTRICAL BOXES (WHERE APPLICABLE): LIMITED TO STEEL MATERIAL AND 16 SQUARE INCHES, WITH AN ANNULAR SPACE BETWEEN THE BOX NOT TO EXCEED 1/4". BOXES ON THE OPPOSITE SIDE OF THE RATED WALL SHALL NOT ALIGN.
 - HVAC DUCTWORK (WHERE APPLICABLE): PENETRATIONS TO HAVE 2-HR FIRE RATED DAMPERS.
- 1-HR STUD FIRE WALLS:
2X4 OR 2X6 METAL STUDS N.T.E. 16" O.C. W/MIN 3" THICK MINERAL WOOL INSULATION BATTS WITH ONE SHEET OF 1/2" THICK, TYPE-X, GYPSUM BOARD ON BOTH SIDES. WALL TO BE CONTINUOUS TO ROOF SYSTEM OR RATED CEILING. ALL JOINTS TO RECEIVE JOINT TAPE AND COMPOUND IN ACCORDANCE WITH UNDERWRITER'S LABORATORY. ALL PENETRATIONS PER ITEM 4 ABOVE; INSTALL SECOND LAYER OF GYP. BD. 90-DEG. TO FIRST LAYER AND ENSURE STAGGERING OF JOINTS

LIGHT GAGE FRAMING (IF APPLICABLE)

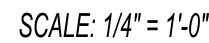
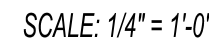
- LIGHT GAGE FRAMING ACCEPTABLE IN LIEU OF WOOD STUDS. ALL WORK SHALL CONFORM TO THE LATEST ADDITION OF THE AISI SPECIFICATION FOR THE DESIGN OF COLD ROLLED STEEL MEMBERS.
- PRIOR TO FABRICATION OF FRAMING, THE CONTRACTOR SHALL FIELD VERIFY ALL WALL LAYOUT AND REQUIRED INFORMATION.
- BRIDGING INSTALLATION: INSTALL SOLID BRIDGING AS REQUIRED.
- STUDS SHALL BE PRODUCT OF DIETRICH INDUSTRIES OR EQUAL.
- METAL WALL STUD SHEETS SHALL COMPLY WITH ASTM A1003 / A1003M
- INTERIOR, NON-STRUCTURAL, METAL WALL STUDS SHALL CONFORM TO ASTM C645-08a, "STANDARD SPECIFICATIONS FOR NONSTRUCTURAL STEEL FRAMING MEMBERS".
- INTERIOR, NON-STRUCTURAL, METAL WALL STUDS SHALL CONFORM TO ASTM C754-08, "STANDARD SPECIFICATION FOR INSTALLATION OF STEEL FRAMING MEMBERS".
- MASONRY FURRING, IF REQUIRED, TO RECEIVE SINGLE LEG (2-FURRING) OR DOUBLE LEG (HALF CHANNEL) GALV. STEEL STUD, 18 MIL THICK (25ga). INTERIOR WALL STUDS TO RECEIVE DOUBLE LEG CHANNELS 30 MIL (20 ga.) GALV. STEEL STUDS.

BUILDING AREAS

1ST FLOOR HEATED AREA	843 SF
2ND FLOOR HEATED AREA	1,053 SF
TOTAL	1,896 SF
GARAGE	581 SF
BALCONY	74 SF
ATTIC	242 SF
TOTAL UNDER ROOF	2,793 SF

NOTES:

- IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
- PROVIDE TEMPERED GLASS AS REQUIRED.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS.



NOTES:

1. IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
2. PROVIDE TEMPERED GLASS AS REQUIRED.
3. CONTRACTOR MUST VERIFY ALL DIMENSIONS.

CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL
 CERTIFICATE OF AUTHORIZATION NO. 9332
 ASA R. GILLETTE, P.E. * FL. PF NO. 561777

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CONTRACTOR:

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL

ISSUE DATE: 4/1/21

FLOOR
PLANS

North / Elev Key	Sheet
	Page

A-1

Page 6 of 6

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL

ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

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A	AB	01/29/21	OWNER REVIEW
B	AB	02/25/21	OWNER REVIEW #2
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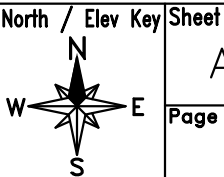
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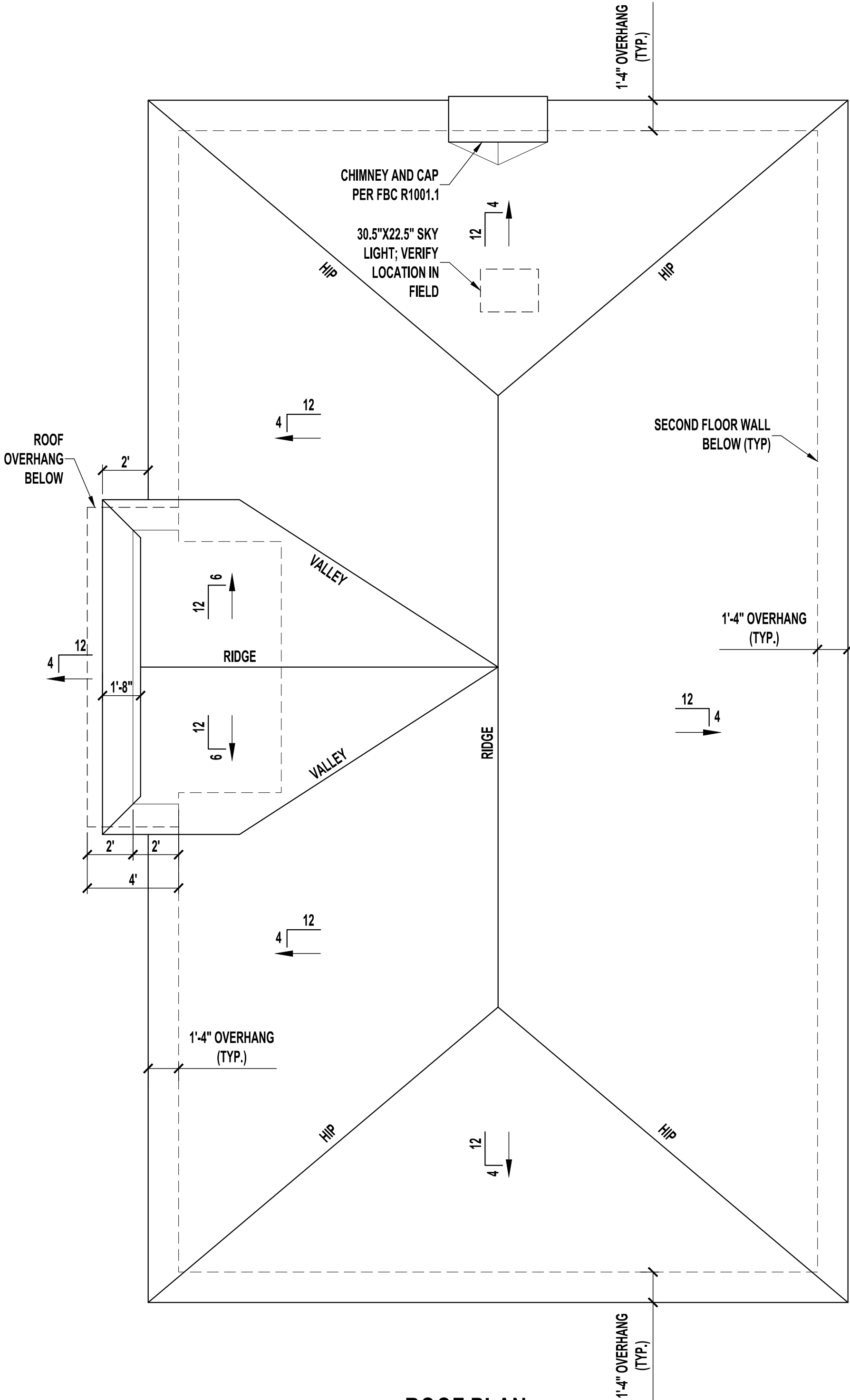
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ROOF PLAN



A-2

Page 7 of



ROOF PLAN

SCALE: 1/4" = 1'-0"

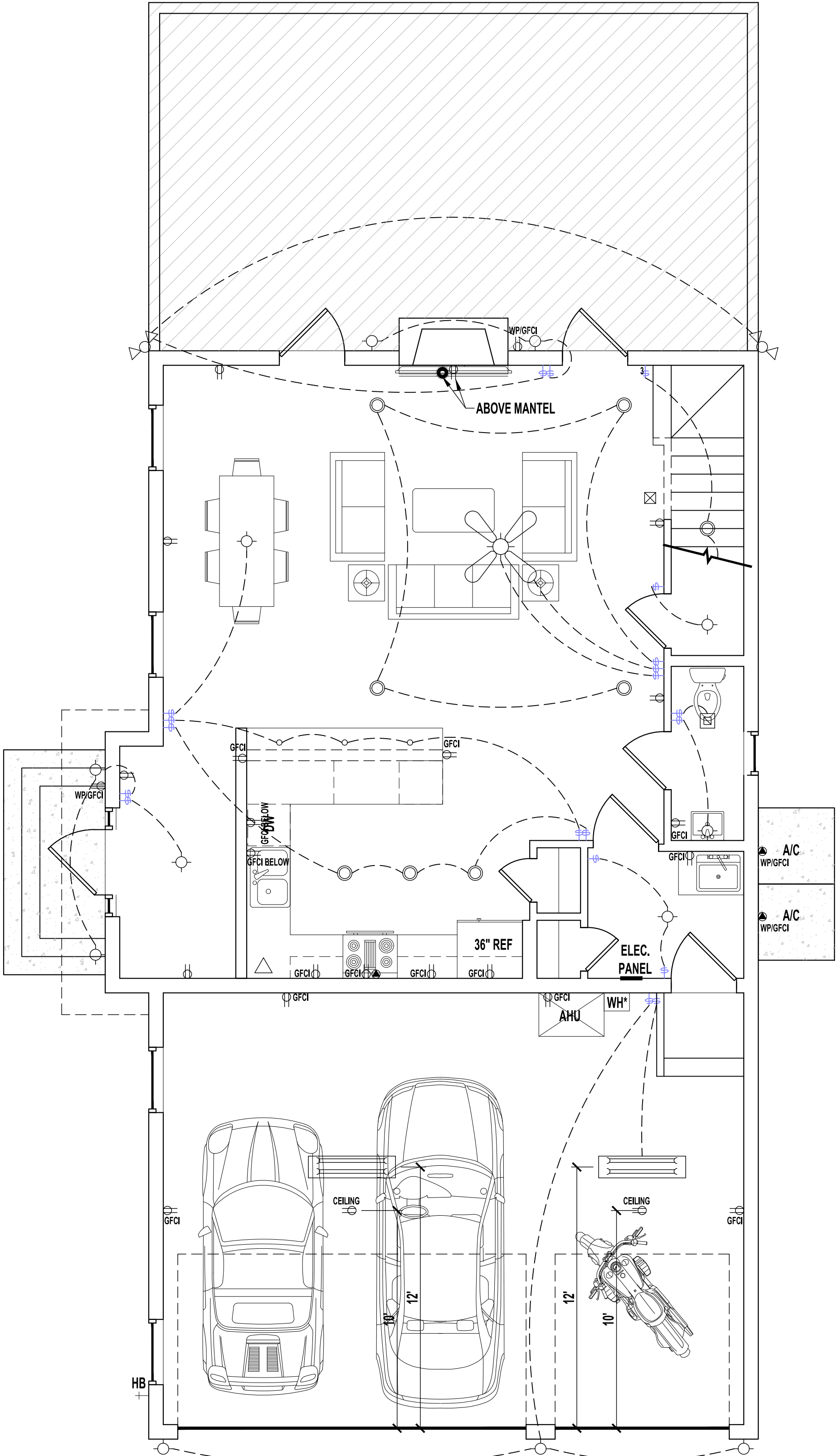
GENERAL ELECTRICAL NOTES

1. THE CONTRACTOR SHALL KEEP PRINTS OF DRAWINGS MARKED TO CLEARLY INDICATE ALL CHANGES MADE AND THE EXACT LOCATIONS OF CONDUITS CONCEALED UNDER CONCRETE OR PAVING. A COPY OF THESE DRAWINGS SHALL BE SENT TO THE OWNER UPON COMPLETION OF THE JOB.
2. THE MINIMUM SPACING BETWEEN AND THE CLEARANCE AROUND ELECTRICAL PANEL, MCC'S, CONTROLLERS, SAFETY SWITCHES AND CONTACTORS SHALL BE AS REQUIRED BY THE NATIONAL ELECTRICAL CODE 2017, AS NOTED ON THE DRAWINGS OR AS REQUIRED BY LOCAL ORDINANCES.
3. CONDUCTORS SHALL BE AS FOLLOWS:
A. ALL CONDUCTORS SHALL BE COPPER STRANDED.
B. ALL CONDUCTORS SHALL BE TYPE "THWN" OR "THHN" UNLESS SHOWN OTHERWISE.
4. ALL EQUIPMENT EXPOSED TO THE WEATHER OR WET CONDITIONS SHALL BE NEMA 4X OR NEMA 3R WHERE INDICATED.
5. PROVIDE A NEATLY TYPED COPY OF THE APPLICABLE PANEL SCHEDULE INSIDE EACH PANEL DOOR AND PLACE INSIDE A PLASTIC COVER. USE PANEL SCHEDULE SHEETS AS A GUIDE.
6. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL STATE AND NATIONAL ELECTRICAL CODES.
7. ALL CONDUITS, APPROVED FOR DIRECT BURIAL, SHALL BE BURIED A MINIMUM OF 36" AND SHALL BE A MINIMUM OF 1" IN DIAMETER, UNLESS OTHERWISE NOTED.
8. SPLICES: CONDUCTORS SHALL NOT BE SPLICED EXCEPT IN OUTLETS OR JUNCTION BOXES, TROUGHS, AND GUTTERS. JUNCTION BOXES MAY BE UTILIZED WHERE REQUIRED. CONDUCTORS #10 AWG AND SMALLER SHALL BE SPLICED BY TWISTING AND INSTALLATION OF 3M "SCOTCH-LOKS" OR T&B "PIGGY" CONNECTORS. CONDUCTORS #8 AWG AND LARGER SHALL BE SPLICED WITH APPROVED MECHANICAL CONNECTORS, PLUS GUM TAPE. UNDERWRITER'S LABORATORIES LISTED, FOR USE AS SOLE INSULATION. THE GUM TAPE SHALL BE APPLIED SO AS TO COVER ALL EDGES AND FORM A SMOOTH SURFACE FOR PLASTIC TAPE. THE FINISHED CONNECTION SHALL HAVE AN INSULATION VALUE EQUAL TO THAT OF THE CONDUCTOR INSULATION.
9. JUNCTION BOX TO BE SUPPORTED FROM JOIST USING BRACKETS LISTED TO MAINTAIN BOX STABILITY WITH CABLE SUSPENDED FROM IT.
10. ALL CONDUITS THAT ARE ROUTED VERTICALLY IN WALLS THAT HAVE FIRE BLOCKING AT THE TOP SHALL HAVE A SEALING SYSTEM INSTALLED AROUND THE CONDUITS WHICH PENETRATE THE FIRE BLOCKING THAT RESTORES THE INTEGRITY OF THE FIRE BLOCKING.
11. PROVIDE BONDING FOR ALL METAL RACEWAYS THAT CONTAINS GROUNDING ELECTRODE AS PER NEC 2017.
12. CONTRACTOR SHALL VISIT AND SURVEY THE SITE THOROUGHLY TO INSPECT CONDITIONS INCLUDING BUT NOT LIMITED TO ACCESS AND WORK SPACE LIMITATIONS.
13. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH NEC 2017.
14. FINAL LIGHTING LAYOUT TO BE COORDINATED BY CONTRACTOR WITH OWNER.

LEGEND

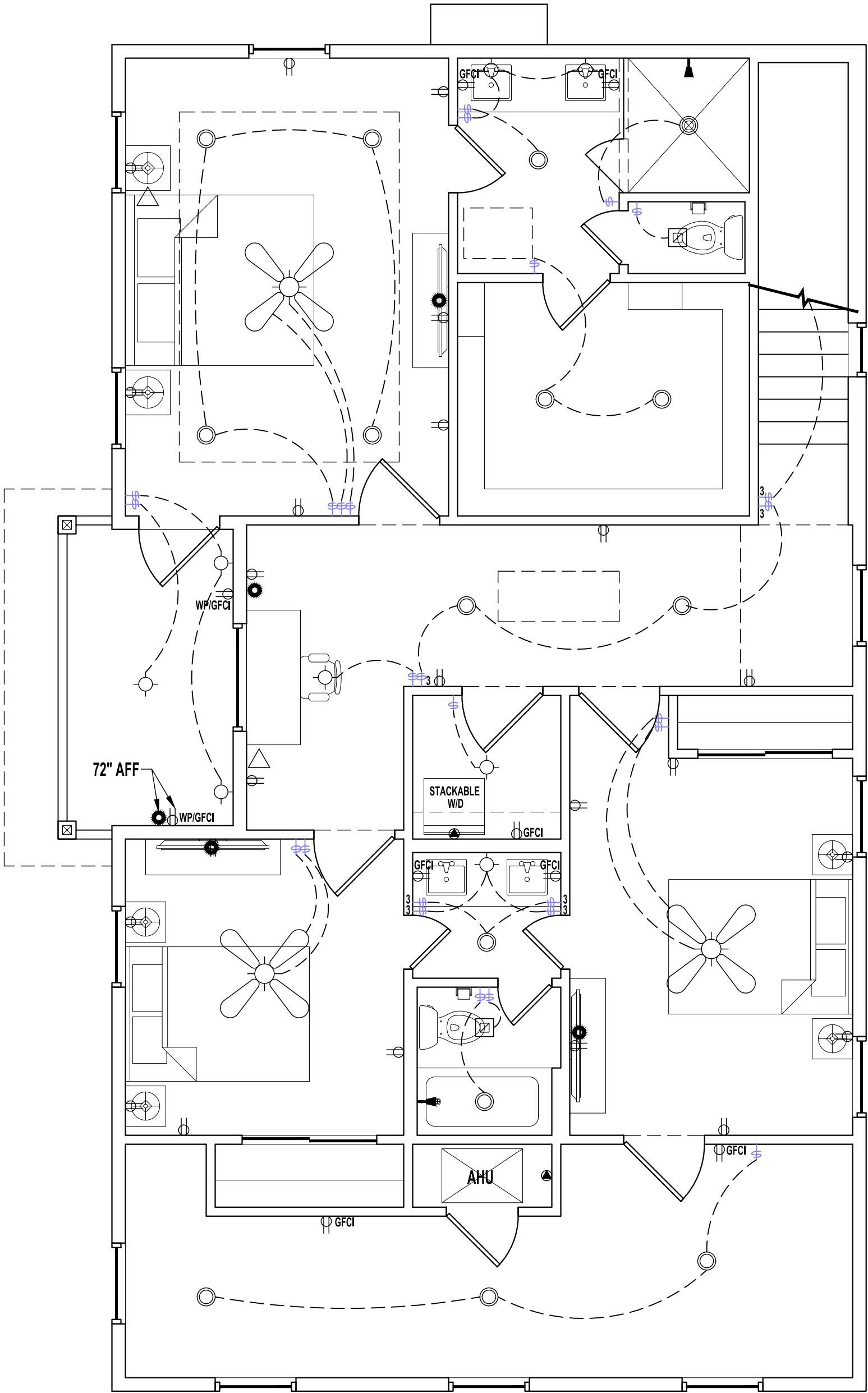
	(2) 110V OUTLETS
	(1) 220V DISCONNECT
	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT FIXTURE / EXHAUST FAN
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	PENDANT LIGHTING
	PRE-WIRE AND BRACE FOR CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR
	OPTIONAL FLOOD LIGHT
	1'X4' FLOURESCENT LIGHT
	CABLE OUTLET
	PHONE OUTLET

- NOTES:
1. ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES. ELECTRICIAN TO VERIFY.
 2. ALL FIXTURES TO BE CFL OR LED.
 3. ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.



1ST LEVEL ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



2ND LEVEL ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

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CONTRACTOR:

ISSUE DATE: 4/1/21

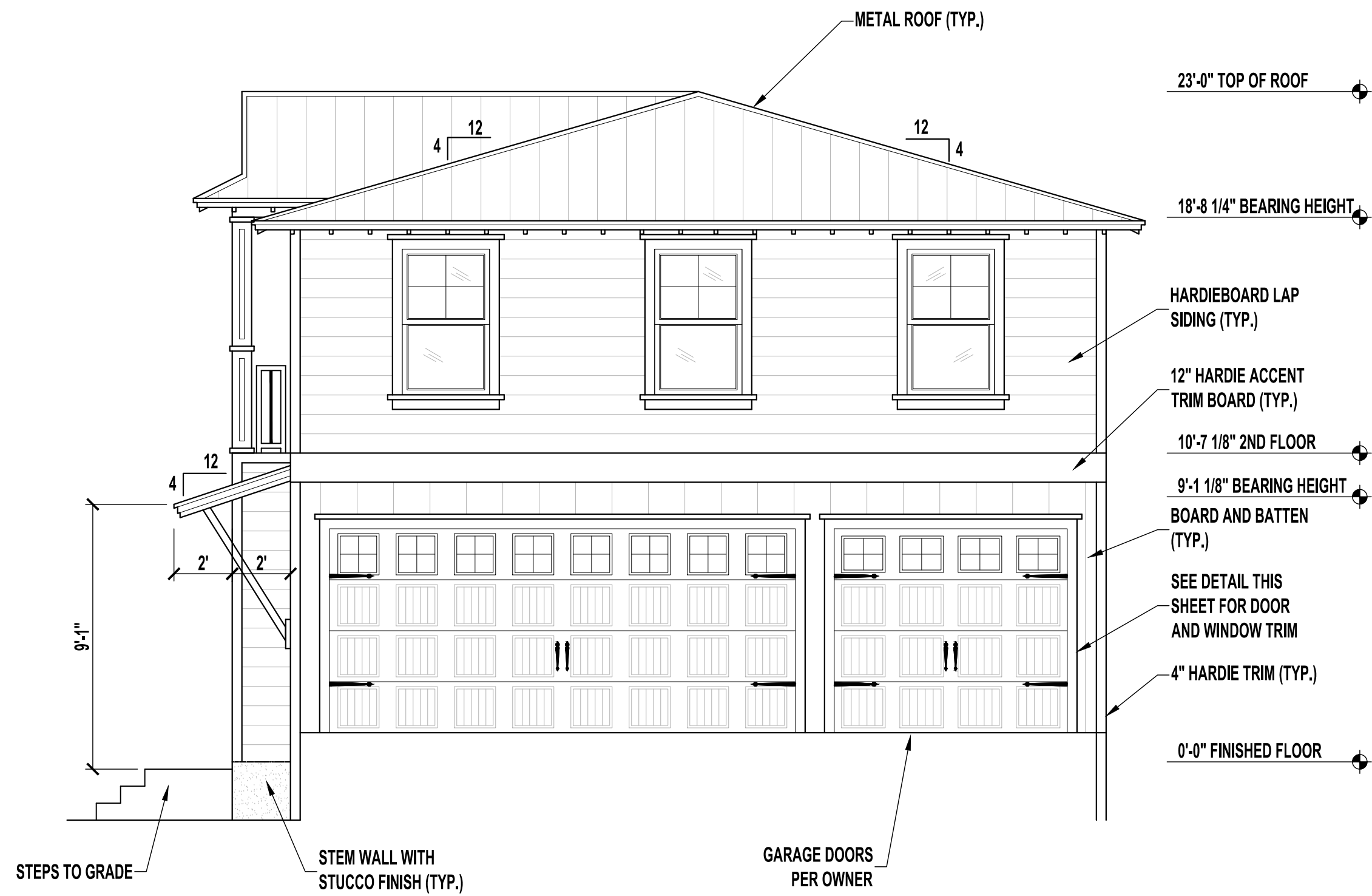
ELECTRICAL
PLAN

North / Elev Key/Sheet



A-3

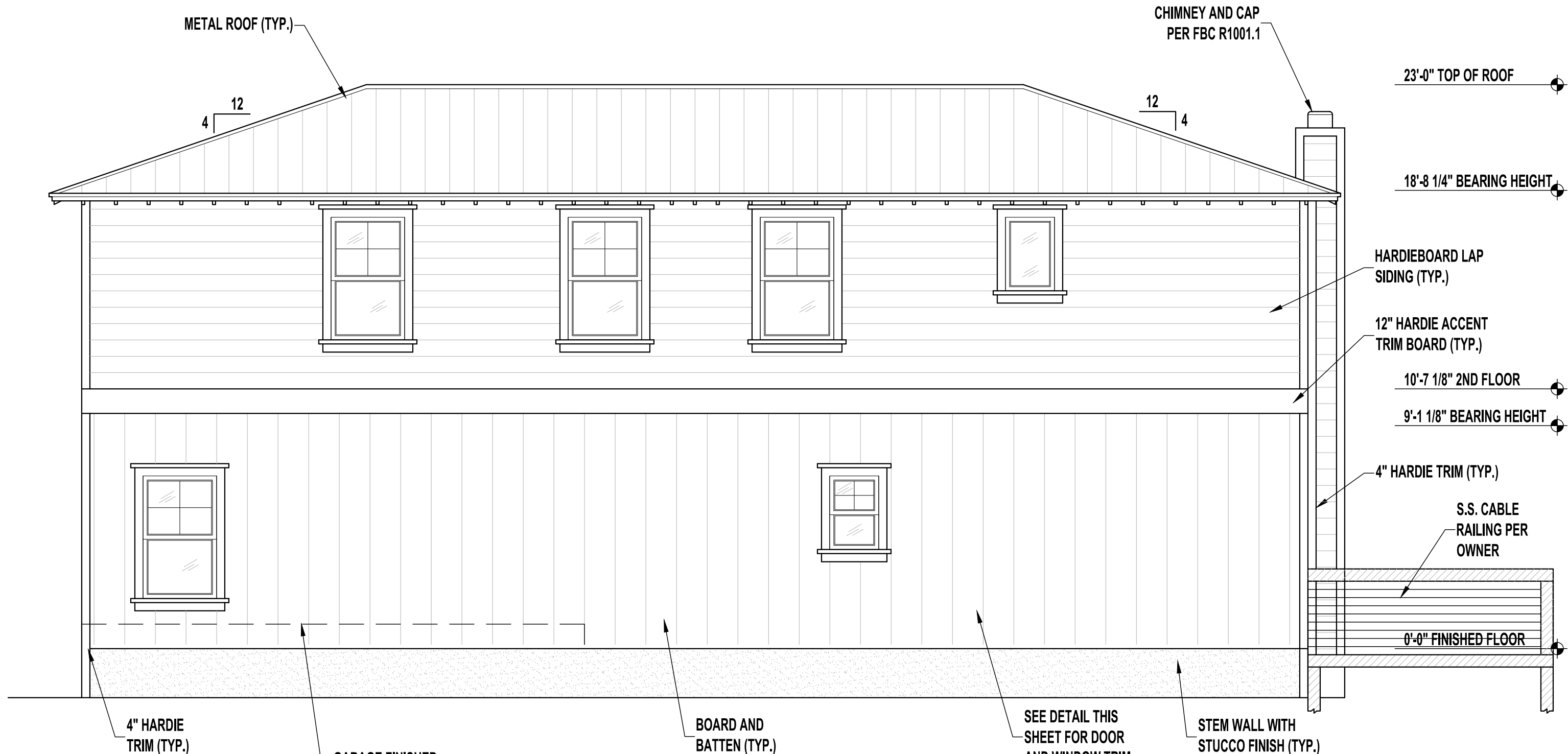
Page 8 of



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACTOR MUST VERIFY ALL DIMENSIONS

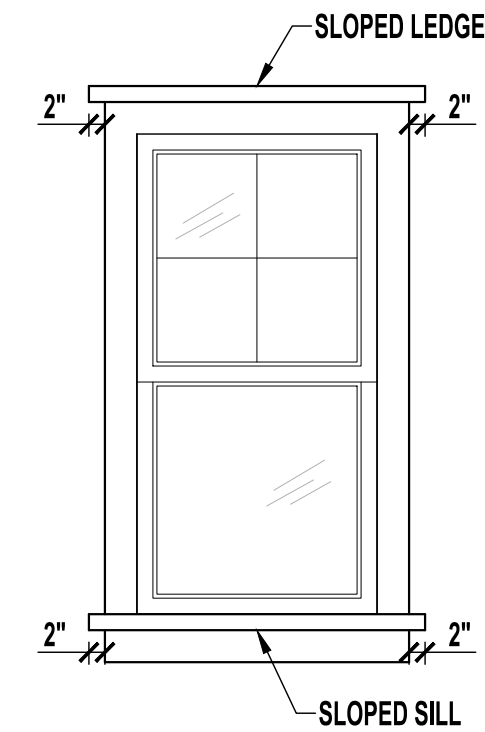
NOTE: ELEVATIONS SHOWN ARE REFERENCE ONLY
SEE SITE PLANS FOR ACTUAL FINISH FLOOR ELEV.



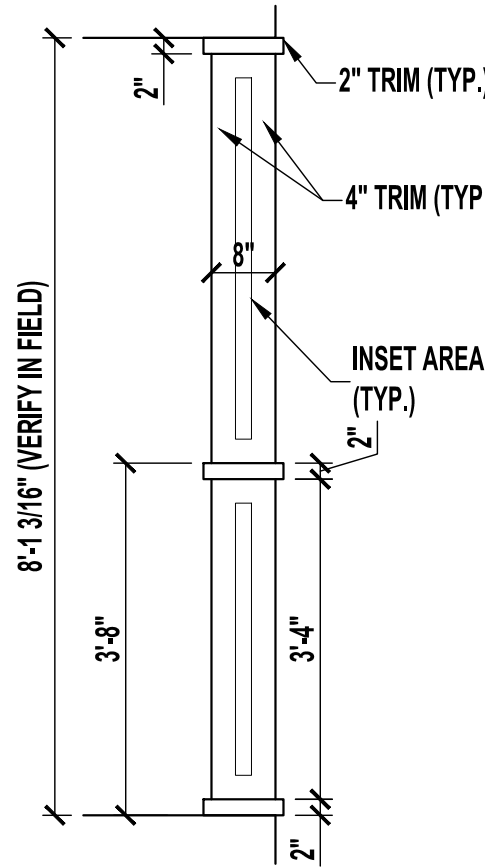
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: ELEVATIONS SHOWN ARE REFERENCE ONLY
SEE SITE PLANS FOR ACTUAL FINISH FLOOR ELEV.

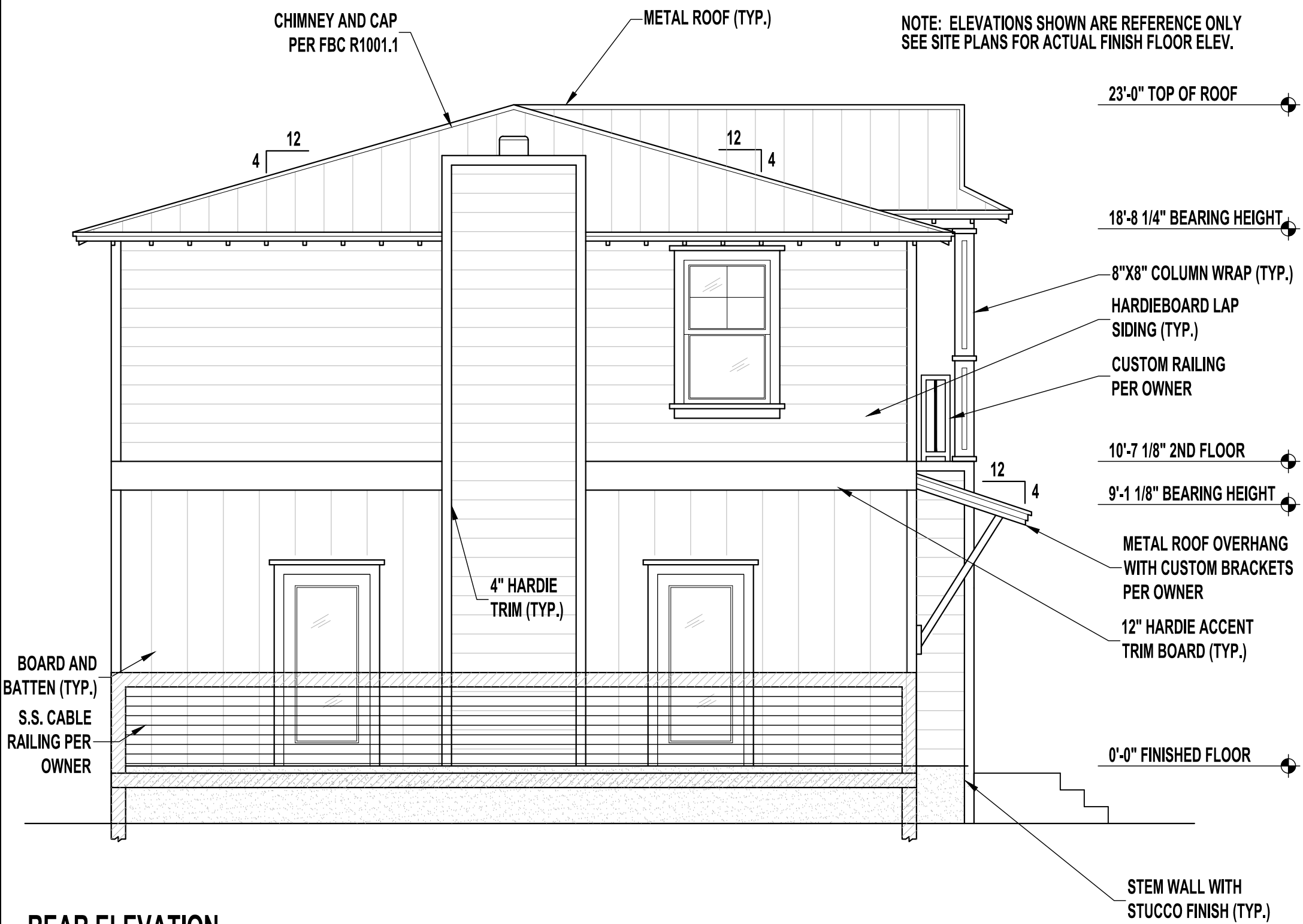
NOT FOR CONSTRUCTION



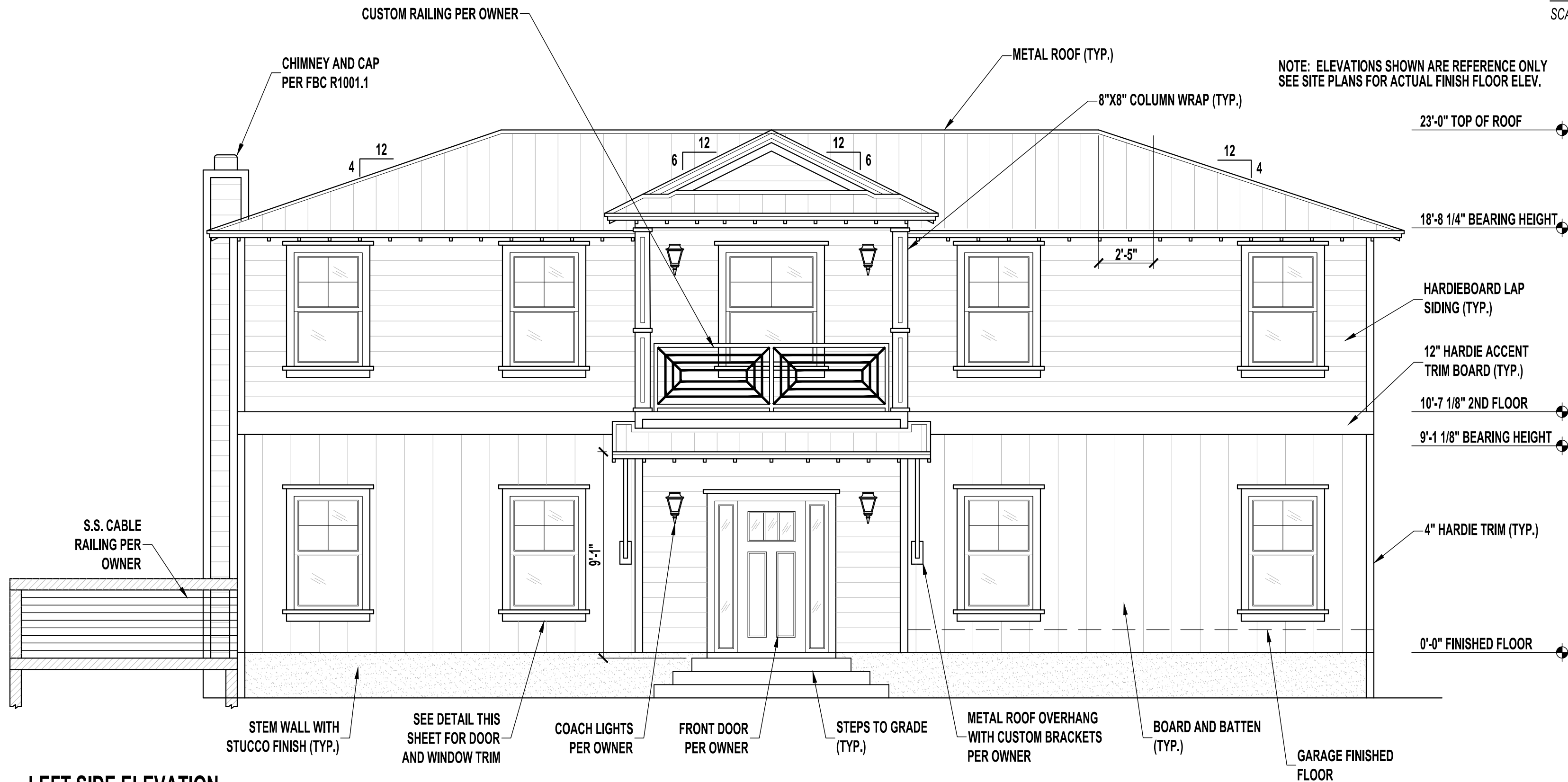
WINDOW TRIM DETAIL
SCALE: 1/2" = 1'-0"



COLUMN DETAIL
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SEE DETAIL THIS
SHEET FOR DOOR
AND WINDOW TRIM

COACH LIGHTS
PER OWNER

FRONT DOOR
PER OWNER

STEPS TO GRADE
(TYP.)

METAL ROOF OVERHANG
WITH CUSTOM BRACKETS
PER OWNER

BOARD AND BATTEN
(TYP.)

GARAGE FINISHED
FLOOR

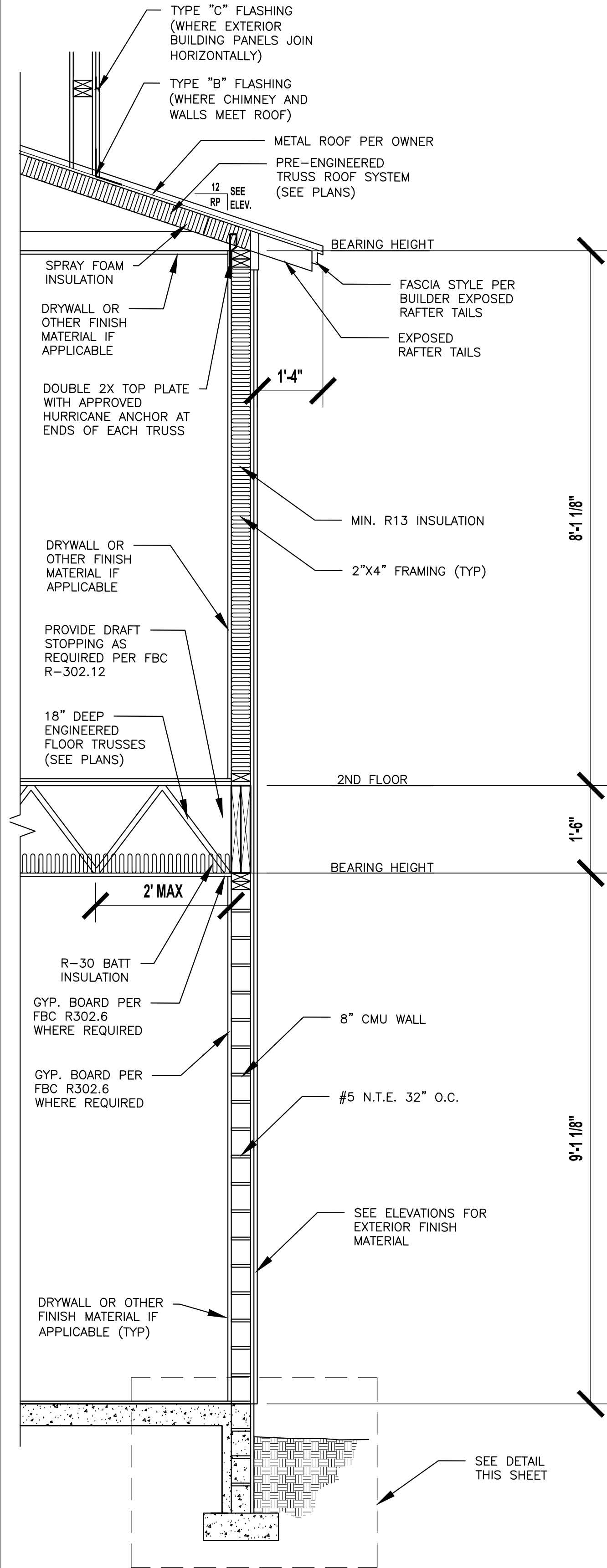
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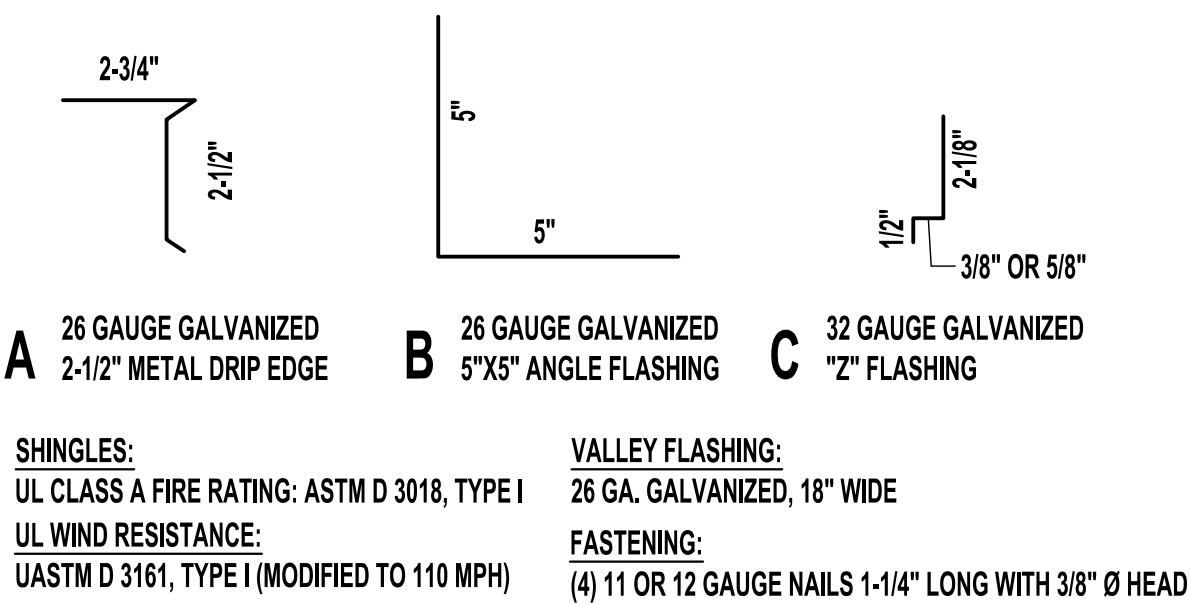
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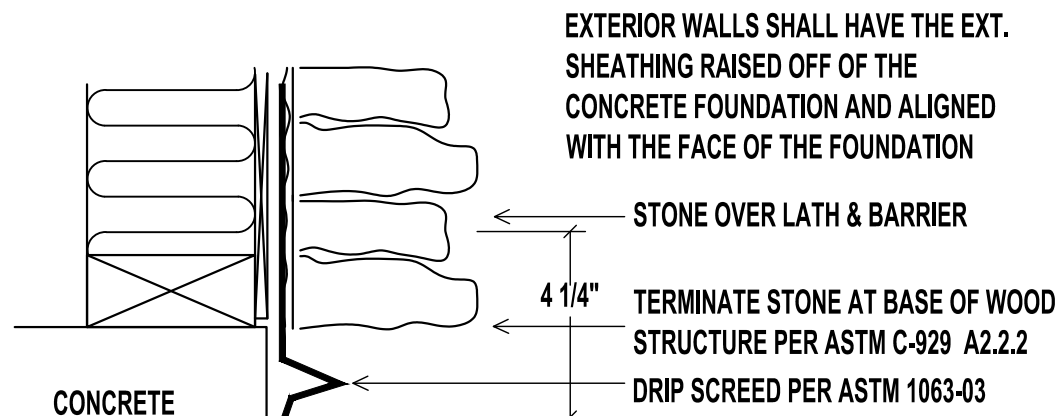
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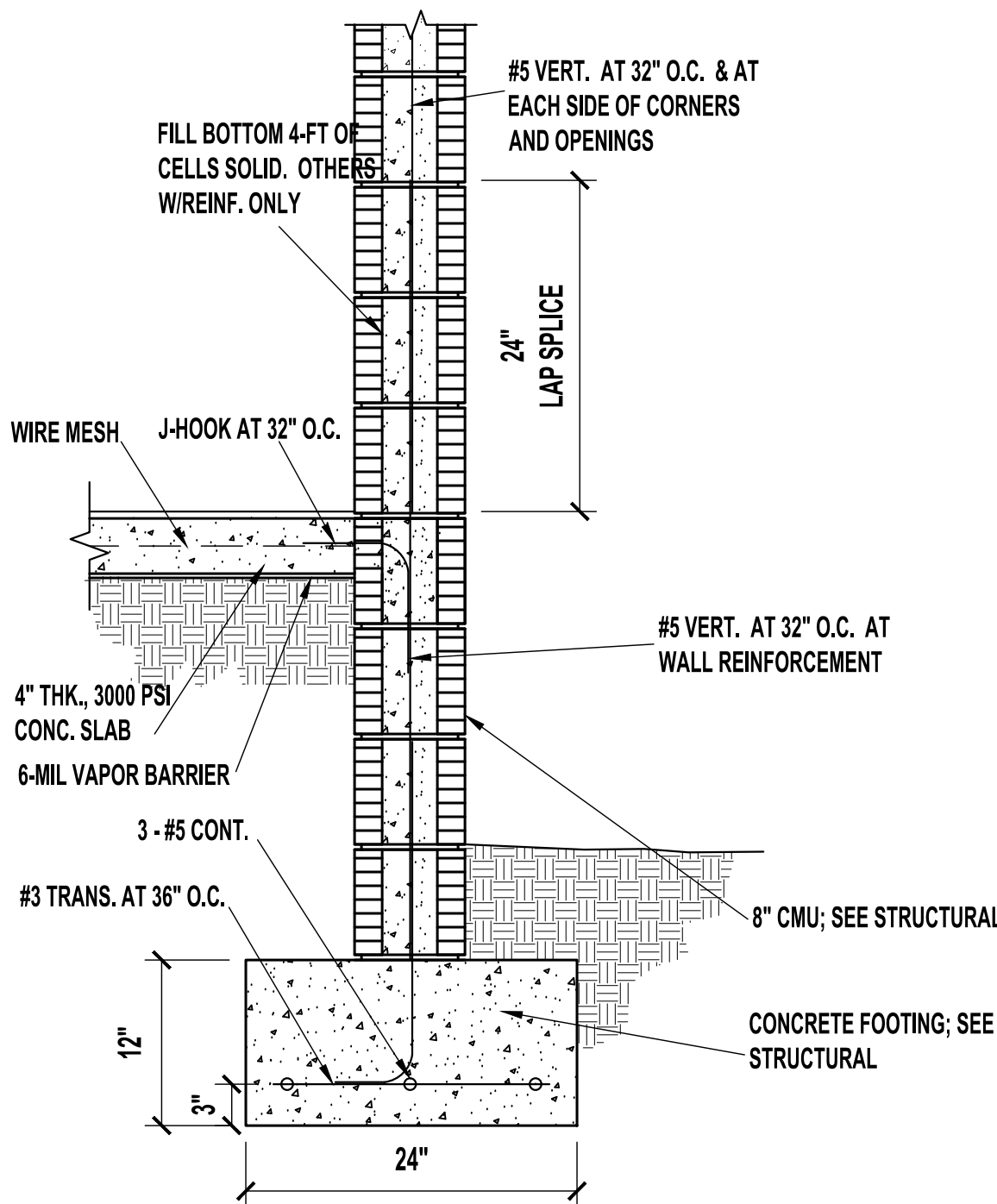
TYPICAL WALL SECTION
N.T.S. SEE PLANS



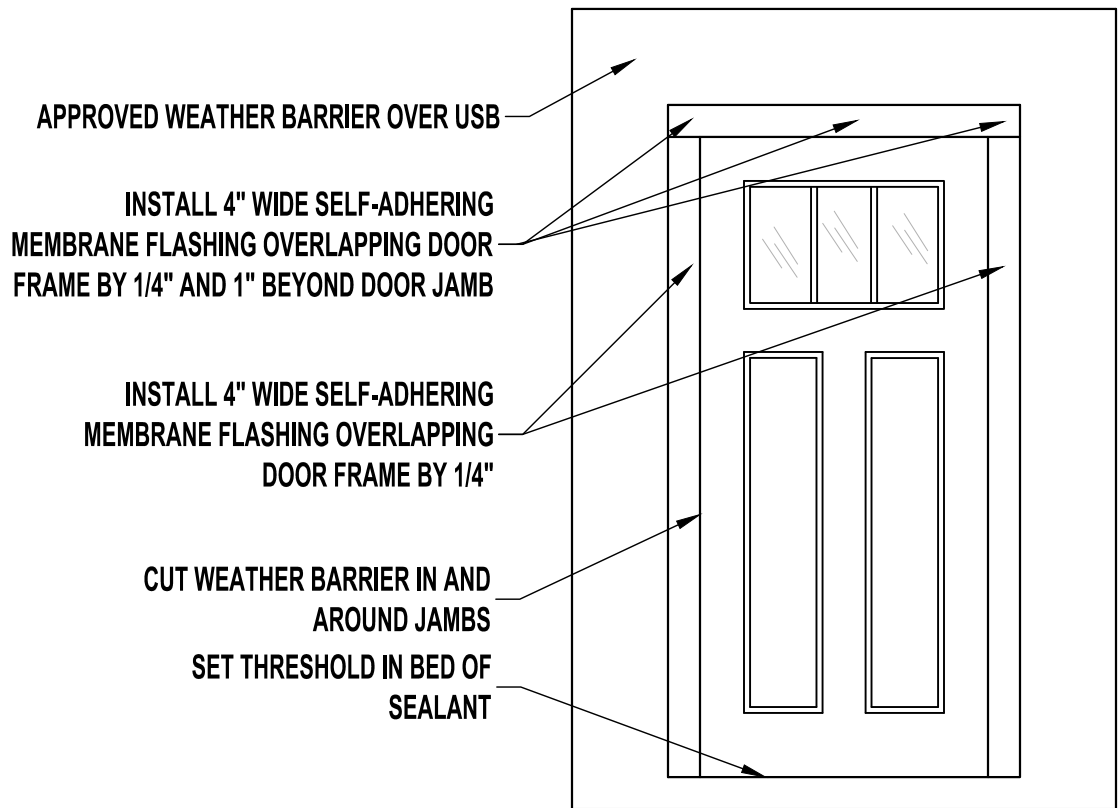
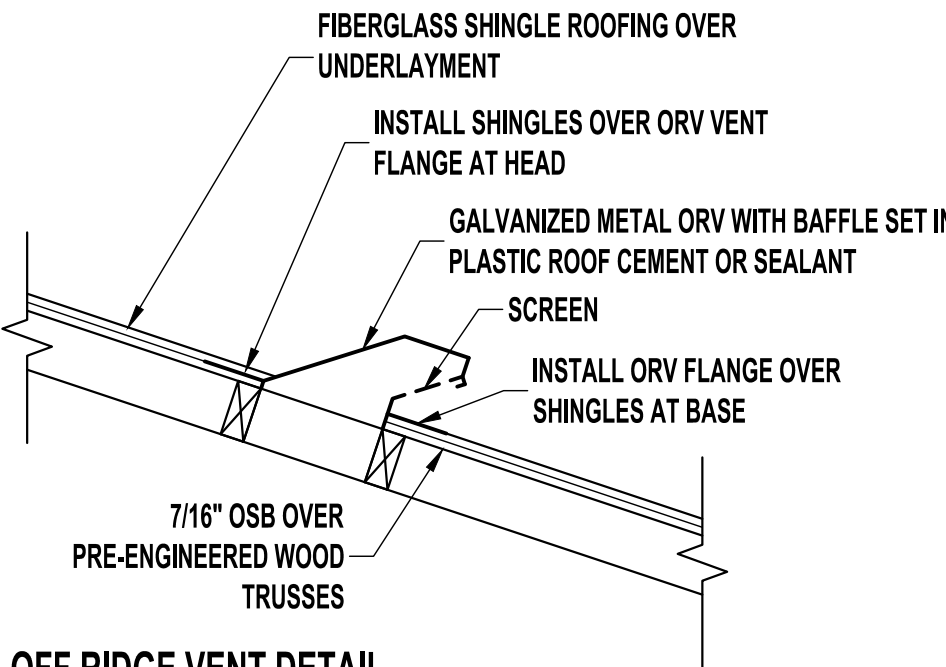
FLASHING DETAILS AND SHINGLE INFORMATION
SCALE : 3" = 1'-0"



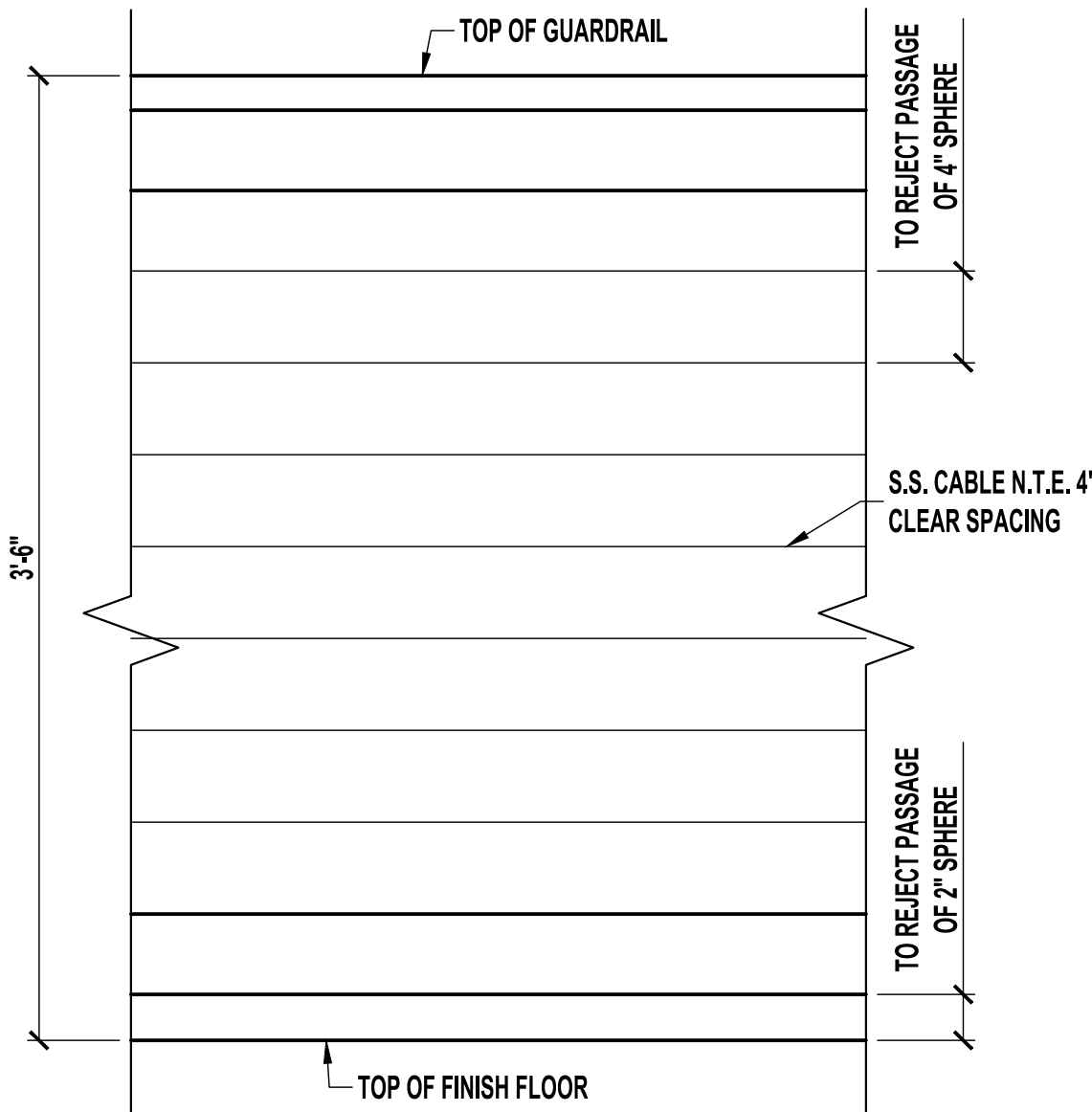
STONE APPLICATION DETAIL
SCALE: N.T.S.



TYPICAL WALL SECTION
(DETAIL)
SCALE : 1" = 1'-0"



DOOR FLASHING INSTALLATION AND DETAIL
SCALE: N.T.S.



GUARDRAIL DETAIL
SCALE : 1 1/2" = 1'-0"

GENERAL NOTES:

1. PARKING BUMPER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
2. 5/8" TYPE 'X' GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAL SPACE IS ABOVE PER FBC R302.6.
3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5.
4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

GUARDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.
*HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RAISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.
*OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

HANDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.8 FOR HANDRAIL HEIGHT CONTINUITY AND SIZE.
*HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.
*CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.
*SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4"-2" IF CIRCULAR, SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

STAIR NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.
*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER.
TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD. THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".
*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

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PHONE: 904-261-8819 * WWW.GILLETTEASSOCIATES.COM

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL
CONTRACTOR:

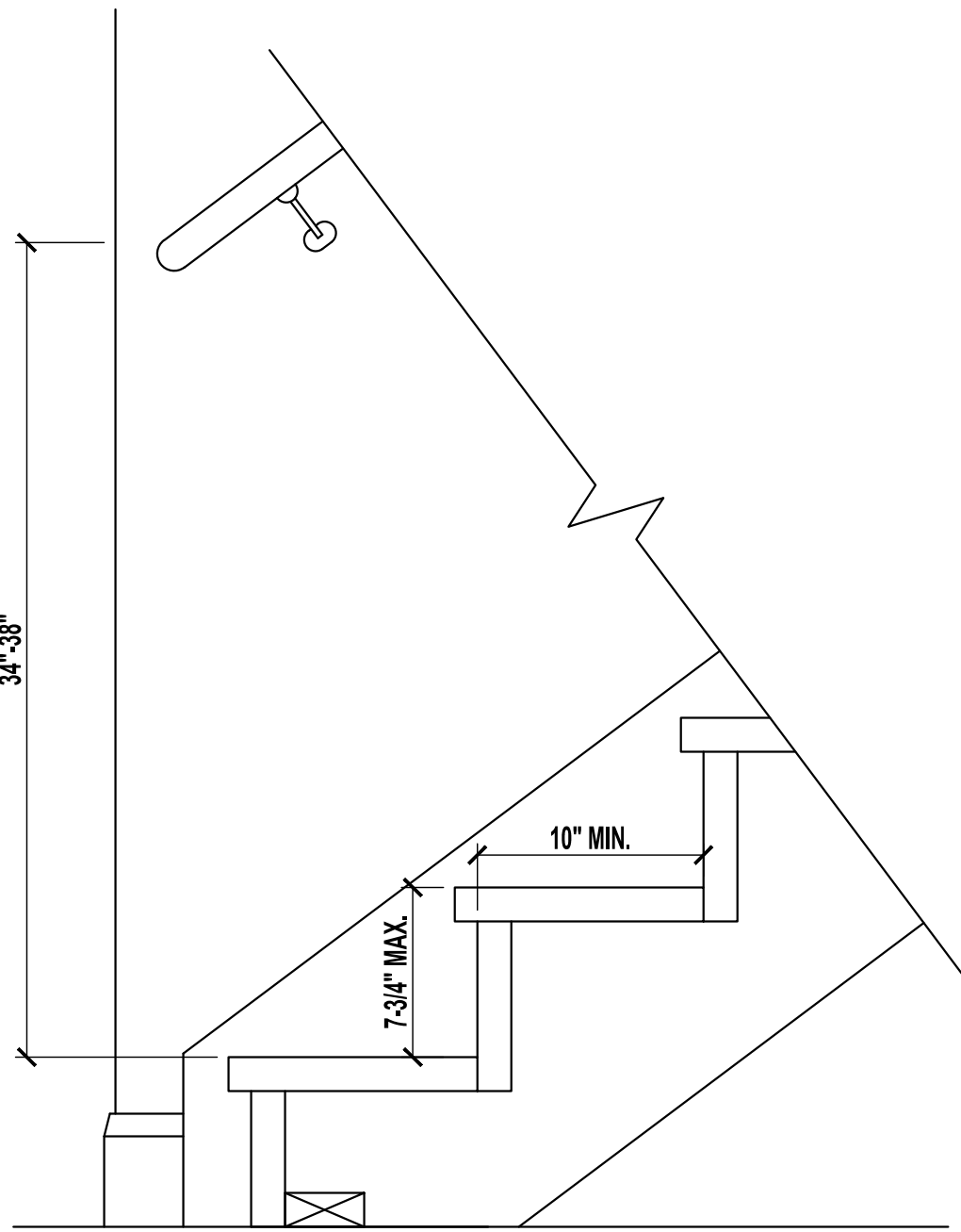
NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL
ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

REV	BY	DATE	ITEM
A	AB	01/29/21	OWNER REVIEW
B	AB	02/25/21	OWNER REVIEW #2
C	AB	04/01/21	OWNER REVIEW #3

GILLETTE & ASSOCIATES, INC.
CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. • FL PE NO. 56177
20 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * WWW.GILLETTEASSOCIATES.COM

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL
CONTRACTOR:



STAIR DETAIL

SCALE : 1 1/2" = 1'-0"

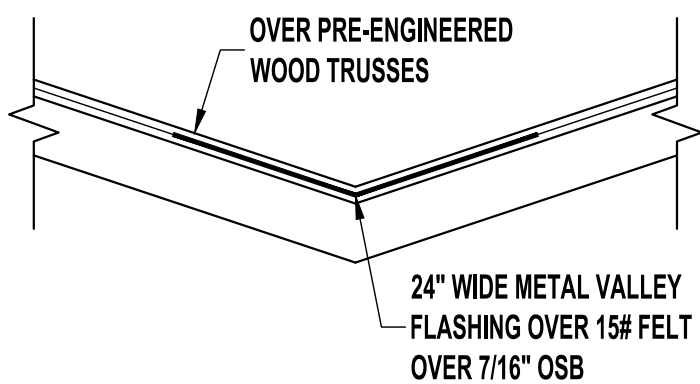
R703.4 FLASHING:

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANOR TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED ANTI-CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
2. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.
5. AT ALL WALL AND ROOD INTERSECTIONS.
6. AT BUILT IN GUTTERS.

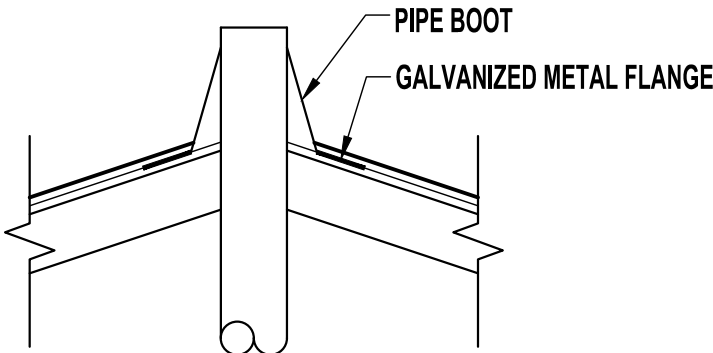
VALLEY SHINGLE INSTALLATION:
INSTALL SHINGLES USING WEAVE METHOD

1. EXTEND (1) FULL END SHINGLE MINIMUM 12" PAST CENTER LINE OF VALLEY. SEE MANUFACTURERS WRITTEN INSTRUCTIONS FOR ADDITIONAL INSTALL INFORMATION.
2. DO NOT NAIL MINIMUM 6" FROM VALLEY CENTER LINE.



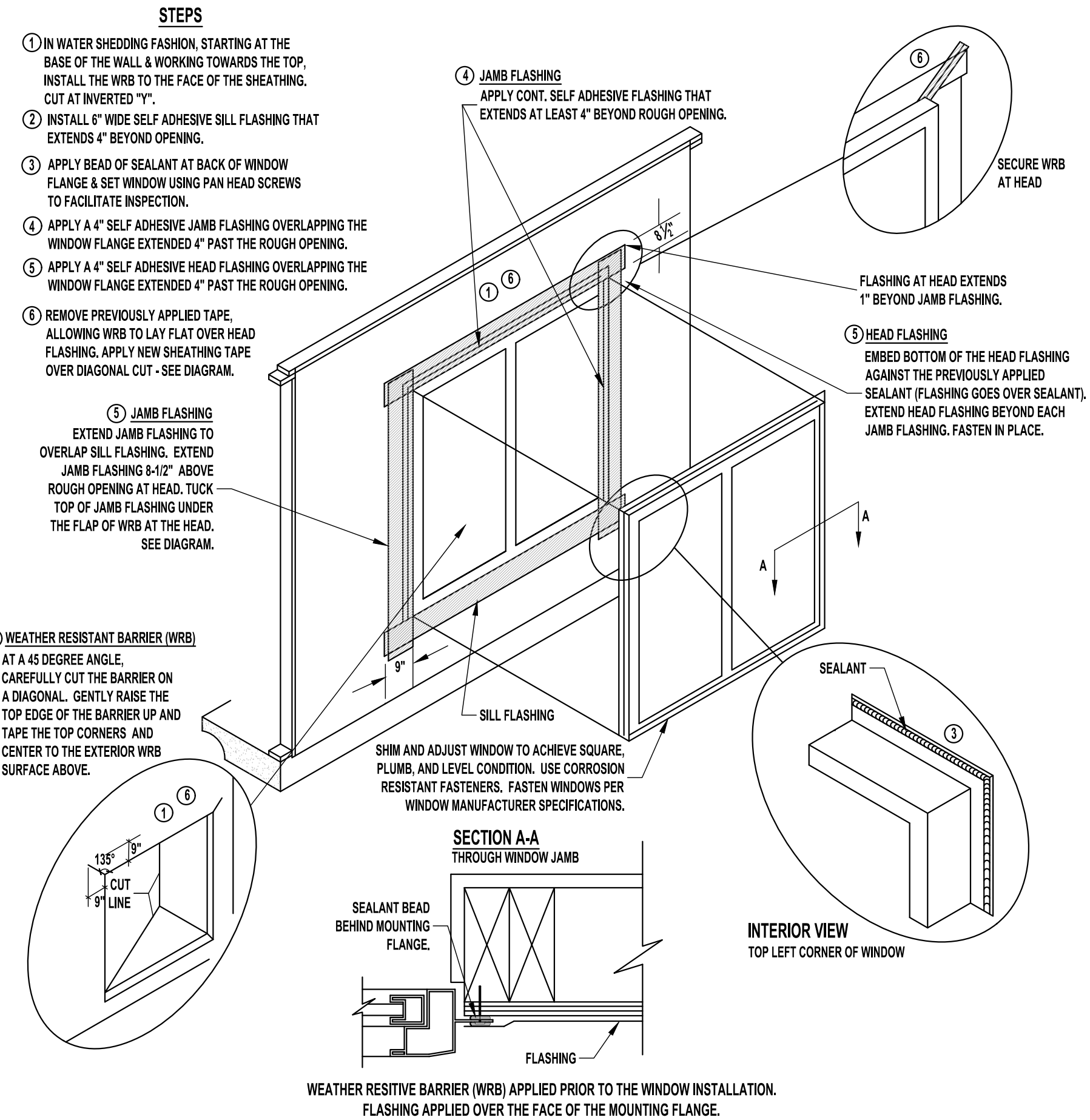
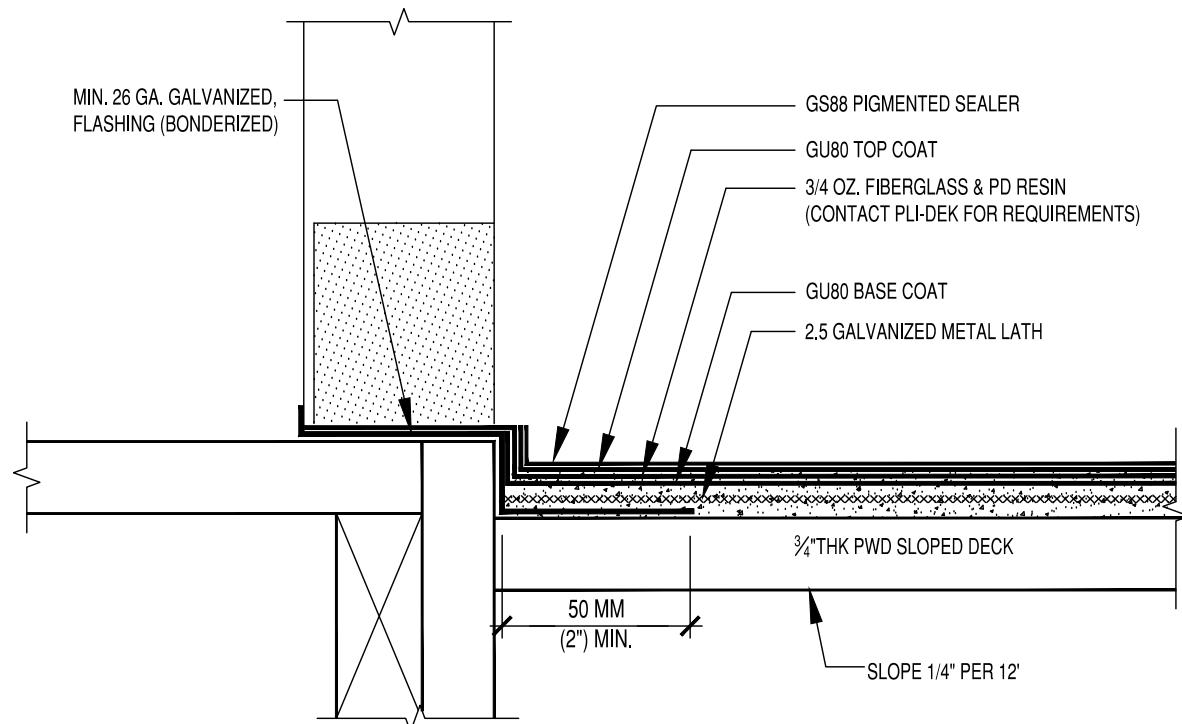
VALLEY FLASHING DETAIL

NOT TO SCALE



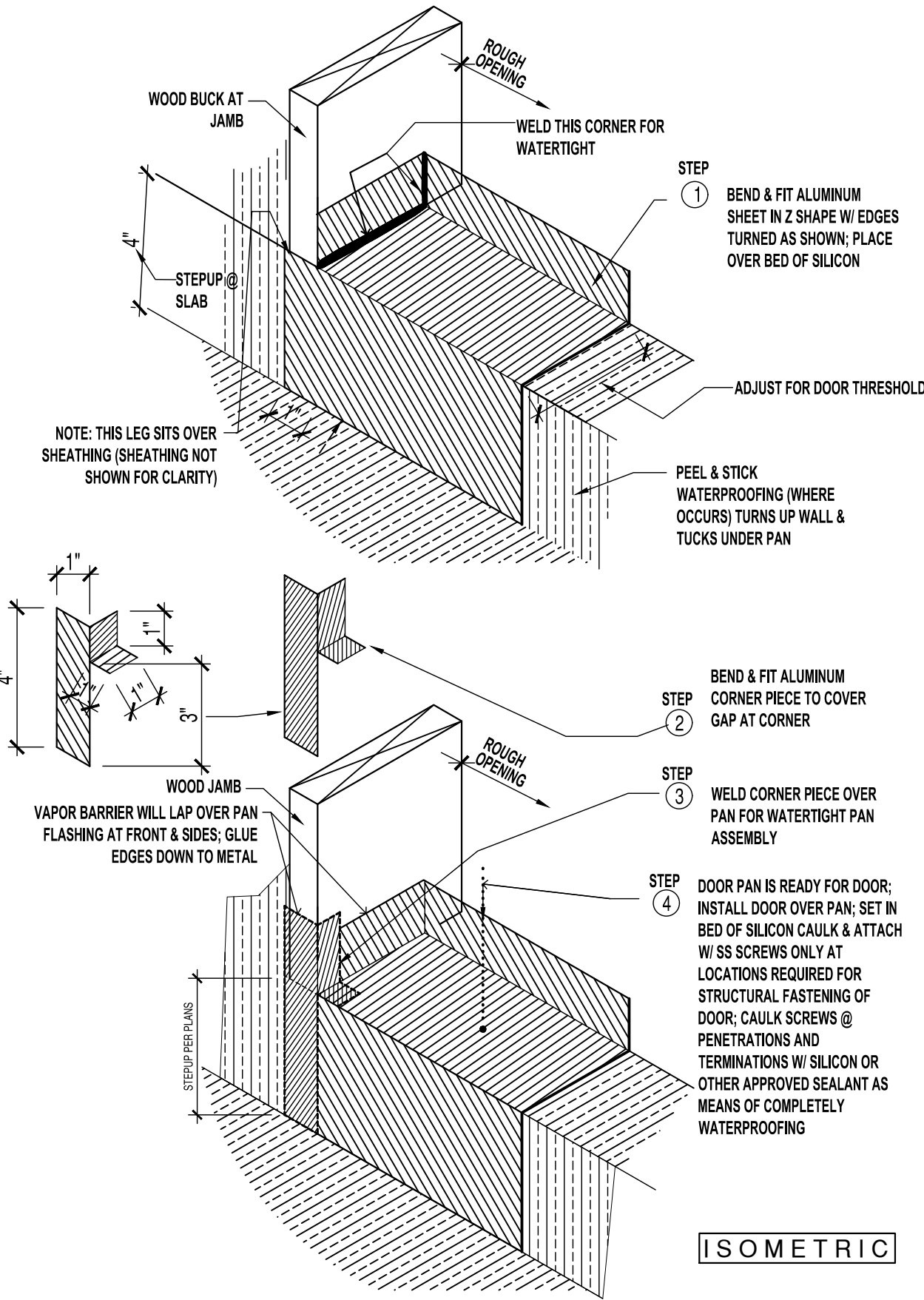
PLUMBING STACK FLASHING DETAIL

NOT TO SCALE



WINDOW INSTALLATION

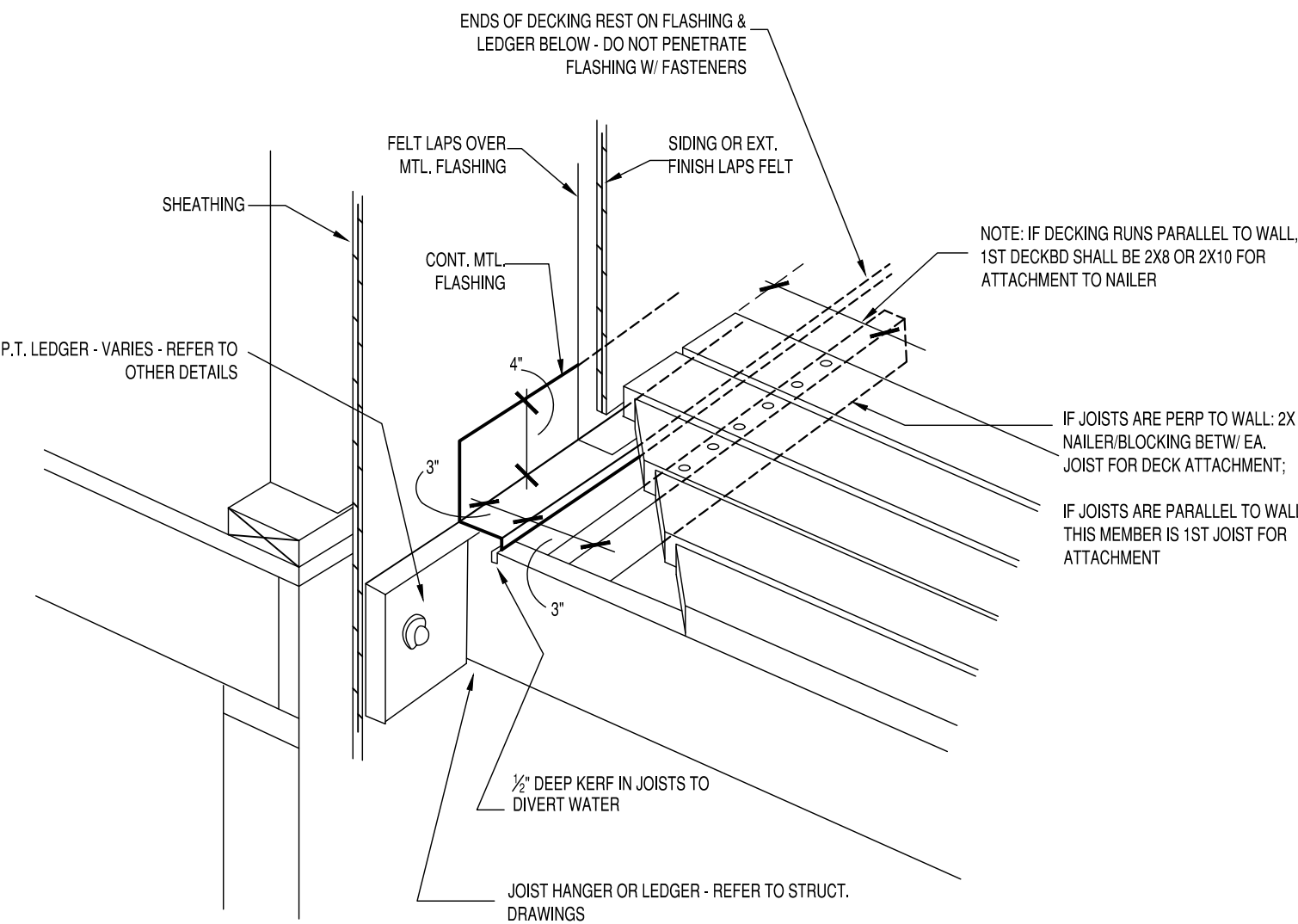
SCALE: N.T.S.



METAL PAN DETAIL AT DOOR THRESHOLDS

N.T.S.

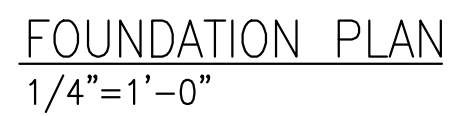
NOTE: MAY USE STAINLESS STEEL GRADE 316 IN LIEU OF ALUMINUM AT CONTRACTORS OPTION



DECK LEDGER FLASHING

NTS

2X TYPICAL DECKING



DOUBLE TOP PLATE

CRIPPLE STUDS

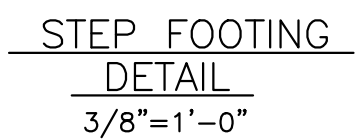
HEADER

FULL LENGTH WALL STUDS

HEADER STUDS

This diagram illustrates the vertical assembly of a wall. At the top, a 'DOUBLE TOP PLATE' is shown as two parallel horizontal lines. Below this, a section of the wall is defined by 'CRIPPLE STUDS' (indicated by a double-headed arrow) and a 'HEADER' (indicated by a horizontal line). The main body of the wall is supported by 'FULL LENGTH WALL STUDS' (indicated by a horizontal line with an arrow pointing to the left) and 'HEADER STUDS' (indicated by a horizontal line with an arrow pointing to the right). The bottom of the wall is supported by a foundation, shown as a thick horizontal line.

TYP. FRAMING AT WOOD WALL OPENINGS



GENERAL STRUCTURAL NOTES

I. GENERAL

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATED TO CONSTRUCTION BY MAKING FIELD MEASUREMENTS PRIOR TO COMMENCING WORK.
- TEMPORARY SHORING AND BRACING FOR CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXCAVATED MATERIAL AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR.

II. CODE

- FLORIDA BUILDING CODE 7TH EDITION (2020).
- ASCE 7-16
- AMERICAN CONCRETE INSTITUTE (ACI)
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

III. DESIGN LOADS

- ROOF LIVE LOAD----- 25 PSF
- ROOF DEAD LOAD----- 20 PSF
- ROOF & FLOOR BOT. CH. COLL. LOAD-----5 PSF
- ROOF WIND LOAD-----SEE TBL THIS SHT.
- FLOOR LIVE LOAD----- 40 PSF
- FLOOR DEAD LOAD----- 25 PSF

IV. DESIGN WIND LOADS

- ULTIMATE WIND SPEED----- 130 MPH
 - NOMINAL WIND SPEED----- 101 MPH
 - RISK CATEGORY----- II
 - ENCLOSURE CLASSIFICATION----- ENCLOSED
 - WIND EXPOSURE FACTOR----- D
- PER ASCE 7-16, IMPACT RESISTANT GLAZING IS REQUIRED

V. FOUNDATIONS

- PLACE GRANULAR FILL IN 8" LAYERS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557.
- DEWATER AS REQUIRED, SUCH THAT THE EXCAVATIONS ARE DRY AT THE TIME OF CONCRETE PLACEMENT.
- THE ENGINEER SHALL APPROVE THE FILL MATERIAL.
- REMOVE ALL TURF AND ORGANIC MATERIALS FROM UNDER THE PROPOSED FOUNDATION AND FLOOR AREA.
- SOIL BEARING STRENGTH TAKEN TO BE 2000 PSF

VI. CONCRETE

- THE LATEST EDITIONS OF THE FOLLOWING STANDARDS SHALL APPLY:
ACI 318 (CODE) ACI 304 (PLACING)
ACI 306 (WINTER CONCRETING) ACI 315 (DETAILING)
ACI 305 (HOT WEATHER CONCRETING) ACI 347 (FORMWORK)
ACI 211.1 (MIX COMPRESSIVE)
- THE REQUIRED CONCRETE STRENGTH BASED ON AN AGE OF 28 DAYS FOR ELEMENTS IN THE STRUCTURE SHALL NOT BE LESS THAN:
5000 PSI FOR PILING, FOOTINGS AND GRADE BEAMS.
3000 PSI FOR AUXILIARY AND FOUNDATION REINFORCEMENT
5000 PSI FOR ALL WEATHER EXPOSED CONCRETE, COLUMNS & BEAMS.
- ALL READY-MIXED CONCRETE SHALL COMPLY WITH ASTM C94-86A.
- MIX PROPORTION AND DESIGN: PROPORTIONS, MIXES, COMPLYING MIX DESIGN PROCEDURES SPECIFIED IN ACI 301.
A. LIMIT OF FLY ASH (ASTM C808 TYPE C OR F) TO NOT TO EXCEED 25% OF PORTLAND CEMENT (ASTM C150 TYPE 1 OR 2) CONTENT BY WEIGHT. DO NOT USE FLY ASH IN CONJUNCTION WITH BLAST FURNACE SLAG.
B. DESIGN MIXES TO PROVIDE NORMAL WEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES:
1. WATER-CEMENT RATIO ----- 0.55 MAXIMUM
2. AIR INTRINMENT (ASTM C 260): 3% ± 1%
C. SLUMP LIMITS: PROPORTION AND DESIGN MIXES TO RESULT IN CONCRETE SLUMP AT A POINT OF PLACEMENT AS FOLLOWS:
1. RAMPS AND SLOPING SURFACES: NOT MORE THAN 3 INCHES.
2. OTHER CONCRETE: 4" ± 1"
D. FINE AND COARSE SHALL BE PER ASTM C33.
- SITE ADDED WATER IS PERMITTED WITHIN THE FIRST 15 MINUTES AFTER THE TRUCK ARRIVES ON THE JOB PROVIDED THAT THE WATER CEMENT RATIO AND THE SLUMP LIMITS ARE NOT EXCEEDED, HOWEVER NOT MORE THAN ONE GALLON OF WATER PER CUBIC YARD OF CONCRETE MAY BE USED TO ADJUST THE MIX AT THE JOB SITE.
- CONSOLIDATE ALL CONCRETE, OTHER THAN SLABS ON GRADE USING MECHANICAL VIBRATING EQUIPMENT.
- DO NOT PLACE CONCRETE DURING RAIN OR IF ANY RAIN IS LIKELY TO OCCUR PRIOR TO CONCRETE HARDENING.
- EPOXY ADHESIVE FOR FASTENING BOLTS, REBAR, OR DOWELS IN CONCRETE SHALL BE EITHER SIMPSON "AT" OR HILTI HY 150.
- ALL REINFORCING STEEL SHALL BE SUPPORTED ON STANDARD ACCESSORIES, HELD RIGIDLY AND ACCURATELY IN PLACE, AND PROTECTED AGAINST DISPLACEMENT BEFORE AND DURING PLACEMENT OF CONCRETE.
- REINFORCEMENT CHAIR LEGS THAT REST ON CONCRETE SURFACES THAT WILL BE EXPOSED IN THE FINISHED STRUCTURE SHALL BE FABRICATED OF STAINLESS STEEL OR SHALL BE PLASTIC COATED.
- THE READY-MIXED CONCRETE PRODUCER SHALL SUBMIT TRIPPLICATE DELIVERY TICKETS, ONE FOR THE CONTRACTOR, ONE FOR THE OWNER AND ONE FOR THE ENGINEER WITH EACH LOAD OF CONCRETE DELIVERED TO THE SITE.
- DELIVERY TICKETS SHALL PROVIDE THE FOLLOWING INFORMATION:
A. DATE.
B. NAME OF READY-MIX CONCRETE PLANT.
C. CONTRACTOR.
D. JOB LOCATION.
E. TYPE OF CEMENT STANDARD EARLY STRENGTH AND BRAND OF CEMENT.
F. CEMENT CONTENT IN BAGS PER CUBIC YARD OF CONCRETE.
G. TRUCK NUMBER.
H. TIME DISPATCHED AND TIME UNLOADED.
I. AMOUNT OF CONCRETE IN LOAD IN CUBIC YARDS.
J. ADMIXTURES IN CONCRETE, IF ANY.
K. TYPE AND MAXIMUM SIZE OF AGGREGATE.
L. MAXIMUM ALLOWABLE SLUMP.
M. TEMPERATURE OF MIX.
- DURING CONCRETE PLACEMENT COMPLY WITH ACI 304R-85 AND THE FOLLOWING SPECIFIC REQUIREMENTS:
* PROVIDE THREE TEST CYLINDERS FROM EACH TRUCK LOAD OF CONCRETE MIXTURE FOR 7,14,AND 28 DAY CURE/STRENGTH TESTS.
* SHORT TROUGHS OR PIPES USED AS AIDS IN PLACING CONCRETE SHALL BE ARRANGED AND USED IN SUCH A MANNER THAT THE INGREDIENTS OF THE CONCRETE ARE NOT SEPARATED.

- DROPPING THE CONCRETE A DISTANCE OF MORE THAN 4 FEET OR DEPOSITING A LARGER QUANTITY AT ANY POINT AND RUNNING OR WORKING IT ALONG THE FORMS WILL NOT BE PERMITTED.
- SPECIAL CARE SHALL BE EXERCISED TO PREVENT SPLASHING CONCRETE ON FORMS AND REINFORCEMENT, AND ANY HARDENED DEPOSIT SHALL BE REMOVED BEFORE COVERING WITH FRESH CONCRETE.
- CONCRETE SHALL BE PLACED IN LAYERS NOT OVER 18" DEEP AND EACH LAYER SHALL BE VIBRATED INTO PLACE IN SUCH A MANNER AS WILL NOT CAUSE THE INGREDIENTS TO SEPARATE. WHERE NECESSARY, VIBRATION SHALL BE SUPPLEMENTED BY HAND SPADING TO SECURE THESE RESULTS. VIBRATIONS SHALL BE KEPT CONSTANTLY IN MOTION AND SHALL NOT BE HELD IN ONE LOCATION LONG ENOUGH TO DRAW A POOL OF GROUT OR WATER FROM THE CONCRETE. MAINTAIN ADDITIONAL MANPOWER AND SPARE EQUIPMENT TO AVOID BREAKDOWN.
- MAINTAIN REINFORCING IN THE PROPER POSITION DURING CONCRETE PLACEMENT OPERATIONS.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HEAT, AND MAINTAIN WITHOUT DRYING AT A RELATIVELY CONSISTENT TEMPERATURE FOR A PERIOD OF TIME NECESSARY FOR HYDRATION OF CEMENT AND PROPER HARDENING.
- START INITIAL CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM CONCRETE SURFACE AFTER PLACING AND FINISHING. WEATHER PERMITTING, KEEP CONTINUOUSLY MOIST FOR NOT LESS THAN 72 HOURS.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HEAT, AND MAINTAIN WITHOUT DRYING AT A RELATIVELY CONSISTENT TEMPERATURE FOR A PERIOD OF TIME NECESSARY FOR HYDRATION OF CEMENT AND PROPER HARDENING.
- THE CONCRETE SHALL RECEIVE TOPPING OF WATERPROOF MEMBRANE AND SHALL HAVE A TOLERANCE OF 1/4" PLUS OR MINUS IN A 10 FOOT RADIUS, NON-ACCUMULATIVE.
- HARD STEEL TROWEL FINISH THE CONCRETE SURFACE. SLABS SHALL BE TROWELED IMMEDIATELY AFTER FLOATING WITH A POWER-DRIVEN TROWEL= CONSOLIDATE SURFACES BY AN INITIAL AND A FINAL HAND TROWELING OPERATION. FINAL TROWELING SHALL BE DONE WHEN A RINGING SOUND IS PRODUCED AS THE TROWEL IS PASSED OVER THE SURFACE. THE FINISHED SURFACE SHALL BE FREE OF TROWEL MARKS AND UNIFORM IN TEXTURE AND APPEARANCE. FINAL SURFACE FINISH TO BE APPROVED BY THE ARCHITECT.
- WHERE FLOOR DRAINS ARE INSTALLED IN FLOOR SLABS, THE FLOOR SHALL BE HELD LEVEL AROUND WALLS AND THE FLOORS SHALL HAVE A UNIFORM PITCH TO DRAINS OF WITH PITCH (SLOPE) AS SHOWN ON DWGS.
- SEAL ALL OUTSIDE EXPOSED CONCRETE SURFACES WITH THOROSHIELD WATER BASE CLEAR URETHANE COATING AS DESCRIBED IN THORO TECHNICAL BULLETIN NO. 28-Q, PH 904-996-6000.

VII. CONCRETE FORMWORK AND REINFORCING

- CHAMFER ALL EXPOSED CONCRETE OUTSIDE CORNERS. FORM CHAMFERS WITH 3/4" x 3/4" STRIPS, ACCURATELY FORMED AND SURFACED TO PRODUCE UNIFORMLY STRAIGHT LINES AND TIGHT EDGE JOINTS. EXTEND TERMINAL EDGES TO REQUIRED LIMIT AND MITER CHAMFER STRIPS AT CHANGES IN DIRECTION. EXPOSED INSIDE CORNERS MAY BE FORMED EITHER SQUARE OR CHAMFERED.
- THE DESIGN AND ENGINEERING OF THE FORMWORK AS WELL AS ITS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK", ACI 347-84.
- FORMS SHALL CONFORM TO SHAPE, LINES, AND DIMENSIONS SHOWN ON THE DRAWINGS. THEY SHALL BE SUBSTANTIAL AND DESIGNED TO SAFELY RESIST THE PRESSURE AND WEIGHT OF THE CONCRETE, AND SHALL BE PROPERLY TIED AND BRACED OR SHORED SO AS TO MAINTAIN POSITION AND SHAPE.
- DESIGN FORMWORK TO BE READILY REMOVABLE WITHOUT IMPACT, SHOCK, OR DAMAGE TO CAST-IN-PLACE CONCRETE SURFACES AND ADJACENT MATERIALS.
- PROPERLY BRACE AND TIE THE FORMS TOGETHER SO AS TO MAINTAIN POSITION AND SHAPE AND TO ENSURE SAFETY TO PERSONNEL DURING CONCRETE PLACEMENT.
- CONSTRUCT ALL BRACING, SUPPORTING MEMBERS, AND CENTERING OF AMPLE SIZE AND STRENGTH TO SAFELY CARRY, WITHOUT EXCESSIVE DEFLECTION, ALL DEAD AND LIVE LOADS TO WHICH THEY MAY BE SUBJECTED.
- PROPERLY SPACE THE FORMS APART AND SECURELY TIE THEM TOGETHER, USING METAL SPREADER TIES THAT GIVE POSITIVE TYING AND ACCURATE SPREADING.
- REINFORCING BARS SHALL COMPLY WITH ASTM A615-86, GRADE 60, INCLUDING SUPPLEMENTARY REQUIREMENT S1.
- FABRICATE REINFORCING BARS TO CONFORM TO REQUIRED SHAPES AND DIMENSIONS, COMPLYING WITH CRSI "DETAILING MANUAL-1980". IN CASE OF FABRICATING ERRORS, DO NOT REBEND OR STRAIGHTEN REINFORCEMENT IN A MANNER THAT WILL INJURE OR WEAKEN THE MATERIAL. FABRICATION TOLERANCES SHALL COMPLY WITH ACI 117-81.
- ALL REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS", AND AS SPECIFIED ON DRAWINGS.
- BARS SHALL BE PLACED TO THE TOLERANCE SPECIFIED IN ACI 117-81.
- PLACE ALL REINFORCEMENT ACCORDING TO THE APPROVED PLACEMENT DRAWINGS. USE SUFFICIENT BAR SUPPORTS, TIE, ANCHORS, SIDE FORM SPACERS, ADDITIONAL REINFORCING BARS IF REQUIRED, AND OTHER ACCESSORIES TO HOLD ALL BARS SECURELY IN PLACE.
- PLACE REINFORCEMENT TO OBTAIN NOT LESS THAN THE MINIMUM COVERAGES FOR CONCRETE PROTECTION. ARRANGE, SPACE, AND SECURELY TIE THE BARS AND BAR SUPPORTS TOGETHER WITH 16 GAUGE WIRE TO HOLD REINFORCEMENT ACCURATELY IN POSITION DURING CONCRETE PLACEMENT OPERATION. SET WIRE TIES SO THAT TWISTED ENDS ARE DIRECTED AWAY FROM EXPOSED CONCRETE SURFACES.
- PROVIDE STANDARD REINFORCEMENT SPLICES BY LAPPING ENDS, PLACING BARS IN CONTACT, AND TYING WIRE TIGHTLY. COMPLY WITH REQUIREMENTS IN ACI 318-86 FOR MINIMUM LAP OF SPLICED BARS AND AS INDICATED ON DRAWINGS. REINFORCING BAR ASSEMBLIES SHALL NOT BE MADE BY TACK WELDING.
- STEEL REINFORCEMENT, AT THE TIME CONCRETE IS PLACED AROUND IT, SHALL BE FREE FROM LOOSE RUST AND MILL SCALE, OIL, GREASE, PAINT, EARTH, ICE, AND ALL OTHER COATINGS, WHICH WOULD REDUCE OR DESTROY BOND BETWEEN STEEL AND CONCRETE. CLEAN REINFORCEMENT AS NECESSARY PRIOR TO PLACEMENT TO ACHIEVE THIS RESULT.
- COORDINATE PLACEMENT OF REINFORCING WITH DUCTWORK AND OR PLUMBING LOCATIONS. SEE PLUMBING AND MECHANICAL DRAWINGS.
- COORDINATE OPENINGS IN SLAB ABOVE GRADE FOR DUCTWORK AND PENETRATIONS.

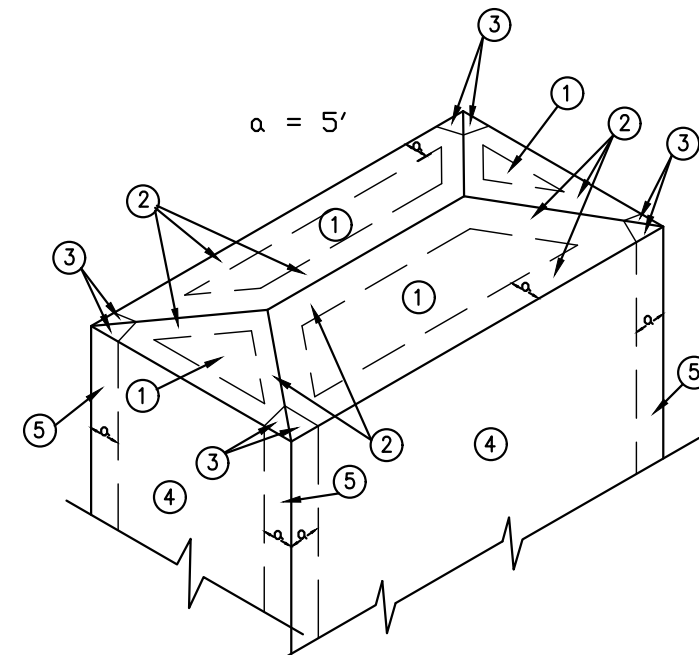
VIII. MASONRY

- ALL LOAD BEARING WALLS AND EXTERIOR WALLS SHALL BE COMPOSED OF ASTM C90, GRADE N-1 HOLLOW CONCRETE MASONRY UNITS WITH ASTM C270, TYPE "S" MORTAR.
- ALL EXTERIOR CMU WALLS SHALL BE REINFORCED FULL HEIGHT IN A GROUT FILLED CELL AS NOTED ON MASONRY COLUMN PLANS.
A. EACH CORNER, WALL ENDS, WALL INTERSECTIONS, EACH SIDE OF CONTROL JOINTS
B. AT BEAM BEARING LOCATIONS ADD 1 #5 IN CONCRETE FILLED CELL
- LAP VERTICAL BARS 48 DIAMETERS WITH WIRE TIES.
- GROUT ALL CELLS CONTAINING VERTICAL REINFORCEMENT IN 5'-0" MAXIMUM LIFTS. DO NOT BEGIN PLACEMENT OF GROUT UNTIL ALIGNMENT OF CELLS ARE INSPECTED AND APPROVED
- FILL ALL CELLS EXCEPT FOR BREAKAWAY WALLS.

- PROVIDE HORIZONTAL JOINT REINFORCEMENT IN WALLS AT 16" O.C. VERTICALLY, U.N.O. IN ADDITION, INSTALL WALL JOINT REINFORCING IN THE FIRST TWO MORTAR JOINTS ABOVE AND BELOW OPENINGS, EXTENDING AT LEAST 24 INCHES BEYOND THE OPENING. PROVIDE HORIZONTAL JOINT REINFORCEMENT IN PARAPETS AND FREE STANDING WALLS AT 8" O.C. VERTICALLY. LAP JOINT REINFORCEMENT 6" MINIMUM.
- MASONRY WORK SHALL BE INSPECTED IN ACCORDANCE WITH ACI 530.1.

IX. WOOD FRAMING NOTES

- BLOCKING AT STUD WALLS --- PROVIDE ONE ROW OF 2X HORIZONTAL BLOCKING (SAME DEPTH AS STUD WALL) AT THE HEIGHT OF ALL EXTERIOR AND INTERIOR BEARING WALLS 16" O.C. LESS IN HEIGHT. FOR ALL WALLS GREATER THAN 10'-0", USE 2 ROWS OF BLOCKING. IN ADDITION, PROVIDE BLOCKING AT PLYWOOD JOINTS.
- GENERAL BLOCKING --- PROVIDE ALL BLOCKING FOR DRYWALL APPLICATION, WALL ANCHORING OF CABINETS, TRIM, BASEBOARDS, SOFFITS, TRAY CEILINGS, WOOD PANNELLING, ETC. TO ACHIEVE QUALITY FINISH. JOB AND TO PREVENT WAVING OF DRYWALL AT TRIM.
- WOOD FURRING --- 1X4, LEVELED TO TOLERANCE OF 1/8" IN 10'X12'0. (U.O.N.). ALL FURRING ON CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- ROOF SHEATHING --- SEE PLANS
- EXTERIOR WALL/INTERIOR SHEAR WALL SHEATHING --- NAIL EDGES AT 16" O.C. AND AT 8" O.C. INTERMEDIATE STUDS. USE 10d COMMON NAILS. ALL NAILS SHALL BE STAINLESS STEEL. DO NOT USE STAPLES. NAILHEADS SHALL NOT PENETRATE SURFACE OF SHEATHING MORE THAN THICKNESS OF NAIL HEAD.
- PLYWOOD SUBFLOOR --- GLUE AND NAIL TO JOISTS BELOW.
- RAFTERS --- SEE ROOF FRAMING PLAN FOR ANCHORING OF RAFTERS TO WALLS OR BEAMS. ANCHOR ALL RAFTERS TO RIDGES, HIPs, AND VALLEYS WITH SIMPSON ASS FRAMING ANCHORS (U.O.N.).
- RIDGES --- WHERE TWO RAFTERS MEET A RIDGE BEAM, AND NO COLLAR TIES ARE USED, INSTALL (2) ST2Z STRAP TIE OVER TOP OF BOTH RAFTERS.
- BUILT-UP BEAMS/HEADERS --- BUILT-UP MEMBERS SHALL BE MADE OF MIN. 2X LUMBER FASTENED TOGETHER WITH TWO ROWS OF 2d NAILS SPACED NOT LESS THAN 12" LOCATION ONE ROW NEAR TOP EDGE AND ONE ROW NEAR THE BOTTOM EDGE WHERE APPLICABLE.
- FLOOR JOISTS/TRUSSES --- ANCHOR ALL FLOOR JOISTS OR TRUSSES TO WALLS BELOW WITH MINIMUM (1) SIMPSON F3 TRUSS LAYOUT PRIOR TO FINAL INSTALLATION. PROVIDE ADDITIONAL F3/TRUSSES AS REQUIRED TO PREVENT HITS ON FRAMING AT TYPICAL SPACING.
- MINIMUM HEADER SIZES --- U.N.O., ALL EXTERIOR WALL HEADERS SHALL BE MIN. (3) 2X12'S, ALL INTERIOR LOAD-BEARING HEADERS SHALL BE MIN. (3) 2X12'S, ALL INTERIOR LOAD-BEARING WALL HEADERS SHALL BE MIN. (2) 2X10'S. SEE FRAMING PLANS FOR HEADER SIZES.
- BEAMS SHOWN ON THE DRAWINGS AS PROB ARE TO BE POWER PRESERVED GULAM BEAMS BY ANTHONY FOREST PRODUCTS (FB=2400 PSI)



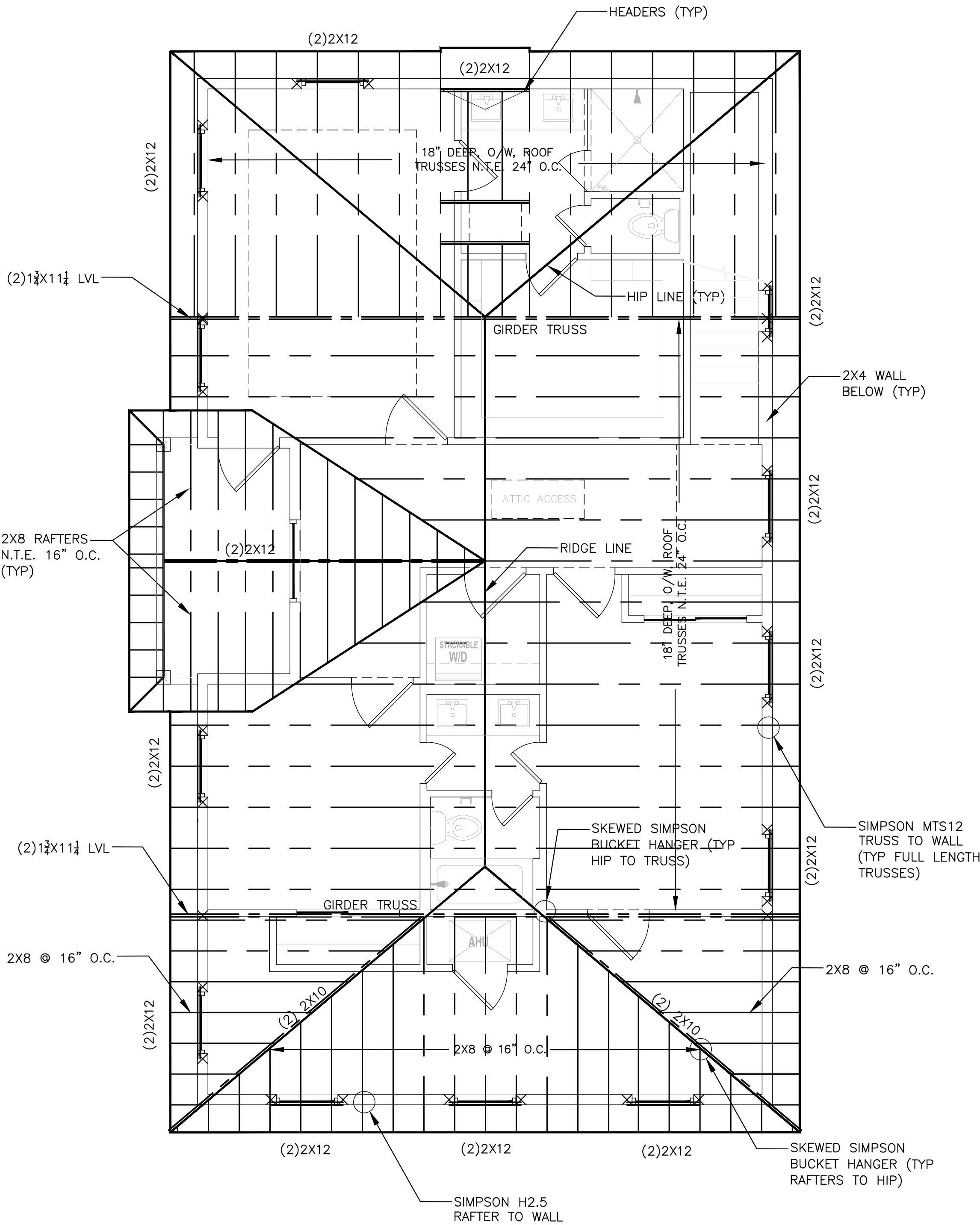
DIFFERENTIAL PRESSURE (DP) FORCES FOR WIND LOAD
815 CALHOUN STREET - FERNANDINA BEACH, FLORIDA

MAIN WIND FORCE RESISTING SYSTEM (MWFRS), V=129, EXP=C, RISK CAT. II, FULLY ENCLOSED					
ITEM	AREA	HEIGHT	L/B	ROOF ANGLE	PRESSURE FORCE
MWFRS	ROOF	30-FT	N/A	LT. 30°	-45.3 PSF (MAX)
	WALL	30-FT	2.0	N/A	+42.2 PSF

COMPONENT AND CLADDING WIND PRESSURES						
ULTIMATE WIND VELOCITY: V _{ULT} = 129 MPH EXP. CAT. "C" RISK CAT. II FULLY ENCLOSED						
NOMINAL WIND VELOCITY: V _{10m} = 101 MPH EXP. CAT. "C" RISK CAT. II FULLY ENCLOSED						
LOCATION	ZONE	ROOF ANGLE	A eff.	P1 (PSF)	P2 (PSF)	
ROOF	1	10° < θ ≤ 30°	10 S.F.	+17.5	-27.7	
			20 S.F.	+16.3	-25.8	
ROOF	2	10° < θ ≤ 30°	10 S.F.	+17.5	-48.2	
			20 S.F.	+16.3	-44.8	
ROOF	3	10° < θ ≤ 30°	10 S.F.	+17.5	-71.3	
			20 S.F.	+16.3	-66.3	
WALLS	4	N/A	10 S.F.	+30.2	-32.8	
			20 S.F.	+28.1	-30.5	
			50+ S.F.	+26.6	-28.9	
WALLS	5	N/A	10 S.F.	+27.7	-50.0	
			20 S.F.	+25.8	-47.2	
			50+ S.F.	+24.4	-44.7	

- C&C WIND PRESSURE FORCES LISTED ABOVE ARE BASED ON NOMINAL WIND SPEEDS. REDUCTION ALLOWED PER PER SECTION 1609.3, FLORIDA BUILDING CODE 2020. P_{10m} = (0.6)(P_{ULT})
- MWFRS PRESSURE FORCES DERIVED FROM ASCE 7-16 CHAPTER 27 (27.5), PART 2, SIMPLIFIED METHOD (BUILDING CLASS 1)
- C&C PRESSURE FORCES DERIVED FROM F.B.C. 2020, RESIDENTIAL
- ZONE 5 IS DEFINED AS 5-FT FROM EACH EXTERIOR WALL CORNER
- ZONE 4 IS DEFINED AS ALL OTHER EXTERIOR WALL AREA
- IMPACT RESISTANT GLAZING IS NOT REQUIRED PER ASCE 7-16 AND F.B.C. 2020

NOT FOR CONSTRUCTION



ROOF FRAMING PLAN
1/4"=1'-0"

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL, AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL

ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

REV	BY	DATE	ITEM
	AB	01/29/21	OWNER REVIEW
A	AB	02/25/21	OWNER REVIEW #2
B	AB	04/01/21	OWNER REVIEW #3
C	AB		

GILLETTE & ASSOCIATES, INC.

CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. * FL PE NO. 56177

SELLENTIN RESIDENCE
815 CALHOUN STREET
FERNANDINA BEACH, FL

20 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-6819 * WWW.GILLETTEASSOCIATES.COM

CONTRACTOR:

ISSUE DATE: 4/1/21

STRUCTURAL
PLAN

North / Elev Key Sheet

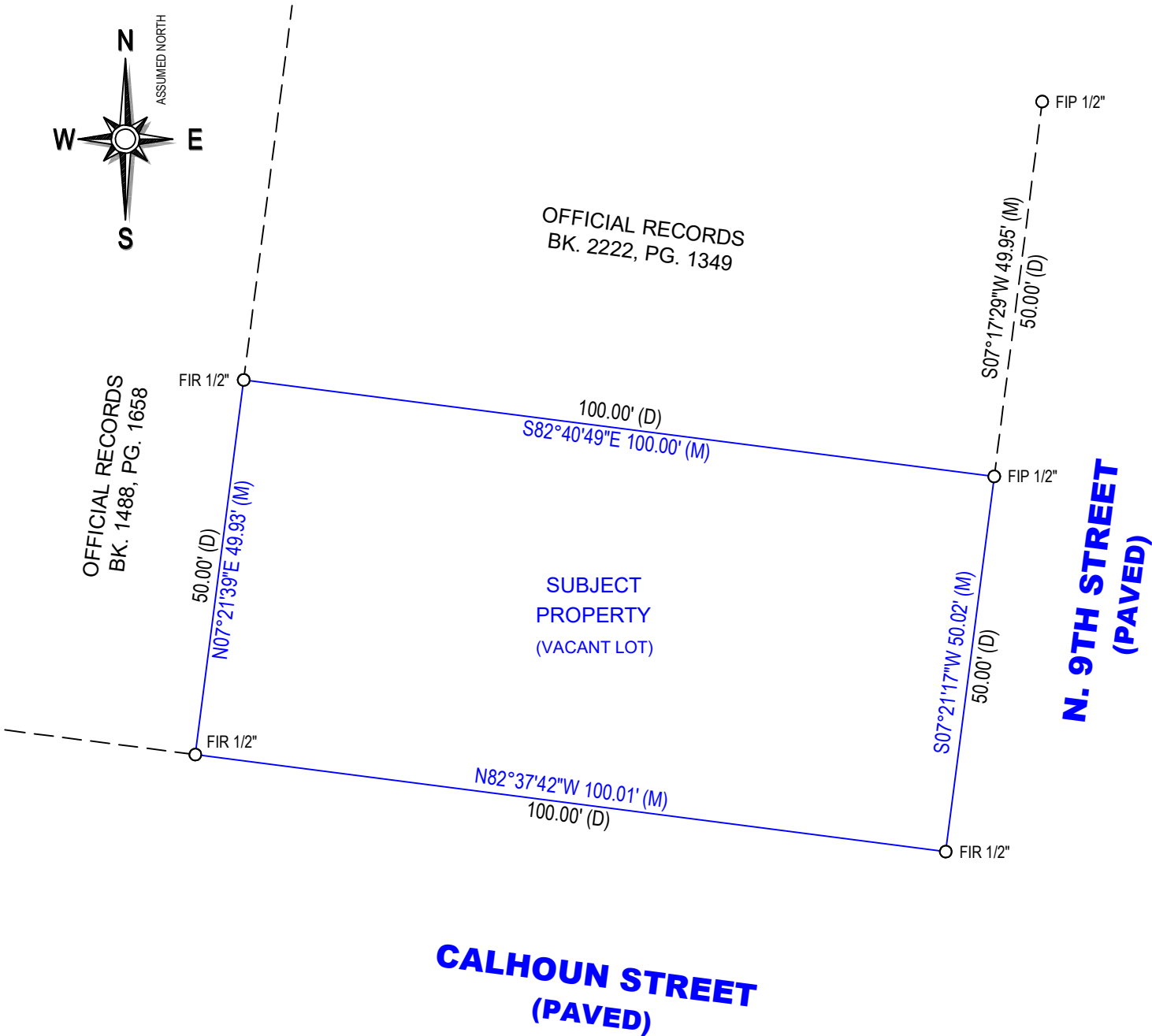


S-2
Page 13 of

Map of Boundary Survey

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORID RAILROAD COMPANY IN 1857 AND ENLARGED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901): THE SOUTH HALF OF LOT 8, BLOCK 72.

PROPERTY ADDRESS: 815 CALHOUN STREET, FERNANDINA BEACH, FL 32034



CERTIFIED TO:
WATSON TITLE SERVICES OF NORTH FL. INC.
JOHN A. SELLENTIN AND CYNTHIA LOUISE-SELLENTIN
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

LEGEND:	SET IRON 	FOUND IRON 	CONCRETE 	4' CHAIN LINK FENCE 	6' WOOD FENCE 	6' VINYL FENCE
ABBREVIATIONS:	R = Radius P = Platted D = Deed	IP = Iron Pipe IR = Iron Rod BR = Bearing Reference	M = Measured Field Data C = Calculated Data R/W = Right of Way	PT = Point of Tangency PC = Point of Curvature ID = Identification	A/C = Air Conditioning Unit WM = Water Meter JEA = Jacksonville Electric Authority	
LAST FIELD DATE:	10/29/19	CAD: MK BARNES CONSULTING, LLC	SIGNATURE DATE:	11/01/19	DRAWING SCALE:	1" = 20'

- GENERAL NOTES:
- Legal description provided by client.
 - This survey represents a boundary survey to show above ground improvements; underground improvements or installations not located except as shown.
 - Use of this survey for purposes other than that which it was intended, without written verification, will be at the user's sole risk & without liability to the surveyor. Nothing hereon shall be construed to give any rights or benefits to anyone other than those the survey was prepared for.
 - This survey was made without the benefit of abstract of title. Notice: There could be additional easements, covenants and restrictions or other matters of public record that may affect this parcel.
 - Bearings shown are based on the property line: N. 82° 37' 42" W.
 - Property hereon lies in floodzone **X** according to FEMA Flood Insurance rate map number **12089C0237G** dated **08/02/17**.

ON POINT

Land Surveyors

LB #8102

904-619-0308

2121 Corporate Square Blvd, Suite 130

Jacksonville, FL. 32216

OnPointLandSurveyors@Gmail.com

www.OnPointLandSurveyors.com

THOMAS F. FERGUSON

License Number

5970

STATE OF FLORIDA

Professional Surveyor and Mapper

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.072 FLORIDA STATUTES.

Print

**Technical Review Committee (TRC): Pre-Application Meeting Request -
Submission #7704**

Date Submitted: 7/14/2021

Technical Review Committee (TRC) Pre-Application Meeting Request

USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. TRC pre-application meetings are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The TRC pre-application meeting is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

Fees

None

IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use shall be subject to the pre-application conferences as set forth in 11.01.02 A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

Please see the Land Development Code (LDC) for detailed information:



Local Development Orders for a Change of Use – see LDC Section 11.00.05



Pre-Application Conference – see LDC section 11.01.02

The LDC is available for review at

www.fbfl.us/LDC

Application Requirements

All applications and related documents for a Pre-Application Meeting must be submitted by 12:00 p.m. five (5) business days before the scheduled meeting. Required documents are as follow:



A complete application.



Site plans or scaled drawings; and



Any other files that illustrate the proposed project.

PROPERTY INFORMATION

[Property information can be found at the Nassau County Property Appraiser's Website's Map Search](#)

Site Address*

815 CALHOUN ST.

City*

FERNANDINA BEACH

State*

FL

Zip*

32034

Parcel ID #(s)*

00-00-31-1800-0072-0082

Lot

SOUTH HALF OF LOT 8

Block

72

Subdivision

CITY OF FERNANDINA BEACH

Zoning District*

R-2

Future Land Use Designation*

Medium Density Residential

Overlay District

None

Size of Property (acres)*

.11

Present Property Use*

VACANT

Wetlands*

No

Flood Zone*

X, area of minimal flood

Coastal Construction Control Line (CCCL)*

No

CONTACT INFORMATION

Applicant or interested party who will be present at the meeting.

First Name*

JOHN

Last Name*

SELLENTIN

Company (if applicable)

Telephone Number*

7089064559

E-mail Address*

sellentint@gmail.com

PROJECT INFORMATION

Project Name

SELLENTIN HOME

Project Type*

Residential

Project Description*

2 STORY 1,896 SQ FT HOME 3 BEDROOM 2 1/2 BATH WITH GARAGE

Describe your project in detail

Proposed Access Road*

9TH ST.

Rd Maintenance Jurisdiction *

City Maintained

Certification*

☒
By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.

☒
I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

Applicant First Name*

JOHN

Applicant Last Name*

SELLENTIN

Today's Date*

7/14/2021

Upload Supporting Documentation*

Sellentia_4_2.pdf

Upload 2

SURVEY.pdf

Upload 3

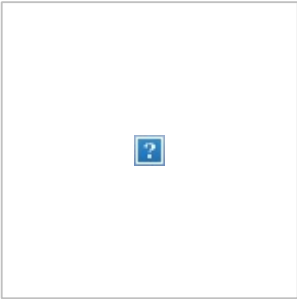
Choose File No file selected

Upload 4

Choose File No file selected

Upload 5

Choose File No file selected



DEPARTMENT OF PLANNING & CONSERVATION

204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |
www.fbfl.us/planning

Print

**Technical Review Committee (TRC): Pre-Application Meeting Request -
Submission #7709**

Date Submitted: 7/15/2021

Technical Review Committee (TRC) Pre-Application Meeting Request

USE THIS FORM TO Submit a project for input and guidance from the Technical Review Committee, the City group responsible for reviewing site plans and commercial projects. TRC pre-application meetings are a free service provided by the City of Fernandina Beach to help guide a project through the development review and permitting process. The TRC pre-application meeting is a meeting between an applicant and representatives of City departments responsible for reviewing applications for the purpose of exchanging information on the potential development of a site. This may include providing information on permissible uses of the site; required improvements; infrastructure requirements; any applicable design standards; any potential regional, state or federal standards; requirements for supporting plans, documents and studies; and any applicable design standards.

Fees

None

IMPORTANT NOTES

A change of use occurs when an existing use is replaced by a different use, as listed in table 2.03.02. A proposed change of use shall be subject to the pre-application conferences as set forth in 11.01.02. A change of use shall not require a local development order when all the conditions of 11.00.05 are met. The determination that a proposed use or development constitutes a change of use is an administrative decision subject to appeal. When a local development order is required due to a proposed change of use, all standards and procedures of the Comprehensive Plan and LDC shall apply to the proposed new use.

Please see the Land Development Code (LDC) for detailed information:



Local Development Orders for a Change of Use – see LDC Section 11.00.05



Pre-Application Conference – see LDC section 11.01.02

The LDC is available for review at

www.fbfl.us/LDC

Application Requirements

All applications and related documents for a Pre-Application Meeting must be submitted by 12:00 p.m. five (5) business days before the scheduled meeting. Required documents are as follow:



A complete application.



Site plans or scaled drawings; and



Any other files that illustrate the proposed project.

PROPERTY INFORMATION

[Property information can be found at the Nassau County Property Appraiser's Website's Map Search](#)

Site Address*

611/615 S 8th Street

City*

Fernandina Beach

State*

FL

Zip*

33034

Parcel ID #(s)*

00-00-31-1800-0148-0071

Lot

Block

Subdivision

Zoning District*

MU-8

Future Land Use Designation*

8th Street Mixed Use

Overlay District

None

Size of Property (acres)*

.5

Present Property Use*

Vacant

Wetlands*

No

Flood Zone*

X, area of minimal flood

Coastal Construction Control Line (CCCL)*

No

CONTACT INFORMATION

Applicant or interested party who will be present at the meeting.

First Name*

Catherine

Last Name*

Moeller

Company (if applicable)

Telephone Number*

5095399482

E-mail Address*

mattandcatherine@hotmail.com

PROJECT INFORMATION

Project Name

New South

Project Type*

Commercial

Project Description*

Food truck park

Describe your project in detail

Proposed Access Road*

For St

Rd Maintenance Jurisdiction *

City Maintained

Certification*

☒

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.

☒

I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

Applicant First Name*

Catherine

Applicant Last Name*

Moeller

Today's Date*

7/15/2021

Upload Supporting Documentation*

image.jpg

Upload 2

image.jpg

Upload 3

Choose File

No file selecte

Upload 4

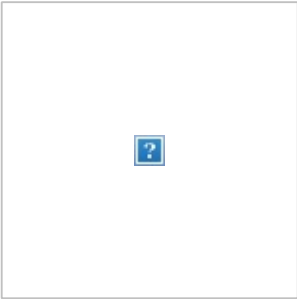
Choose File

No file selecte

Upload 5

Choose File

No file selecte



DEPARTMENT OF PLANNING & CONSERVATION

204 Ash Street | Fernandina Beach, Florida 32034 | 904 310-3480 |
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