



**AGENDA
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
NOVEMBER 17, 2022
10:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

4.1 Approval of Minutes from the Regular Meeting of October 27, 2022.

5. NEW BUSINESS

5.1 TRC 2022-0028 - TIM POYNTER, 116 N. 2nd Street
Site plan review for the construction of a multi-use pavilion and pickleball courts.

6. COMMITTEE BUSINESS

7. ADJOURNMENT

NEXT REGULAR TRC MEETING IS SCHEDULED FOR DECEMBER 15, 2022

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.



**MINUTES
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
OCTOBER 27, 2022
10:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

1. CALL TO ORDER 10:02 a.m.

2. ROLL CALL

Jason Higginbotham (Fire)	David Neville (Arborist/Urban Forester)
Daphne Forehand (Planning)	Michelle Forstrom (Code Enforcement)
Andre Desilet (Stormwater/Utilities)	Victoria Guadagnino (Stormwater/Street/Utilities)
Charlie George (Community Services)	Sal Cumella (Chair)

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

4.1 Approval of Minutes from the Regular Meeting of September 22, 2022.

ACTION TAKEN: A motion was made by Member Desilet seconded by Member Guadagnino to approve all Minutes as presented.

Vote upon passage of the motion was taken by voice vote, and being all ayes carried.

5. DISCUSSION ITEMS

6. NEW BUSINESS

6.1 TRC 2022-0025 - ERIC ALMOND/ALMOND ENGINEERING, AGENT FOR KM OF JACKSONVILLE INC., 1940 S.14TH STREET
Site plan review for redevelopment of an existing commercial building into a Seven Brew, drive-through coffee kiosk.

Mr. Eric Almond was present.

Mr. Neville explained his comments regarding the number of trees to be retained. Ms. Forehand commented on signage requirements and impervious surface ratio and required more information about the storage building in relation to size and distance to property line. Ms. Forstrom asked about dumpsters and required screening. No comments was given from Fire. Mr. Desilet commented on run off and dumpster area. He also spoke about the grease trap, water meter size, and the impact fees according to the established use.

Mr. Almond asked about the process and next step. Chair Cumella clarified that the next step would be to appear

DRAFT

at the next meeting of November 17, 2022 with answers to 1st Comments.

6.2 TRC 2022-0026 - BRETT MANZIE, AGENT FOR ROGER MORENC, 232 S 8TH STREET
Marlin & Barrel expansion into a cidery and outdoor recreation space.

Mr. Brett Manzie and Roger Morenc were present.

Ms. Forehand noted that the architectural and site plans do not match. She also mentioned that the survey is older than 2 years old and not very legible and requested a more recent and clearer version. She spoke about the dumpster enclosure not encroaching on the ROW and the landscaping details. Mr. Manzie asked about options to meet the landscaping requirements. Ms. Forehand spoke extensively about parking requirements and landscaping requirements.

Ms. Forstrom and Mr. Higginbotham had no comments.

Ms. Desilet spoke of the impervious surface and drainage. He asked about grading, Mr. Morenc expanded on proposed scope of this project and also spoke about the responsibilities that would fall onto the future business owner involved in that expansion.

Ms. George had no comments.

Next step would be to present a re-submittal of plans with all requested changes at a future TRC Regular Meeting.

6.3 *TRC 2022-0027 - GULFSTREAM DESIGN GROUP, LLC, AGENT FOR I P HOLDINGS GROUP LLC, 101 N. 2ND STREET

Site Plan Review for a Mixed-Use 10 room boutique hotel, restaurant + event venue w/food truck parking.

**Amended to include application materials as back up items. Agenda itself has not changed.*

Jose Miranda was present along with Mr. Ryan McDonald and Matt Lahti.

Ms. Forehand presented her comments and noted that there is a variance currently in process with this project. She spoke about parking in lieu.

Mr. Miranda clarified that their HDC application for the variances was continued from the HDC October meeting to HDC November meeting in order to give the applicants a chance to iron out any requirement brought up by this committee. Mr. George spoke about the parking requirements and the ADA compliance. Mr. Miranda voiced his concerns about members bringing up changes in requirements established during from previous meetings and the delays caused by these requested re-submittals.

Ms. Cumella spoke of commercial driveway requirements and the number of driveway and access noted in the plans. Mr. George recommended that the applicant proceed with the driveway variance for this project.

Mr. Neville noted that the applicants have met tree requirements according to their plans.

Ms. Forstrom had no comments. Mr. Higginbotham asked about the type of occupancy. Mr. Desilet spoke of water meter and grease trap. He asked about inside and outside seating according to use. He noted that he would finalize the requirement for the conceptual permit for stormwater system and provide this to the applicants by early December.

Mr. Cumella recommended that any changes to the HDC variance be presented to Staff as soon as possible so to be reviewed by Staff before the deadlines associated to the next TRC Regular Meeting of November 17, 2022 meeting.

DRAFT

Next Step: the applicant should submit their revision for a 2nd round of comments.

7. OLD BUSINESS

7.1 TRC 2022-0024: Asa Gillette with Gillette & Associates - 600 Airport Rd. - Construction of 5 airport hangar units.

Mr. Gillette could not be present, but Staff presented their comments.

Planning Staff had no comment. Code Enforcement and Fire had no comment. Mr. Desilet spoke of concerns about the ADS pipe not being FDOT approved.

Next Step: the applicant must provide a re-submittal according to comments.

8. COMMITTEE BUSINESS

No Committee Business were presented.

9. ADJOURNMENT 10.59

Sylvie McCann, Recording Secretary

Sal Cumella, Chair

Technical Review Committee: Application - Submission #10124

Date Submitted: 10/27/2022

Technical Review Committee: Application

USE THIS FORM TO To apply for review of site plans, preliminary subdivision plats, final subdivision plats, minor subdivisions, and amendments to previously issued local development orders, change of use, and nonresidential building expansions.

Fees

☒Initial submittal + two submittals of full site plans. \$400 + 2% of the project construction cost (whichever is greater) for up to a maximum of \$5,500.

☐3rd and subsequent resubmittals. 1/2 of original application fees

☐Change of Use Determination Letter \$50

☐Engineering Review (Consultant Hourly Rate) \$125

TRC 2022 Calendar



In observance of Thanksgiving on November 24, the TRC Regular Meeting is moved up to November 17.

IMPORTANT NOTES

This application will be routed to the various departments for review of the applicable codes and design standards.

****Please note that, unless otherwise indicated, the TRC meetings are scheduled as the following:**

TRC First Step Applications are presented at 10:00 AM on the 2nd Thursday of each month at the City Airport Conference Room;

TRC Application Review are reviewed at 10:00 AM on the 4th Thursdays of each month in City Hall Chambers.**

Please see the Land Development Code (LDC) for detailed information:



Requirements for All Site Plans â€” see LDC section 11.01.04



Requirements for Subdivision Plats â€” see LDC section 11.01.05



Determination for Completeness & sufficiency â€” see LDC section 11.03.01



Review and Compliance Report by the Technical Review Committee â€” see LDC Section 11.03.02



Construction and Improvements â€” see LDC section 11.05.00



Amendments to Local Development Orders â€” see LDC section 11.06.00

The LDC is available for review at

www.fbfl.us/LDC

Application Requirements



See Development Plan Submittal Checklist



All applications are subject to a determination of completeness as required by Land Development Code section 11.03.01.



A determination of completeness is a determination that all required documents and plans have been submitted, and whether all fees have been paid.



A determination of completeness is not a determination of compliance with substantive standards and criteria.

Key Contacts

TRC will guide your application from start to finish, engaging other City departments as needed.



PROPERTY INFORMATION

[Property information can be found at the Nassau County Property Appraiserâ€™s Website â†’ Map Search](#)

Site Address*

116 N 2nd Street

City*

Fernandina Beach

State*

FL

Zip*

32034

Parcel ID #(s)

00-00-31-1800-0009-0020, 00-00-31-1800-0009-0030, 00-00-31-1800-0009-0040, 00-00-31-1800-0009-0050

Lot

2-5

Block

9

Subdivision

Zoning District

C-3

Future Land Use Designation*

Central Business District

Overlay District*

Downtown Historic District

Size of Property (acres)*

.29

Present Property Use*

Vacant

Wetlands*

No

Flood Zone*

AE

Coastal Construction Control Line (CCCL)*

No

OWNER OF RECORD

As recorded with the Nassau County Property Appraiser

First Name*

Timothy

Last Name*

Poynter

Company (if applicable)

Poynter Family Holdings LLLP

Mailing Address*

29 N 3rd St

City*

Fernandina Beach

State*

FL

Zip*

32034

Telephone Number*

904-236-9757

Email Address*

cgrimm@dynamicmultifamily.com

OWNER'S AGENT

If other than owner. If an agent will be representing the owner, an Owner’s Authorization For Agent Representation form must be included

First Name

Last Name

Company (if applicable)

Mailing Address

City

State

Zip

Telephone Number

Email Address

PROJECT INFORMATION

Project Type*

Non-Residential Building Expansio

Project Name

Fernandina Pavilion

Proposed Access Road*

North Second Street

Rd Maintenance Jurisdiction*

Unimproved ROW

Project Estimated Cost*

875,000

Description of Request*

Project consists of a 5,585 SF multi-use open air pavilion, a 1,850 SF kitchen with restrooms and changing rooms, a small garage building (318 SF) and an open garden area with landscape/hardscape features. Project will also have necessary utilities connections and stormwater drainage connections.

Site Plan Review Checklist

☐

The names, address, telephone number, fax number, and email address of the person preparing the plan.

☐

The date of preparation and date(s) of any modifications, a north arrow, and a written and graphic scale.

☐

The legal description of the property, consistent with the required survey.

☐

A vicinity map showing the location of the property.



The location of streams, bodies of water, natural features, roads, rights-of-way, street intersections, and paved areas within the boundaries of the property.



The location of streams, bodies of water, dunes and dune systems, and other natural features within 250 feet of the boundaries of the property.



The location of the mean high-water line, if such line is within the boundaries of the property.



A topographic survey, soils report, grading plan, and an erosion control plan.



A general floodplain map indicating areas subject to inundation and high groundwater levels up to a 100-year flood classification.



A statement indicating the distances to schools and public safety facilities intended to serve the proposed development.



The name, plat book, and page number of any recorded subdivision comprising all or part of the site.



The location and use of any existing and proposed principal or accessory buildings and structures, showing proposed setbacks, building heights, and other dimensional requirements of the zoning district.



Elevations of all proposed structures.



The access points, driveway design, on-site parking, including required parking lot landscaping, internal circulation, sidewalks, and bicycle facilities.



The location of existing and proposed utilities, utility services, and easements.



A tree survey showing protected trees, proposed replacement trees, if required, and landscaping and buffering. (See Section 4.05.00.)



A soil erosion and sediment control plan compliant with Section 3.01.04.



For a PUD site plan, a detailed, written list and explanation of how the proposed PUD differs from any provision of this LDC applicable to the underlying zoning district.



For site plans and PUD site plans where development is proposed in phases, the plans shall include phase lines and the following supporting information:



o Timeline for the development; and



o Benchmarks for monitoring the progress of construction of each phase regarding land clearing, soil stabilization and erosion control, installation of infrastructure, and installation of landscaping.



A summary block containing:



o Land use category from the Future Land Use Map in the comprehensive plan;



o Zoning district;



o Total acreage;



o Total square footage for non-residential uses;



o Total density and number of units, proposed and permissible for residential uses;



o Impervious surface ratio calculation, proposed and permissible;



o Floor area ratio calculation, proposed and permissible;



o Total number of parking spaces, required and provided; and



o Number of trees required to be protected, number of trees remaining on the site, and number of trees to be planted.



Additional plans, documents, or reports that are necessary to support the application shall be submitted. Such plans, documents, or reports may include, but are not limited to:



o Subdivision Plats (subdivision plats shall contain the information set forth in Section 11.01.05.)



o Concurrency analysis (concurrency analysis reports shall contain the information set forth in Section 7.04.00.)



o Traffic analysis reports (requirements for traffic analysis reports are set forth in Section 11.01.06.)



o Parking studies (requirements for parking studies are set forth in Section 7.01.04.)



o Stormwater management plans (requirements for stormwater management plans are set forth in Section 7.03.00.)



o Environmental Impact Study (requirements for environmental impact studies are set forth by regional, State, and federal agencies with jurisdiction and in Chapter 3 of the LDC.)



o Tree Protection Plan (Section 4.05.09.)



o Landscape Plan (Section 4.05.00.)



o Lighting Plan (Section 3.05.00.), Section 7.01.04.B)



o Signage Plan (Section 5.03.00.)



o Proof of Ownership “ provide a legal description, Property Identification Number (PIN) and a copy of the warranty deed.



Concurrency analysis reports shall contain the information set forth in Section 7.04.00. Requirements for traffic analysis reports are set forth in Section 11.01.06. Requirements for parking studies



“ Any development application for development proposed within the Airport Overlay Zone established for the Fernandina Beach Municipal Airport shall provide confirmation of notification to the FAA as r

School Concurrency

New residential development is required to demonstrate compliance with school concurrency as regulated in the City of Fernandina Beach through the City of Fernandina Beach’s Comprehensive Plan Intergovernmental Coordination Element and the Interlocal Agreement Amendment for Public School Facility Planning adopted by the City on May 21, 2019. No new residential rezoning, preliminary plat, site plan or functional equivalent may be approved by the City unless the residential development is exempt from requirements outlined in Section 9.13 of the Amended Interlocal Agreement OR a School Concurrency Reservation Letter has been issued by the School Board indicating that adequate school facilities exist.

Certification*



By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.



I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

Applicant First Name*

Matthew

Applicant Last Name*

Lahti

Today's Date*

10/27/2022

Upload Supporting Documentation*

22-122.pdf

Upload 2

22-122 FERNANDINA PAVILION PLOT SET_2022-10-27.pdf

Upload 3

22-122 Stormwater Narrative-R0.pdf

Upload 4

22-122.pdf

Upload 5

116 N. 2nd St Survey and Legal Description.pdf

Upload 6

Fernandina Pavilion TRC Reveiw 9-14-22 c.pdf

Upload 7

Property Record Cards and Project Maps.pdf



DEPARTMENT OF PLANNING & CONSERVATION

204 Ash Street | Fernandina Beach, FL 32034 | 904 310-3480 | www.fbfl.us/planning



Via Electronic Delivery
[\(kgibson@fbfl.org\)](mailto:kgibson@fbfl.org)

October 27, 2022

Ms. Kelly N. Gibson, AICP
Planning and Conservation Director
City of Fernandina Beach
204 Ash Street
Fernandina Beach, FL 32034

RE: **Fernandina Pavilion**
GDG: 22-122
Technical Review Committee Application

Dear Ms. Gibson:

On behalf of my client, please find the following documents in regard to the Technical Review Committee Application associated with the Fernandina Pavilion project.

- One (1) Set of Property Record Cards per Nassau County Property Appraiser
- One (1) Set of Project Maps
- One (1) Legal Description
- One (1) Gulfstream Design Group Agent Authorization for Poynter Family Holdings LLLP
- One (1) Stormwater Narrative
- One (1) Set of Drainage Calculations
- One (1) Set of Sign and Sealed Civil Engineering Drawings
- One (1) Signed and Sealed Survey
- One (1) Set of Architectural and Landscape Drawings

If you have any questions or require additional information, please do not hesitate to email me at matt@gulfstreamdesign.com.

Sincerely,

Matthew H Lahti, P.E.
President
Gulfstream Design Group, LLC

A. Michael Hickox, CFA
Cert. Res. RD1941

NASSAU COUNTY
PROPERTY APPRAISER

PROPERTY INFORMATION

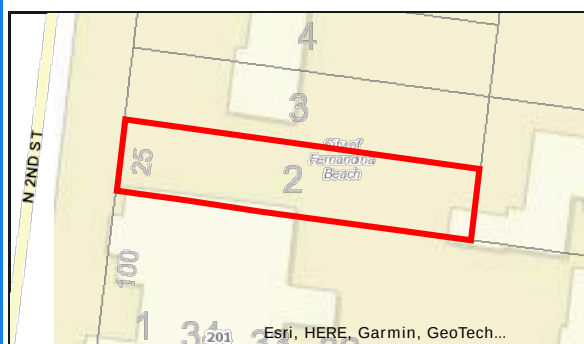
Parcel Number 00-00-31-1800-0009-0020
Owner Name POYNTER FAMILY HOLDINGS LLLP
Mailing Address 29 N 3RD ST
FERNANDINA BEACH, FL 32034
Location Address 2ND ST N
FERNANDINA BEACH 32034
Tax District FERNANDINA BEACH
Milage 19.5052
Homestead No
Property Usage VACANT 000000
Deed Acres 0
Short Legal BLOCK 9 LOT 2 CITY OF FDNA BEACH

2022 Preliminary Values

Land Value	\$125,000
(+) Improved Value	\$0
(=) Market Value	\$125,000
(-) Agricultural Classification	\$0
(-) SOH or Non-Hx* Capped Savings	\$0
(=) Assessed Value	\$125,000
(-) Homestead	\$0
(-) Additional Exemptions	\$0
(=) School Taxable Value	\$125,000
(-) Non-School HX & Other Exempt Value	\$0
(=) County Taxable Value	\$125,000

Note - *10% Cap does not apply to School Taxable Value

PARCEL MAP



2021 AERIAL MAP

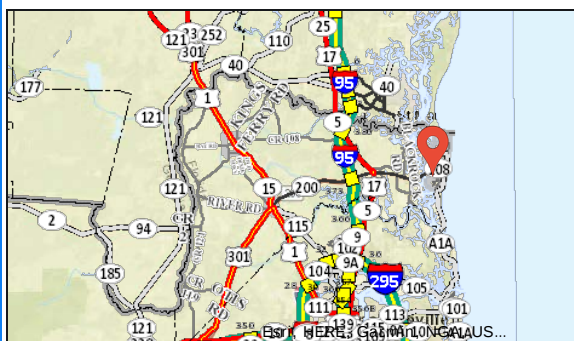


PROPERTY PHOTO



If this picture is incorrect, please email info@nassauflpa.com

LOCATION MAP



BUILDING INFORMATION

Type	Total Area	Heated Area	Bedrooms	Baths	Primary Exterior	Secondary Exterior	Heating	Cooling	Actual Year Built
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MISCELLANEOUS INFORMATION

Description	Dimensions L X W	Units	Year Built
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SALES INFORMATION

Sale Date	Book Page	Price	Instr	Qual	Imp	Grantor	Grantee
2021-03-25	2462 / 1447	\$100	WD	U	N	CMR ISLAND PROPERTIES LLC	POYNTER FAMILY HOLDINGS LLLP
2021-03-25	2446 / 895	\$650,000	WD	U	Y	CMR ISLAND PROPERTIES LLC	POYNTER FAMILY HOLDINGS LLLP

2019-06-03	2279 / 409	\$410,000	WD	Q	Y	CREWS BEVERLY FREEMAN & JAMES FREEMAN ET AL	CMR ISLAND PROPERTIES LLC
2014-04-22	1920 / 1291	\$100	PR	U	Y	CREWS BEVERLY FREEMAN P/R	CREWS BEVERLY FREEMAN ETAL
1951-05-05	2244 / 632	\$0	WD	U	Y	PEACE GEORGE J & CORINNE A	FREEMAN J K & CORINNE P

A. Michael Hickox, CFA
Cert. Res. RD1941

NASSAU COUNTY
PROPERTY APPRAISER

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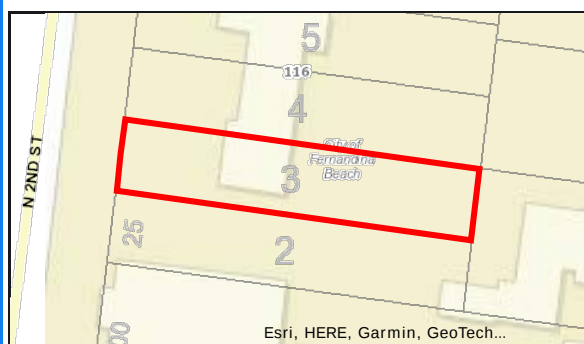
Parcel Number 00-00-31-1800-0009-0030
Owner Name POYNTER FAMILY HOLDINGS LLLP
Mailing Address 29 N 3RD ST
FERNANDINA BEACH, FL 32034
Location Address 2ND ST N
FERNANDINA BEACH 32034
Tax District FERNANDINA BEACH
Milage 19.5052
Homestead No
Property Usage VACANT 000000
Deed Acres 0
Short Legal BLOCK 9 LOT 3 CITY OF FDNA BEACH

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Land Value	\$125,000
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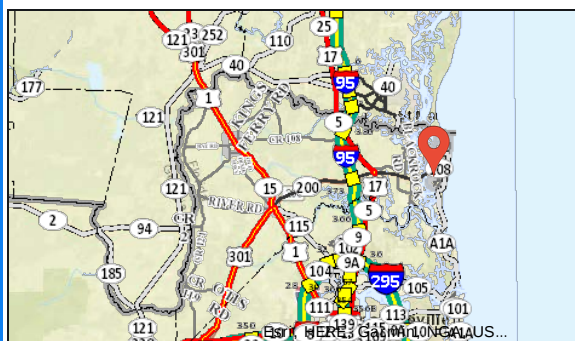


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2019-06-03	<u>2270 / 400</u>	\$410,000	WD	Q	Y	CREWS BEVERLY FREEMAN & JAMES FREEMAN ET AL	CMR ISLAND PROPERTIES LLC
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A. Michael Hickox, CFA
Cert. Res. RD1941

NASSAU COUNTY
PROPERTY APPRAISER

PROPERTY INFORMATION

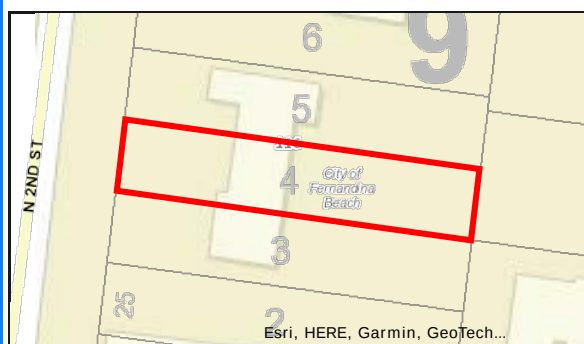
Parcel Number 00-00-31-1800-0009-0040
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FERNANDINA BEACH 32034
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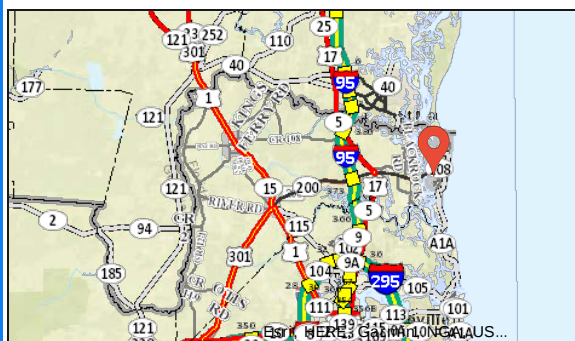


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A. Michael Hickox, CFA
Cert. Res. RD1941

NASSAU COUNTY
PROPERTY APPRAISER

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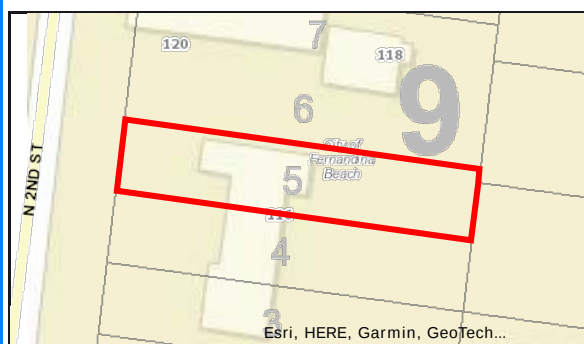
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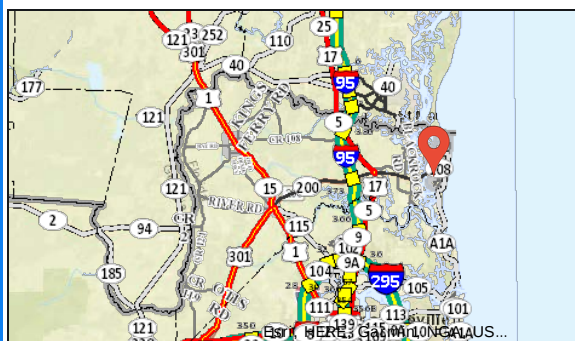


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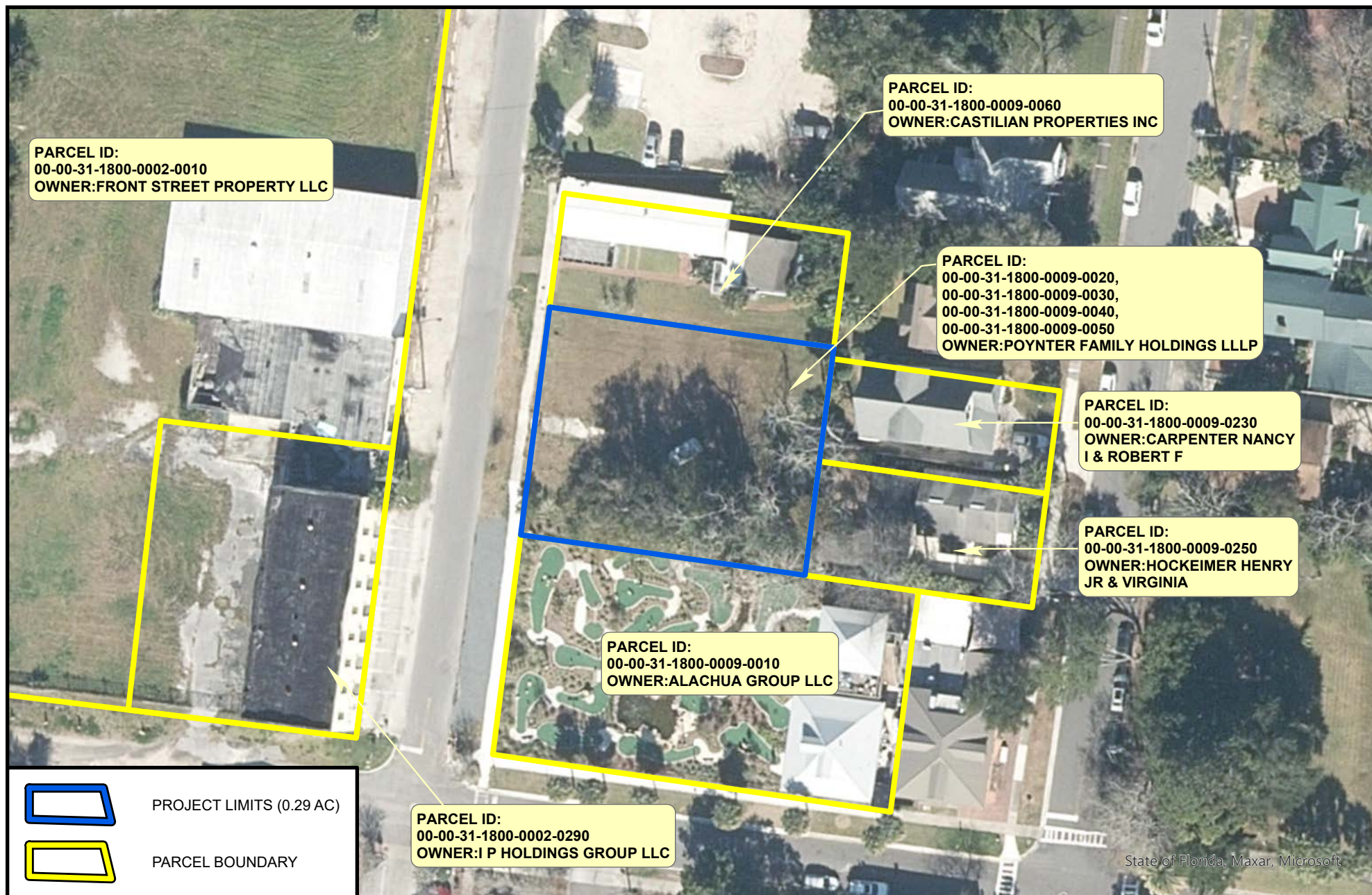
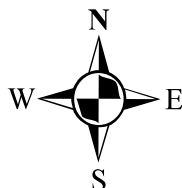


Image Source: ESRI 2020
Date: 10-19-2022
Project Number: 22-122

US Feet
0 40 80



AERIAL MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA

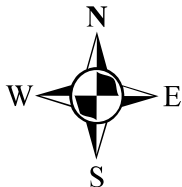
GULFSTREAM
DESIGN GROUP, LLC

Gulfstream Design Group, LLC
2225 A1A S, Suite A2
St. Augustine, FL 32080
904.794.4231



Image Source: ESRI 2020
 Date: 10-19-2022
 Project Number: 22-122

US Feet
 0 1,500 3,000



COVER SHEET MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA

GULFSTREAM
 DESIGN GROUP, LLC
 Gulfstream Design Group, LLC
 2225 A1A S, Suite A2
 St. Augustine, FL 32080
 904.794.4231

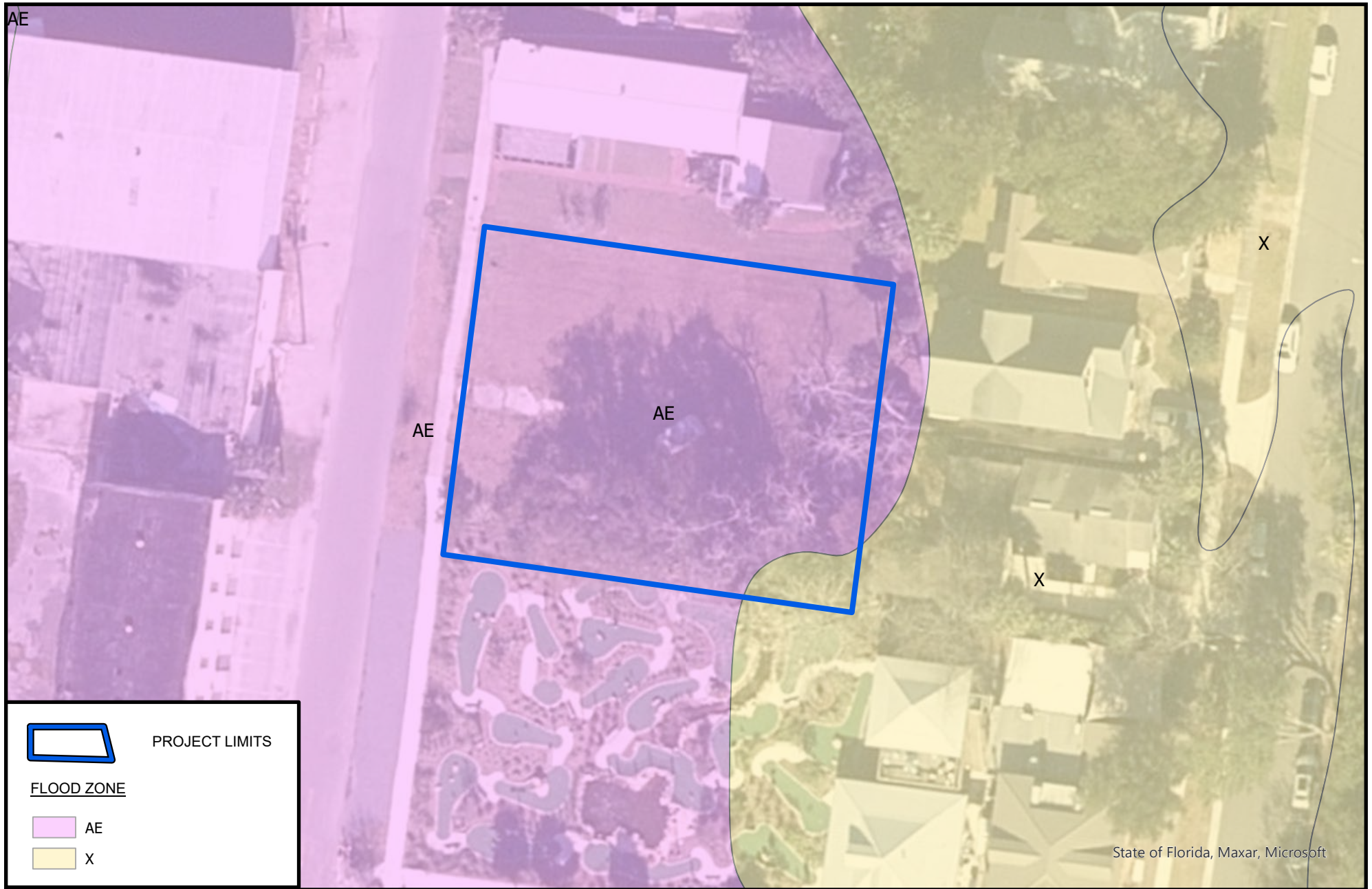
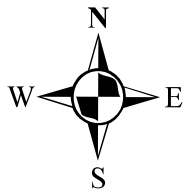


Image Source: ESRI 2020
Date: 10-19-2022
Project Number: 22-122
FIRM PANEL: 12089C0237G
Effective: 08/02/2017
Datum: NAVD 88



US Feet
0 25 50

FLOOD MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA


Gulfstream Design Group, LLC
2225 A1A S, Suite A2
St. Augustine, FL 32080
904.794.4231

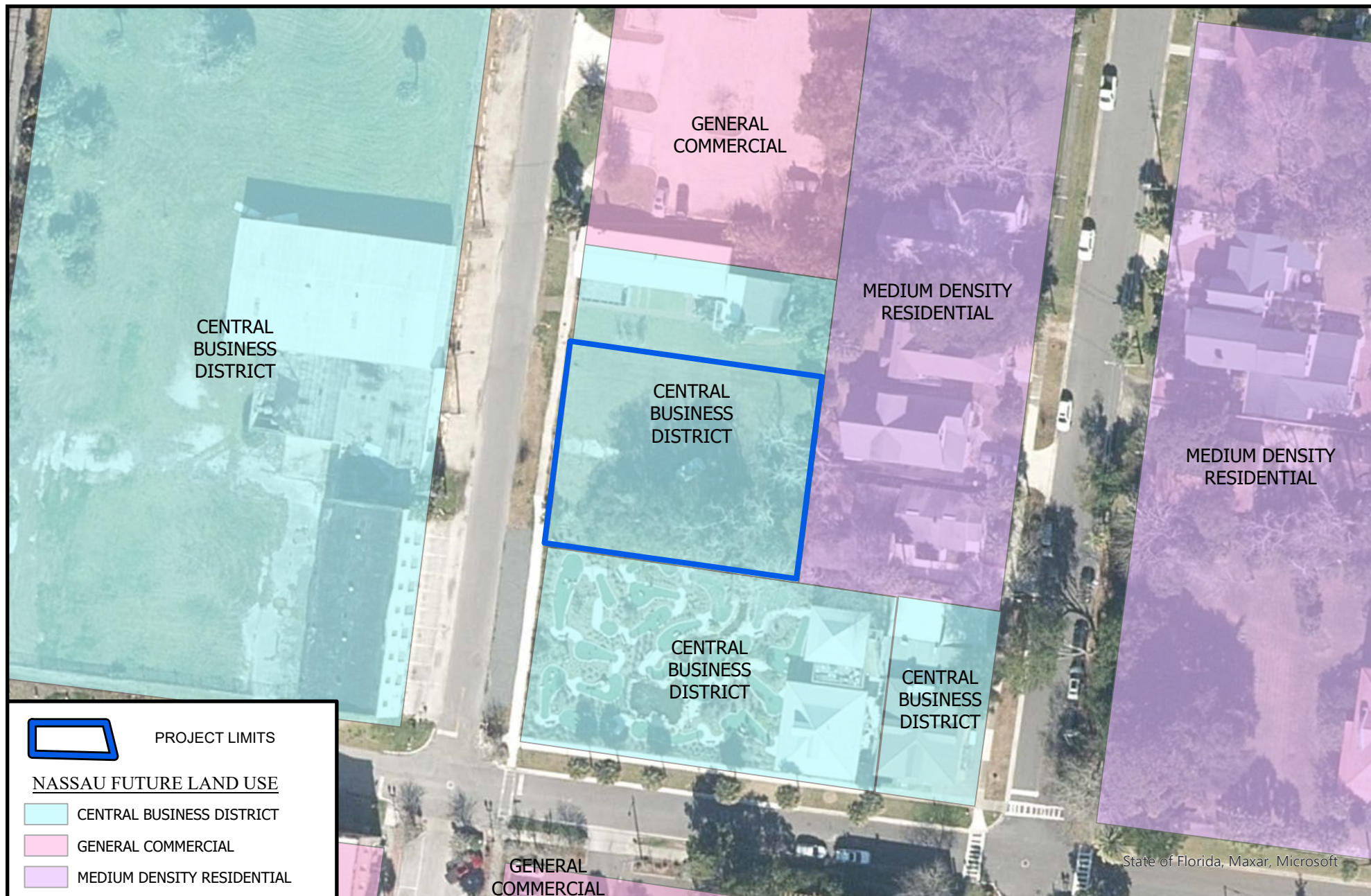
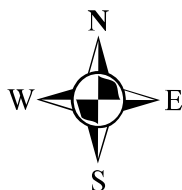


Image Source: ESRI 2020
 Date: 10-19-2022
 Project Number: 22-122

US Feet
 0 55 110



FUTURE LAND USE MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA

GULFSTREAM
 DESIGN GROUP, LLC

Gulfstream Design Group, LLC
 2225 A1A S, Suite A2
 St. Augustine, FL 32080
 904.794.4231

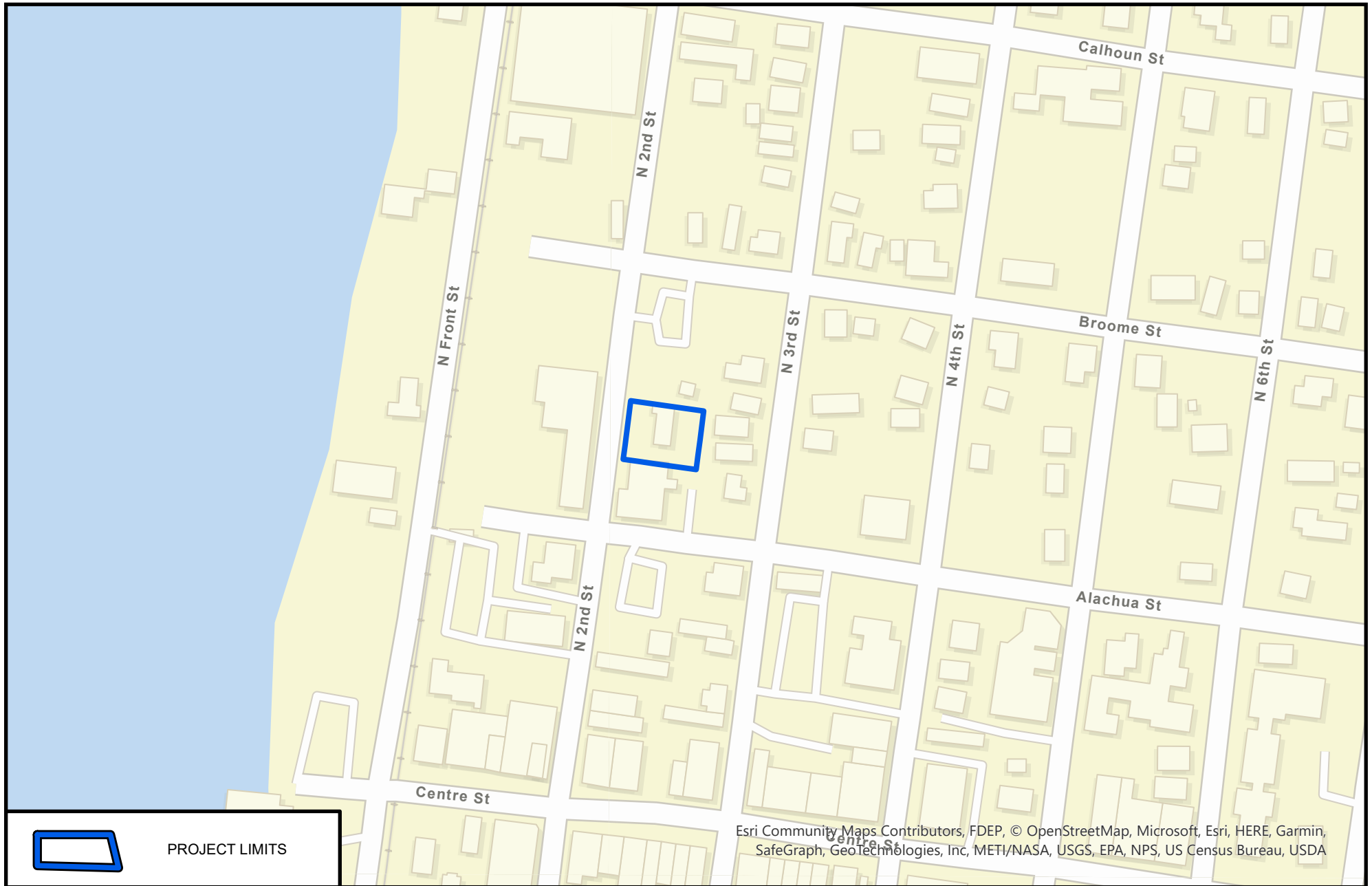
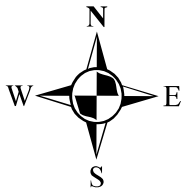


Image Source: ESRI 2020
Date: 10-19-2022
Project Number: 22-122

US Feet
0 155 310

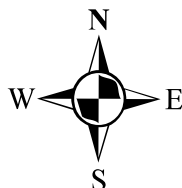


LOCATION MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA

**GULFSTREAM**
DESIGN GROUP, LLC
Gulfstream Design Group, LLC
2225 A1A S, Suite A2
St. Augustine, FL 32080
904.794.4231



Image Source: ESRI 2020
Date: 10-19-2022
Project Number: 22-122



SOILS MAP FERNANDINA PAVILION NASSAU COUNTY, FLORIDA

**GULFSTREAM**
DESIGN GROUP, LLC
Gulfstream Design Group, LLC
2225 A1A S, Suite A2
St. Augustine, FL 32080
904.794.4231



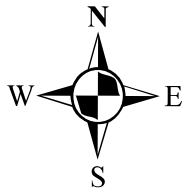
PROJECT LIMITS

NASSAU COUNTY ZONING

C-2 C-3 R-2

Image Source: ESRI 2020
Date: 10-19-2022
Project Number: 22-122

US Feet
0 45 90



EXISTING ZONING MAP
FERNANDINA PAVILION
NASSAU COUNTY, FLORIDA



Gulfstream Design Group, LLC
2225 A1A S, Suite A2
St. Augustine, FL 32080
904.794.4231

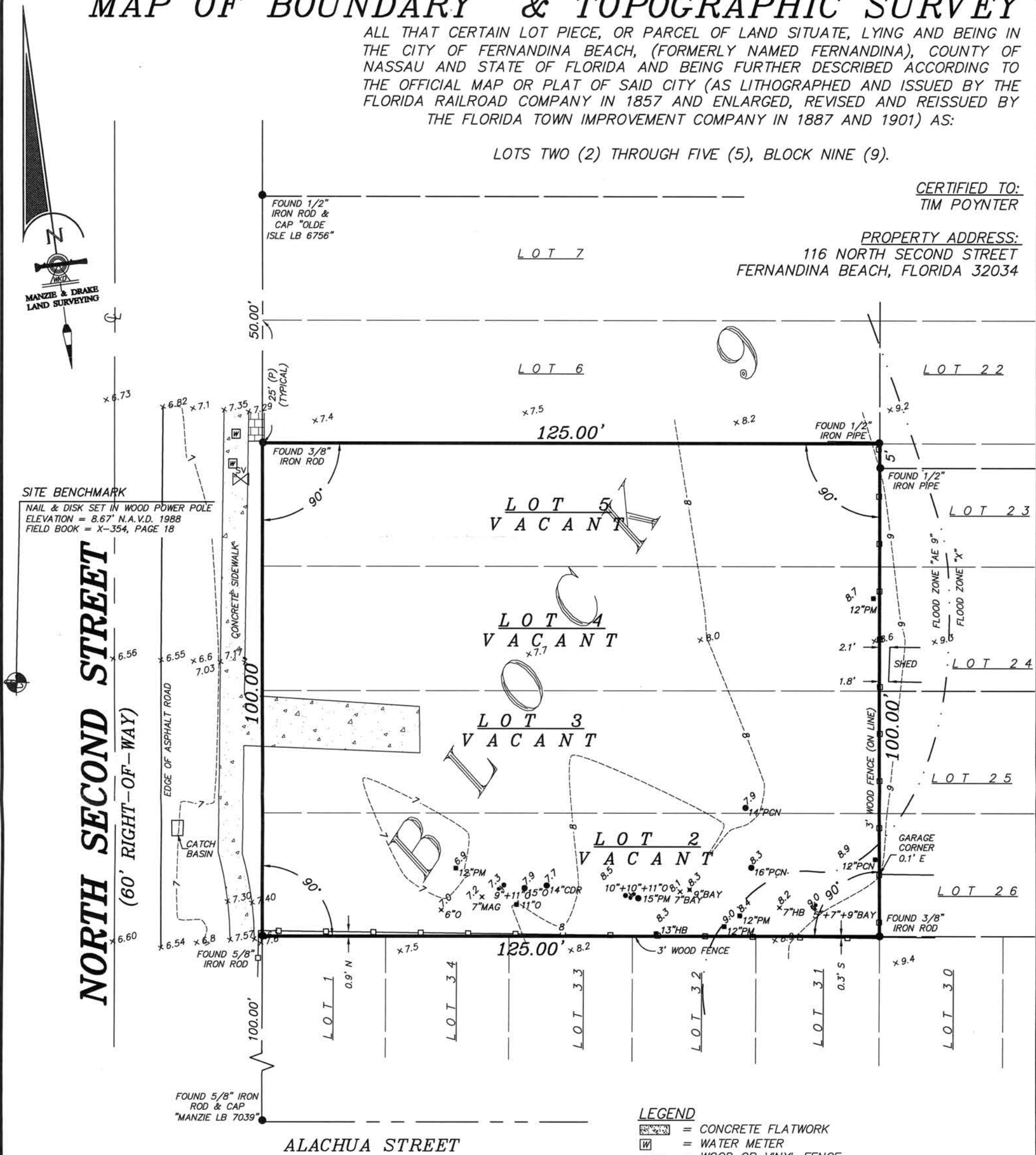
MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

ALL THAT CERTAIN LOT PIECE, OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901) AS:

LOTS TWO (2) THROUGH FIVE (5), BLOCK NINE (9).

CERTIFIED TO:
TIM POYNTER

PROPERTY ADDRESS:
116 NORTH SECOND STREET
FERNANDINA BEACH, FLORIDA 32034



SURVEY NOTES:

- 1) The "Legal Description" hereon is in accord with the description provided by the client
- 2) Underground Improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for easements, rights-of-way, ownership or other instruments of record.
- 4) Internal lot angles shown hereon are based on recovered monumentation.
- 5) The property shown hereon lies within flood zone "X & AE 9" as per F.E.M.A. Flood Insurance Rate Map, Panel "12089C 0237 G", Dated "08/02/2017". Flood Zone information listed above and shown on this survey is provided as a courtesy and is approximate at best. All data should be verified by Nassau County Building Department for accuracy. We assume no liability for its accuracy. Flood Zone information is not covered by the certification hereon and is not required to be shown per Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
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- 7) Elevations shown hereon refer to North American Vertical Datum of 1988. (N.A.V.D. '88)
- 8) The Reference Benchmark is a brass disk found in the Standard Marine Building. (Elevation = 10.11' N.A.V.D 1988)

LEGEND

- CONCRETE FLATWORK
- WATER METER
- WOOD OR VINYL FENCE
- SEWER VALVE
- CENTERLINE
- PLAT
- NAVD = NORTH AMERICAN VERTICAL DATUM

TREE LEGEND

- BAY = BAY TREE
- CDR = CEDAR TREE
- HB = HACKBERRY TREE
- MAG = MAGNOLIA TREE
- O = OAK TREE
- PM = PALM TREE

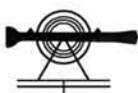
TREE DISCLAIMER:

NUMBER OF TREES SHOWN ON SURVEY: 25

SPECIES OF TREES HAVE BEEN IDENTIFIED TO THE BEST OF OUR KNOWLEDGE AND BELIEF; HOWEVER MANZIE & DRAKE LAND SURVEYING WILL ASSUME NO LIABILITY, EXPRESSED OR IMPLIED, FOR THE CORRECTNESS OF SAID SPECIES IDENTIFICATION.

TREES HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS AND HAVE A POSITIONAL TOLERANCE OF APPROXIMATELY 2 TO 3 FEET. CRITICAL TREES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

THE INFORMATION SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



Manzie & Drake Land Surveying

117 South Ninth Street, Fernandina Beach, FL 32034

(904) 491-5700 www.ManzieAndDrake.com

Certificate of Authorization Number "LB 7039"

"OUR SIGHTS ARE ON THE FUTURE,
SET YOUR SITES ON US."

SCALE: 1"=20' JOB NO: 21297 DATE: 08/19/2021 CADD: LP

F.B. NO: X-354 PAGE NO: 18 FIELD CREW: GS FILE NO: A-5458

MICHAEL A. MANZIE, P.L.S. 4069

9/1/21

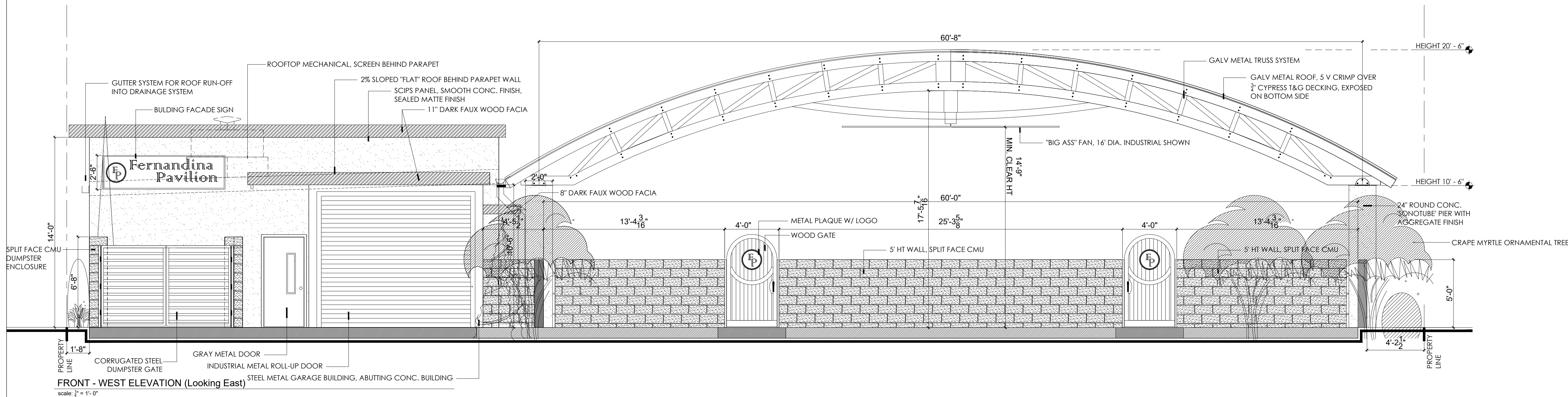
LEGAL DESCRIPTION

ALL THAT CERTAIN LOT PIECE, OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901) AS:

LOTS TWO (2) THROUGH FIVE (5), BLOCK NINE (9).

MULTI USE PAVILION

116 NORTH 2ND ST



GENERAL NOTES AND INFORMATION:

- DO NOT SCALE DRAWINGS.
- IF THE CONTRACTOR DISCOVERS DISCREPANCIES BETWEEN DRAWINGS AND THE CONDITIONS FOUND ON-SITE, CONFLICTING INFORMATION BETWEEN DRAWINGS, AND/OR CONFLICTING INFORMATION BETWEEN DRAWINGS OF THE VARIOUS DISCIPLINES; THE CONTRACTOR SHALL IMMEDIATELY CONSULT THE ARCHITECT / OWNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR PROCEED WITH WORK BASED ON ASSUMED INTENT, CONFLICTING INFORMATION, AND/OR INCOMPLETE INFORMATION, HE/SHE DOES SO AT HIS/HER OWN RISK AND MAY BE HELD LIABLE FOR BOTH THE UNAPPROVED WORK AND ANY WORK TO RESTORE CONDITIONS TO THEIR ORIGINAL / INTENDED STATE.
- THESE DRAWINGS ARE BASED ON THE REASONABLY AVAILABLE INFORMATION AND READILY VISIBLE CONDITIONS AT THE TIME OF THE ARCHITECT'S SURVEY AND/OR BEGINNING OF THE ARCHITECT'S WORK. THE CONTRACTOR SHALL IMMEDIATELY CONSULT THE ARCHITECT IF, UPON DIGGING OR IN THE CASE OF A REMODEL OR DEMOLITION, REMOVING EXISTING ELEMENTS, STRUCTURES, EQUIPMENT, AND/OR ASSEMBLIES AND UNDOCUMENTED CONDITIONS ARE DISCOVERED.
- MECHANICAL DUCT SIZING, VENT SIZING AND QUANTITY PER HVAC ENGINEER OR SUB CONTRACTOR. DESIGN SHOWN INDICATES INTENT TO ALIGN DIFFUSERS, NOT A SYSTEM DESIGN. SYSTEM TO BE DESIGNED BY ENGINEER OR QUALIFIED INSTALLER. CONSULT ARCHITECT IF NUMBER OF DIFFUSERS VARIES FROM NUMBERS SHOWN. TYP.
- PROVIDE SHOP DRAWINGS / CUT SHEETS FOR APPROVAL TO ARCHITECT / OWNER FOR ALL MILLWORK PRIOR TO FABRICATION.
- PROVIDE BLOCKING / REINFORCEMENT BEHIND ALL WALL MOUNTED MILLWORK.
- VERIFY APPLIANCE / EQUIPMENT SPECIFICATIONS AND SIZES W/ OWNER PRIOR TO FABRICATING ADJACENT MILLWORK OR MILLWORK TO RECEIVE APPLIANCES.
- KITCHEN EQUIPMENT SHOWN ARE BASIS-OF-DESIGN ONLY. COORDINATE ACTUAL PRODUCT SELECTIONS WITH OWNER / OWNER SUPPLIER.
- CONTRACTOR SHALL VISIT THE SITE DURING BIDDING AND SHALL FAMILIARIZE HIM OR HERSELF WITH THE EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS FOR THE WORK INDICATED.
- ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT BUILDING CODE AND CURRENT FLORIDA FIRE PREVENTION CODE.
- WHERE APPLICABLE, ALL BLOCKING IN EXISTING FIRE RATED WALLS SHALL BE FIRE RETARDANT TREATED WOOD OR METAL STRAP TO PRESERVE ASSEMBLY FIRE RATING.
- PROVIDE BLOCKING / REINFORCEMENT BEHIND ALL GRAB BAR LOCATIONS.
- OWNER/CONTRACTOR SHALL COMMISSION A STRUCTURAL ENGINEER FOR ANY AND ALL WORK EFFECTING OR DESCRIBING LOAD-BEARING ASSEMBLIES. THE STRUCTURAL ENGINEER'S WORK IN REGARD TO MEMBER SIZES, STRUCTURAL CONNECTIONS, MEMBER SPANS, FOUNDATION ASSEMBLY, AND ALL OTHER ASPECTS OF THE WORK BEARING THE LOADS NECESSARY FOR THE SAFE AND FUNCTIONAL SOUNDNESS OF THE BUILDING SHALL SUPERSEDE THESE DRAWINGS AND BE IN COMPLIANCE WITH FLORIDA RESIDENTIAL BUILDING CODE.

DRAWING LIST

- | | |
|------|--------------------------------|
| C-1 | COVER SHEET |
| S-1 | SURVEY |
| SP-1 | SITE PLAN |
| SL-1 | SITE LAYOUT PLAN |
| SL-2 | SITE LAYOUT - FOOTINGS |
| GD-1 | GRADING AND DRAINAGE PLAN |
| TR-1 | DEMOLITION & TREE REMOVAL PLAN |
| AR-1 | ARCHITECTURE - GARAGE/DUMPSTER |
| AR-2 | ARCHITECTURE - KITCHEN |
| AR-3 | ARCHITECTURE - PAVILION |
| AR-4 | ARCHITECTURE - ELEVATIONS |
| AR-5 | ARCHITECTURE - ELEVATIONS |
| AR-6 | DETAILS |
| AR-7 | DETAILS |
| LA-1 | LANDSCAPE PLAN |
| LI-1 | LIGHTING PLAN |

PARCEL INFORMATION:

PROPERTY LOCATION:
116 NORTH 2ND STREET

RE PARCEL #'S:
00-00-1800-0009-0020
00-00-1800-0009-0030
00-00-1800-0009-0040
00-00-1800-0009-0050

Land Use: CBD
Zoning: C-3
Proposed Use: Clubs, Public or Private;
Community and Recreation
Offstreet Parking - Not Required

Fernandina Pavilion
116 NORTH 2ND ST

COVER SHEET

REVISIONS

no.	description	by	date

C-1

SHEET:
DATE: September 14, 2022

MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

ALL THAT CERTAIN LOT PIECE, OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU AND STATE OF FLORIDA AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901) AS:

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CERTIFIED TO:
TIM POYNTER

PROPERTY ADDRESS:
116 NORTH SECOND STREET
FERNANDINA BEACH, FLORIDA 32034

LOT 7

LOT 6

LOT 22

SITE BENCHMARK

NAIL & DISK SET IN WOOD POWER POLE
ELEVATION = 8.67' N.A.V.D. 1988
FIELD BOOK = X-354, PAGE 18

NORTH SECOND STREET (60' RIGHT-OF-WAY)

ALACHUA STREET

SURVEY NOTES:

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LEGEND
[Symbol] = CONCRETE FLATWORK
[Symbol] = WATER METER
[Symbol] = WOOD OR VINYL FENCE
[Symbol] = SEWER VALVE
[Symbol] = CENTERLINE
(P) = PLAT
NAVD = NORTH AMERICAN VERTICAL DATUM

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Certificate of Authorization Number "LB 7039"

"OUR SIGHTS ARE ON THE FUTURE,
SET YOUR SITES ON US."

Michael A. Manzie
9/1/21

MICHAEL A. MANZIE, P.L.S. 4069

SCALE: 1"=20' JOB NO: 21297 DATE: 08/19/2021 CADD: LP
F.B. NO: X-354 PAGE NO: 18 FIELD CREW: GS FILE NO: A-5458

Fernandina Pavilion
116 NORTH 2ND ST
SURVEY

SHEET:
DATE: September 14, 2022

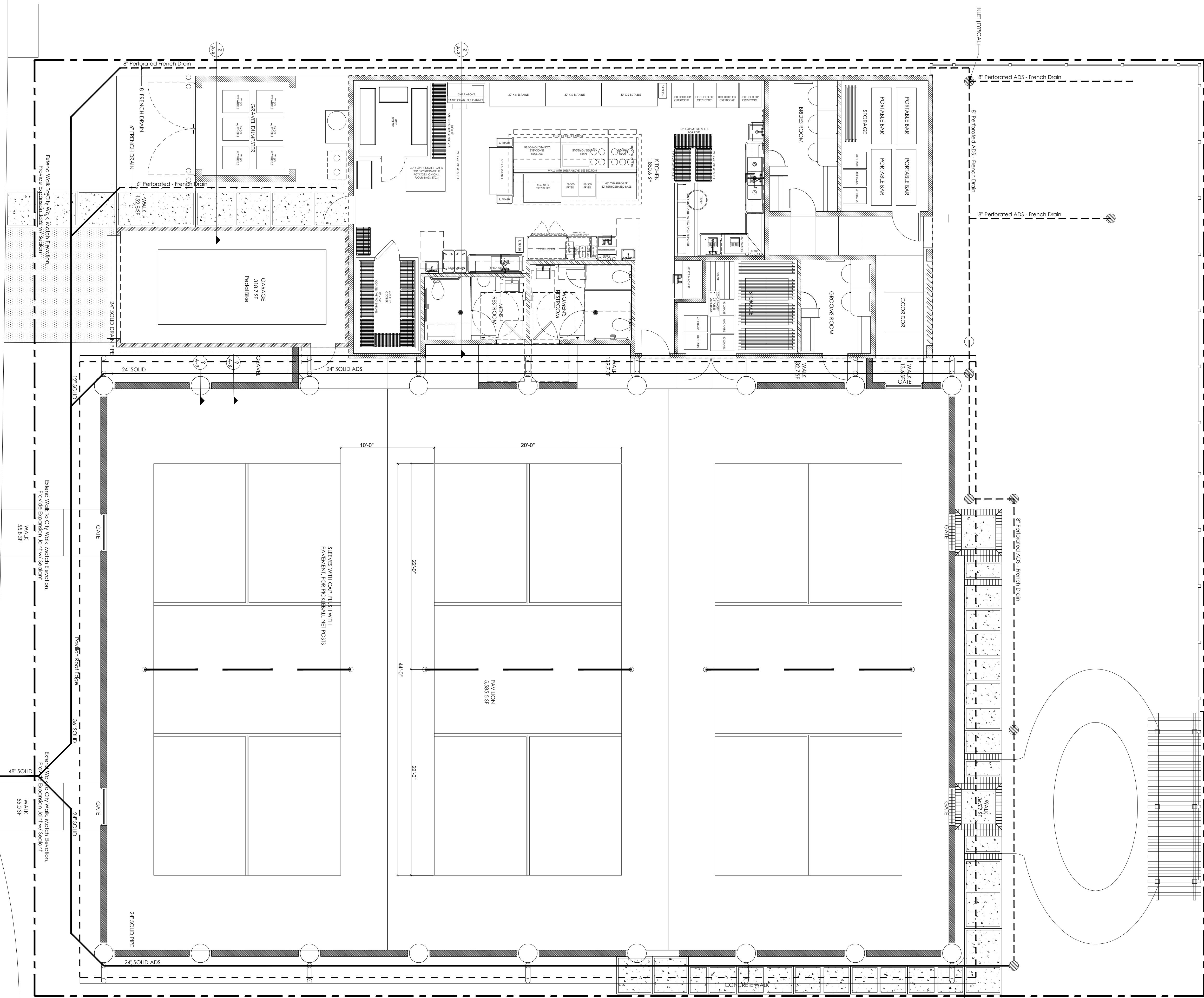
S-1

SITE PLAN
SCALE: 3/16" = 1'-0"

EDGE EXISTING ASPHALT ROAD

Catch
Basin

W
W
SV

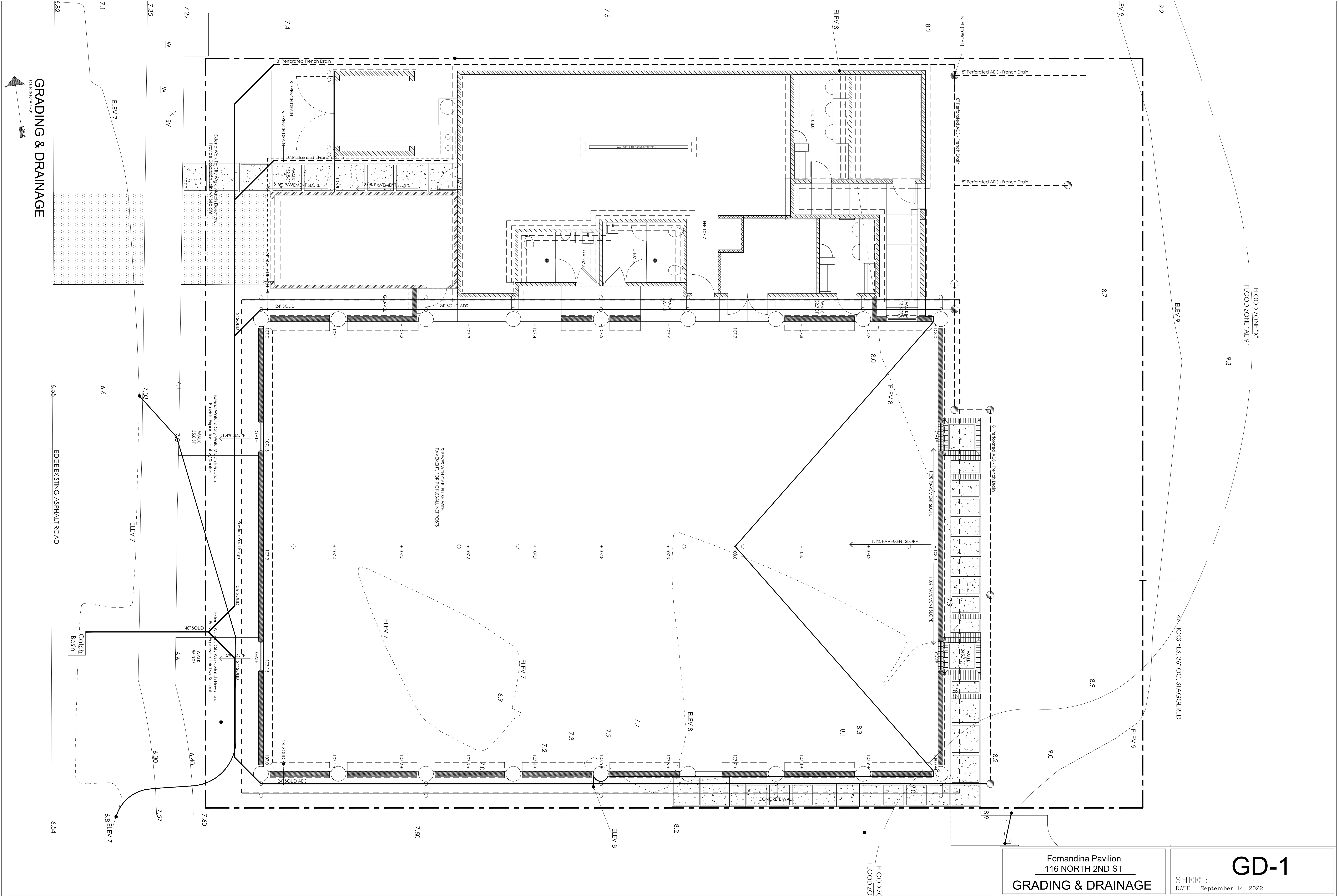


SITE DEVELOPMENT		RQD.
COMMUNITY REDEVELOPMENT AREA (CRA)	YES	
HISTORIC DISTRICT	NO	
LAND USE	CBD	
ZONING:	C-3	
• LOT WIDTH:		MIN. 25'
• BUILDING HEIGHT:		MAX 35'
• FRONT YARD SETBACK		0'
• SIDE YARD SETBACK		0'
• REAR YARD SETBACK		20'
• BUFFER (REAR - ADJACENT TO R-2 ZONING)		15'
FLOODPLAIN	YES, BFE 9.4	
IMPERVIOUS SURFACES:	8,590.10	
• PRIMARY BUILDING (KITCHEN):	1,850.6 SF	
• GARAGE:	318.7 SF	
• OPEN AIR PAVILION:	5,985.5 SF	
• WALKS / PAVING	835.3 SF	
LOT AREA	12,500 SF	
IMPERVIOUS SURFACE RATIO	MAX 75%	
BUILDING FLOOR AREA RATIO:	SUB. MAX	

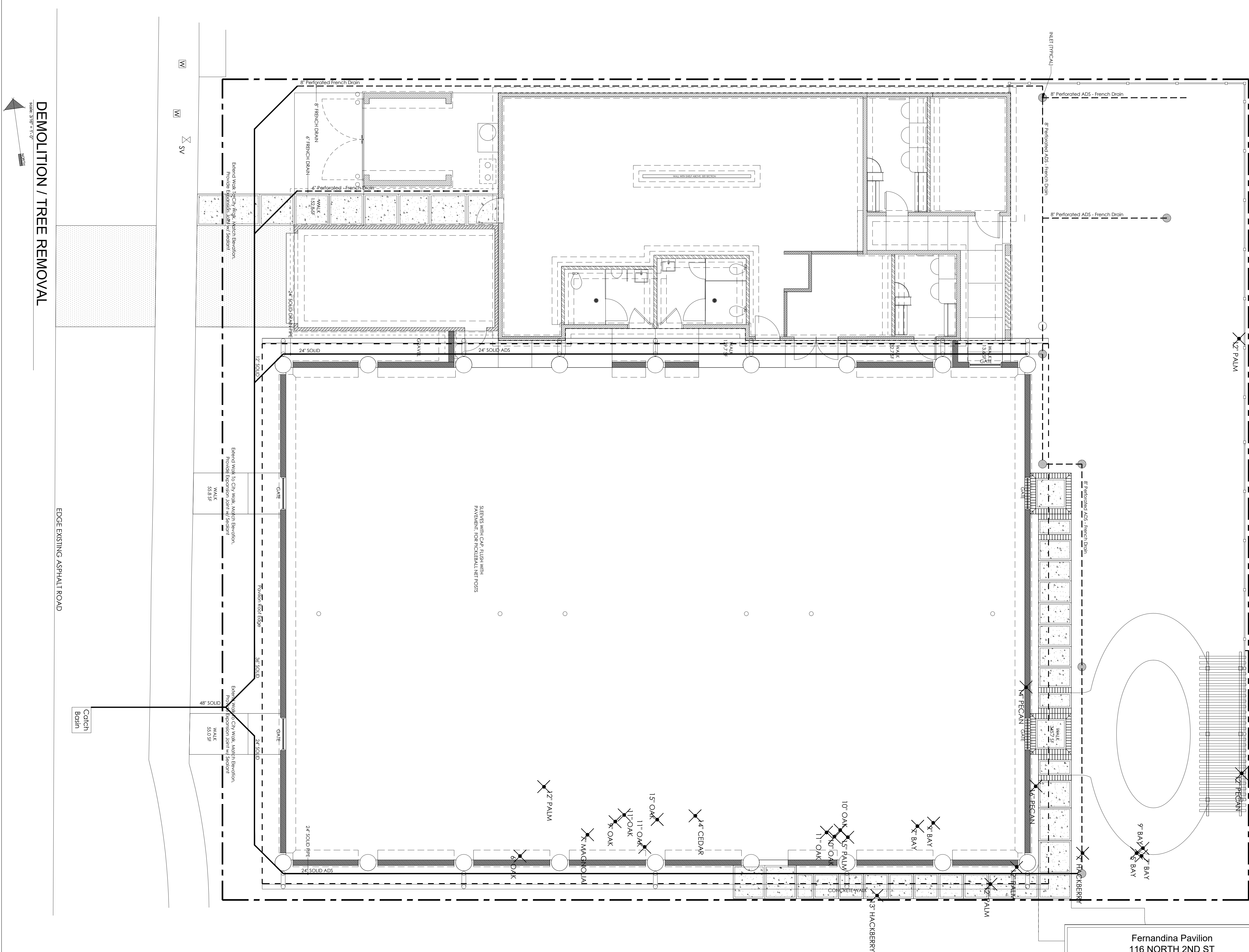
Fernandina Pavilion
116 NORTH 2ND ST
SITE PLAN

SHEET:
DATE: September 14, 2022

SP-1



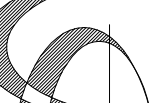
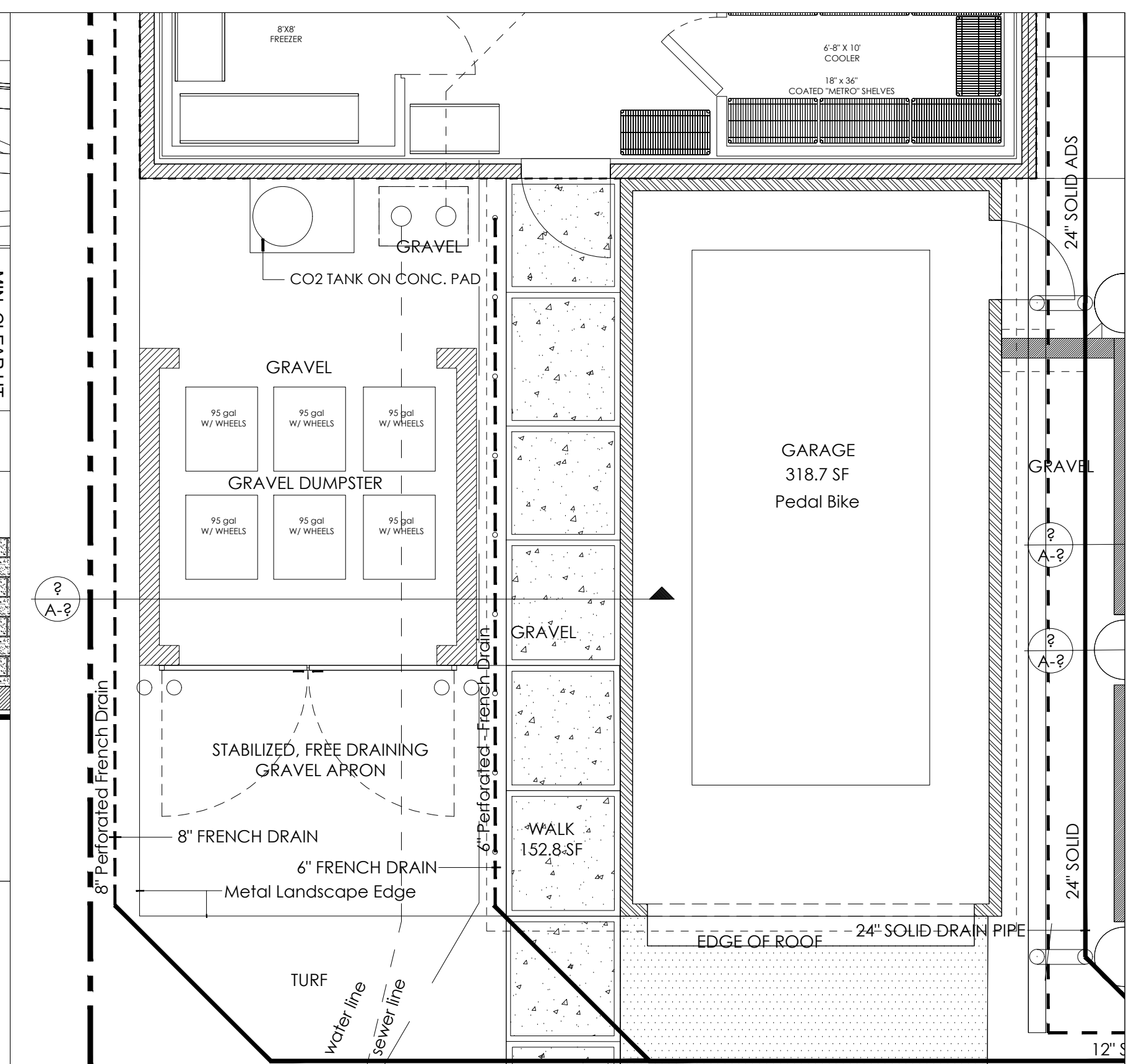
TREE CALCULATION		
TREES REMOVED		
6" OAK	13" HACKBERRY	
7" MAGNOLIA	7" BAY	
12" PALM	9" BAY	
9" OAK	12" PALM	
11" OAK	12" PALM	
11" OAK	14" PECAN	
15" OAK	16" PECAN	
14" CEDAR	7" HACKBERRY	
11" OAK	5" BAY	
10" OAK	7" BAY	
10" OAK	9" BAY	
15" PALM	12" PECAN	
	12" PALM	
0 TREES RETAINED	0%	0 - CAL "
25 TREES REMOVED	100%	266" - CAL "



Fernandina Pavilion
116 NORTH 2ND ST
DEMOLITION / TREE REMOVAL

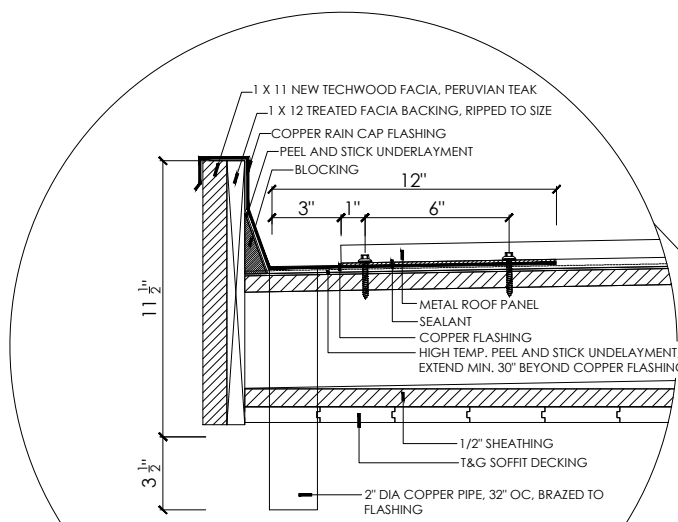
SHEET:
DATE: September 14, 2022

TR-1

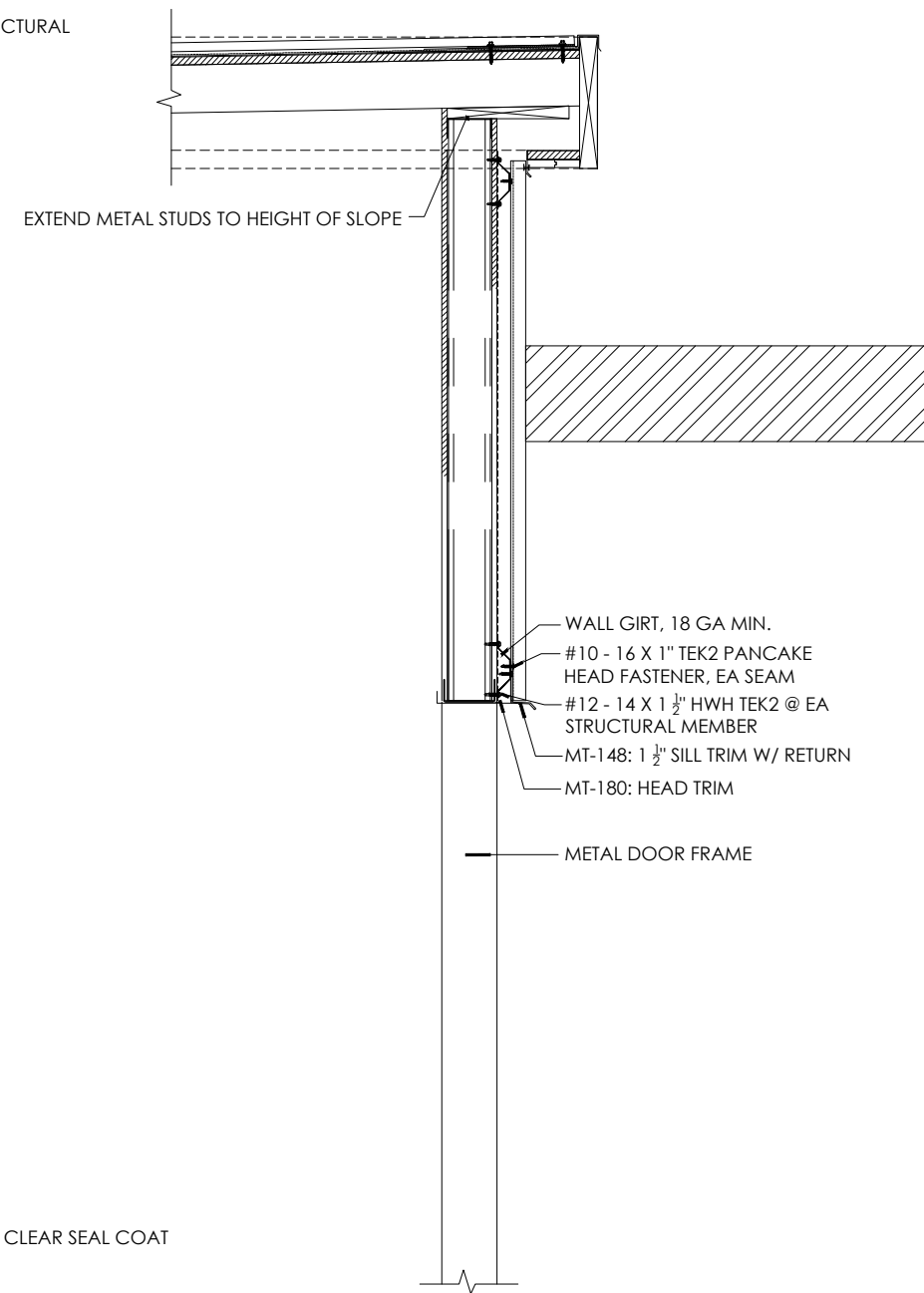
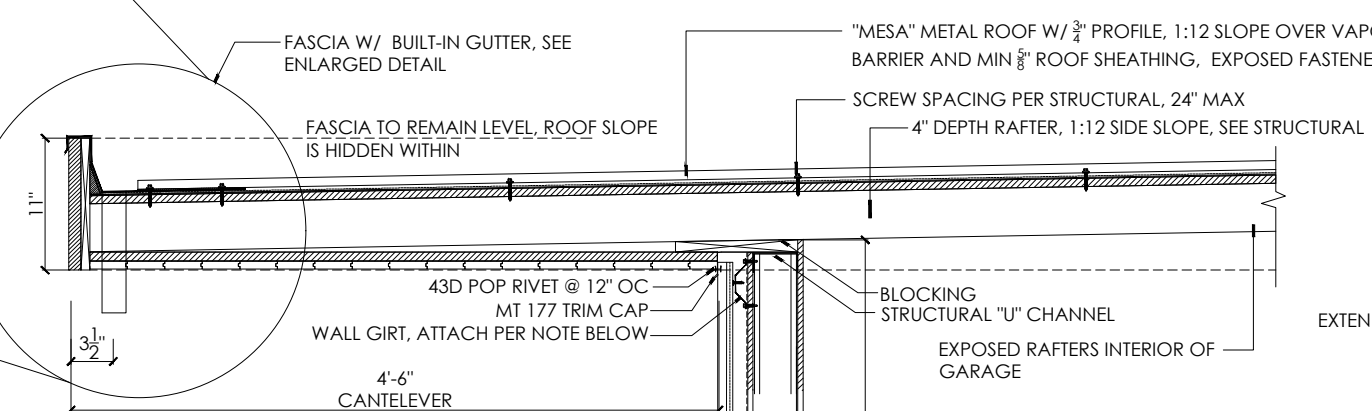


CHAD GRIMM STUDIOS
2539 HYDE PARK ROAD
JACKSONVILLE FL 32210
(904) 236-9750

SCALE: $\frac{1}{4}" = 1'-0"$

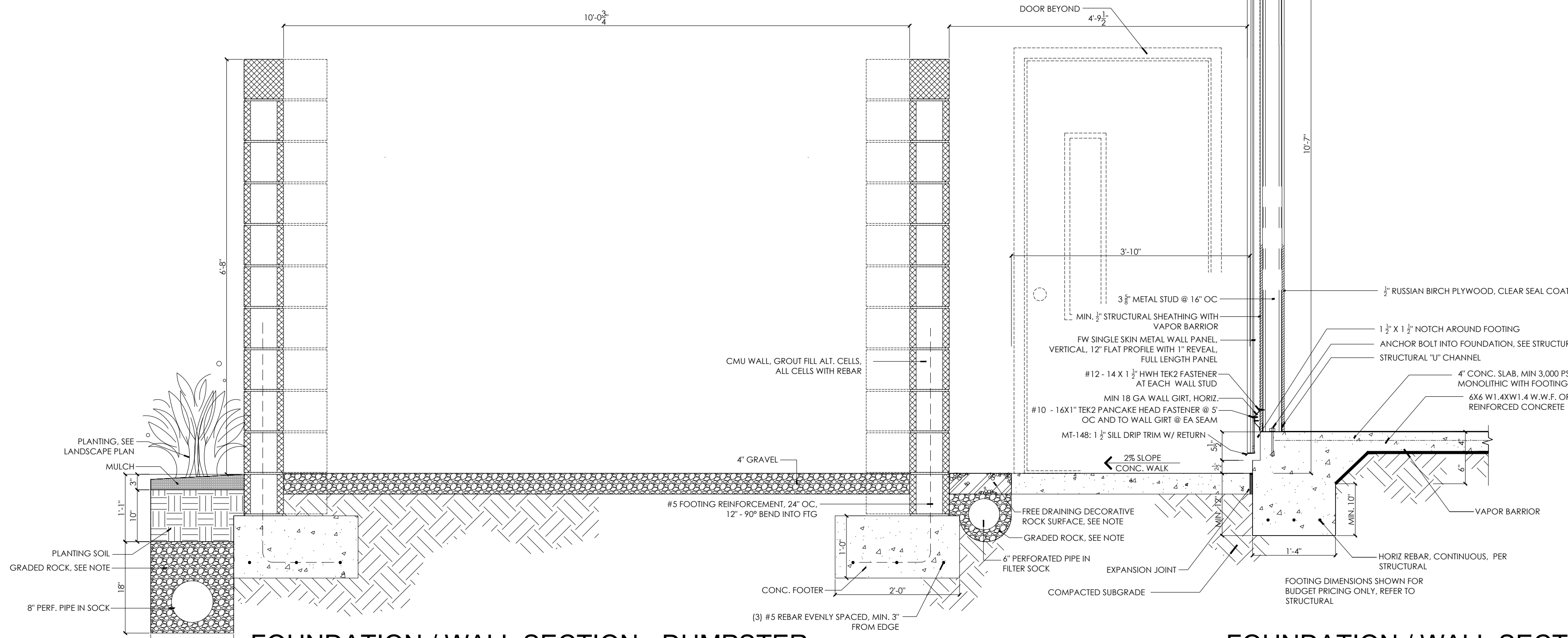


scale: $1 \frac{1}{2}'' = 1' - 0''$



scale: 3/4" = 1'- 0'

scale: 1 $\frac{1}{2}$ " = 1'-0"



scale: 3/4" = 1'- 0"

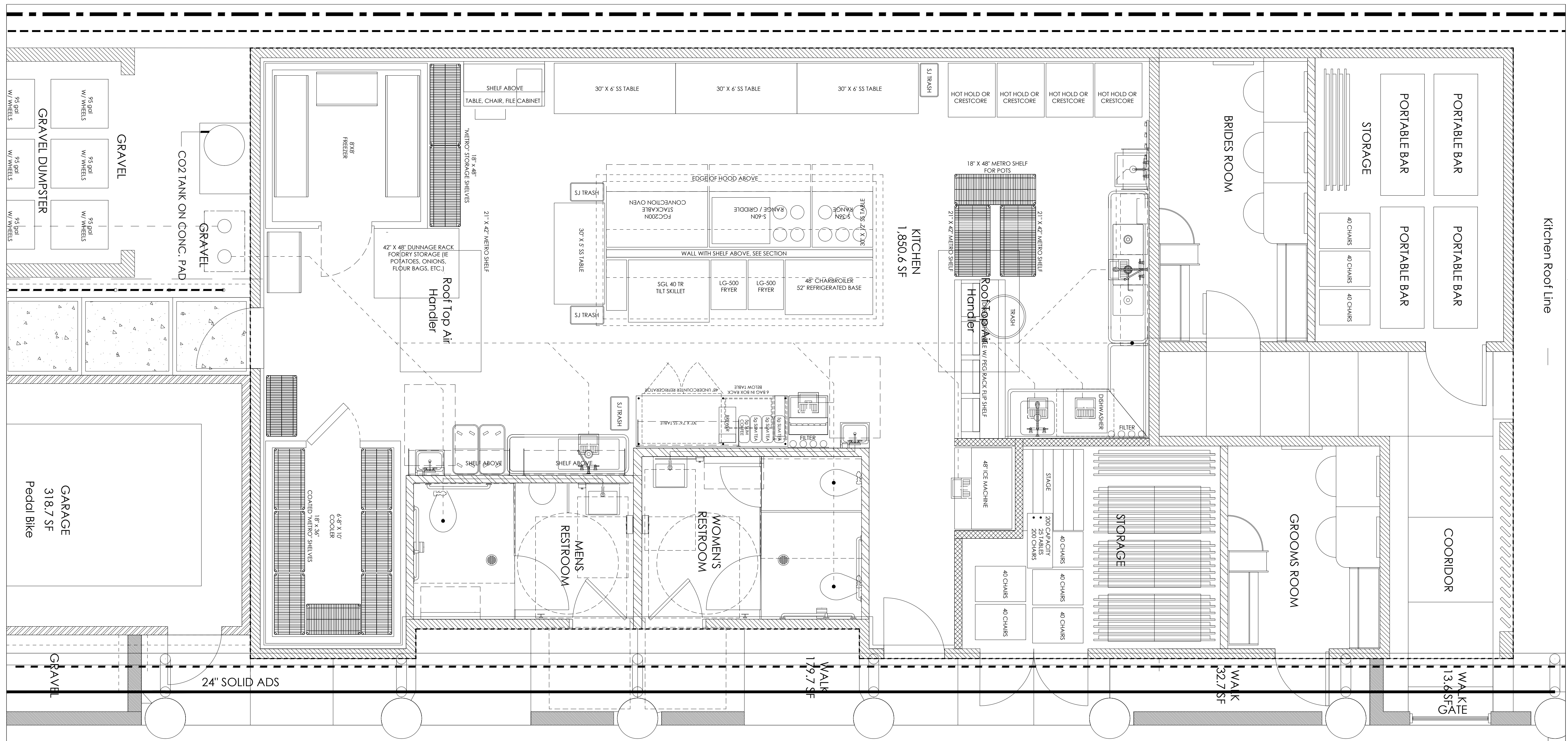
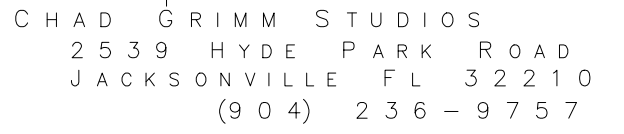
scale: 3/4" = 1'- 0"

- NOTES:**
- WALL SYSTEM: SINGLE SKIN 'FW WALL PANEL' BY MCELROY METALS W/ 1" REVEAL
 - ROOFING SYSTEM: "MESA" METAL ROOFING PANELS BY MCELROY METALS, MAX 3" REVEAL, 1:12 SIDE SLOPE
 - WOOD FASCIA: 1 X 11 NEW TECHWOOD COMPOST FACIA, PERUVIAN TEAK OVER MIN. 1X PRESSURE TREATED BACKING
 - WOOD SOFFIT: 1" X 6" D TONGUE AND GROOVE NEW TECHWOOD COMPOST BOARD, PERUVIAN TEAK

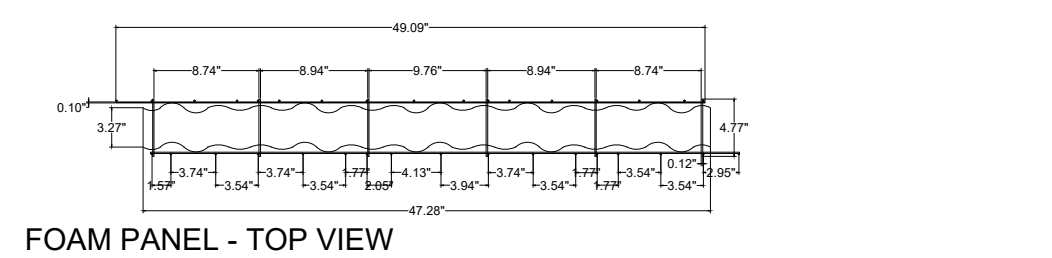
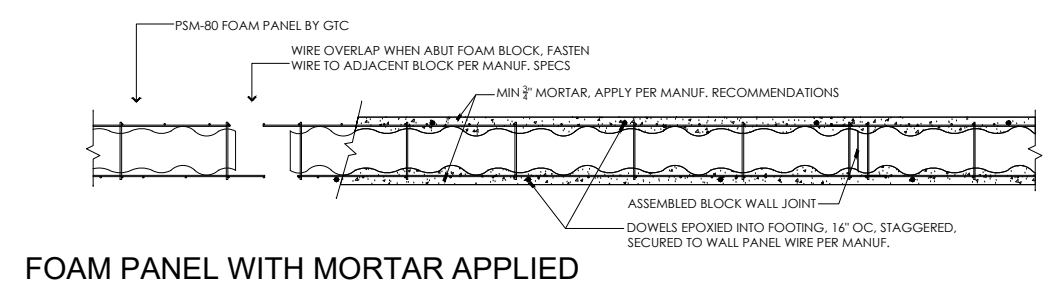
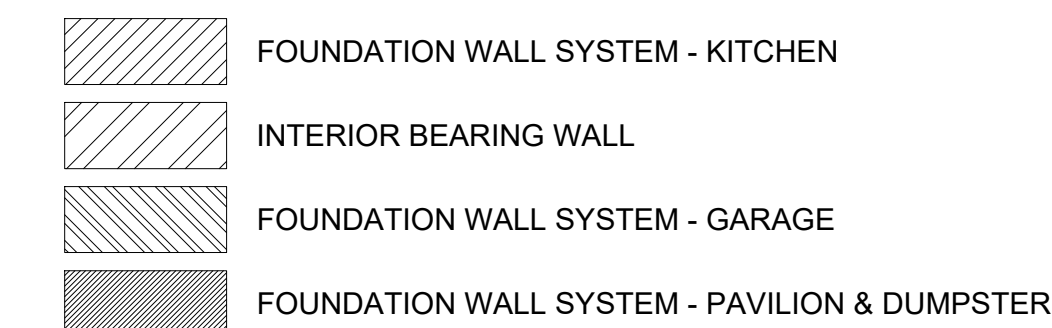
[illegible]

AR
SHEET:
DATE: September 14, 2022

AR-1



PLAN VIEW - 1"
SCALE: 3/8" = 1'-0"

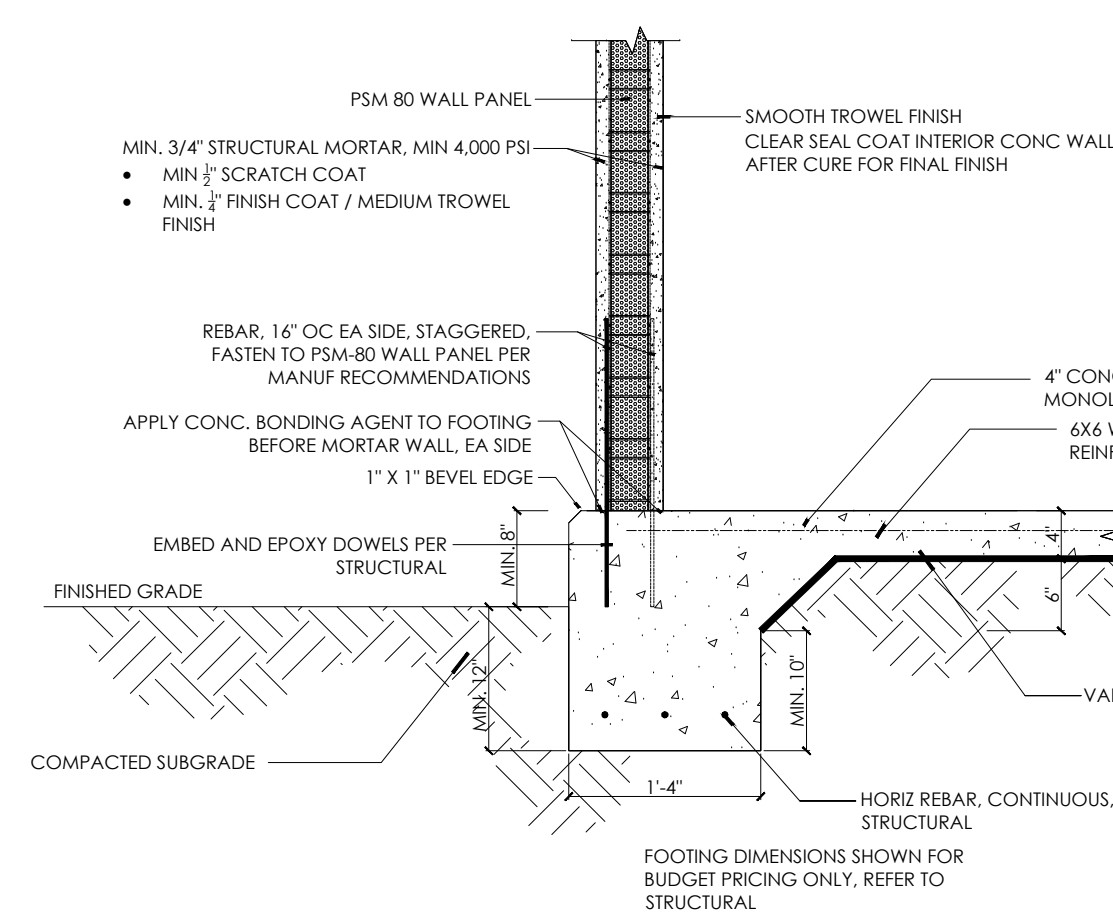


PSM - 80 WALL PANEL - PLAN VIEW

scale: 1 $\frac{1}{2}$ " = 1'- 0"

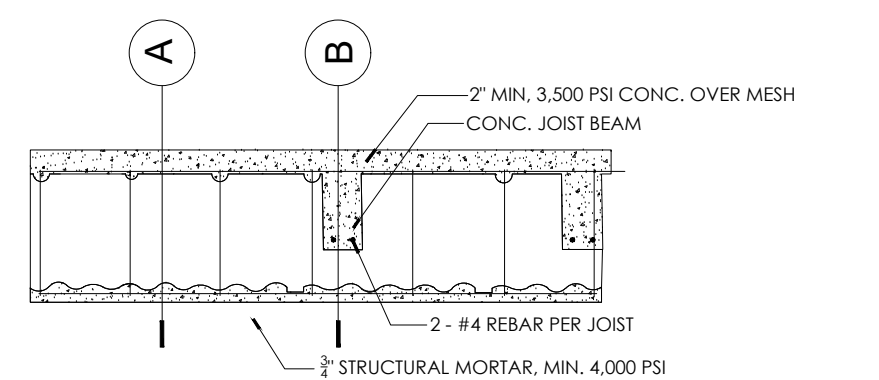
AS MANUF. BY GULF CONCRETE
TECHNOLOGY (GTC)

- ### NOTES:
- WALL SYSTEM: PSM - 80 WALL PANEL SYSTEM AS MANUF. BY GULF CONCRETE TECHNOLOGY (GTC)
 - ROOFING SYSTEM: PSQ2-200 ROOF PANEL SYSTEM AS MANUF. BY GTC
 - MORTAR: CARMELO HIGH STRENGTH MORTAR, MIN. 4,000 PSI
 - WOOD FASCIA: 1 X 11 NEW TEACHWOOD COMPOST FACIA, PERUVIAN TEAK OVER MIN. 1/8" PRESSURE TREATED BACKING
 - GUTTER: GALVALUME EX-8 COMMERCIAL GUTTER AND DOWNSPOUT



FOUNDATION / WALL SECTION - KITCHEN

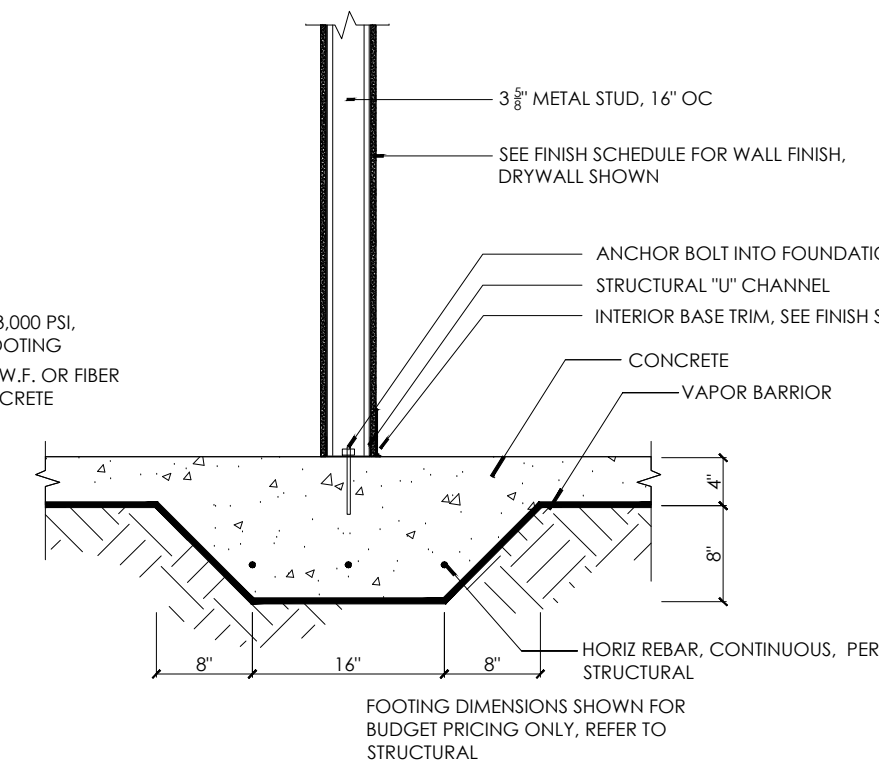
scale: 3/4" = 1'- 0"



PSG2-200 - ROOF PANEL- SIDE VIEW

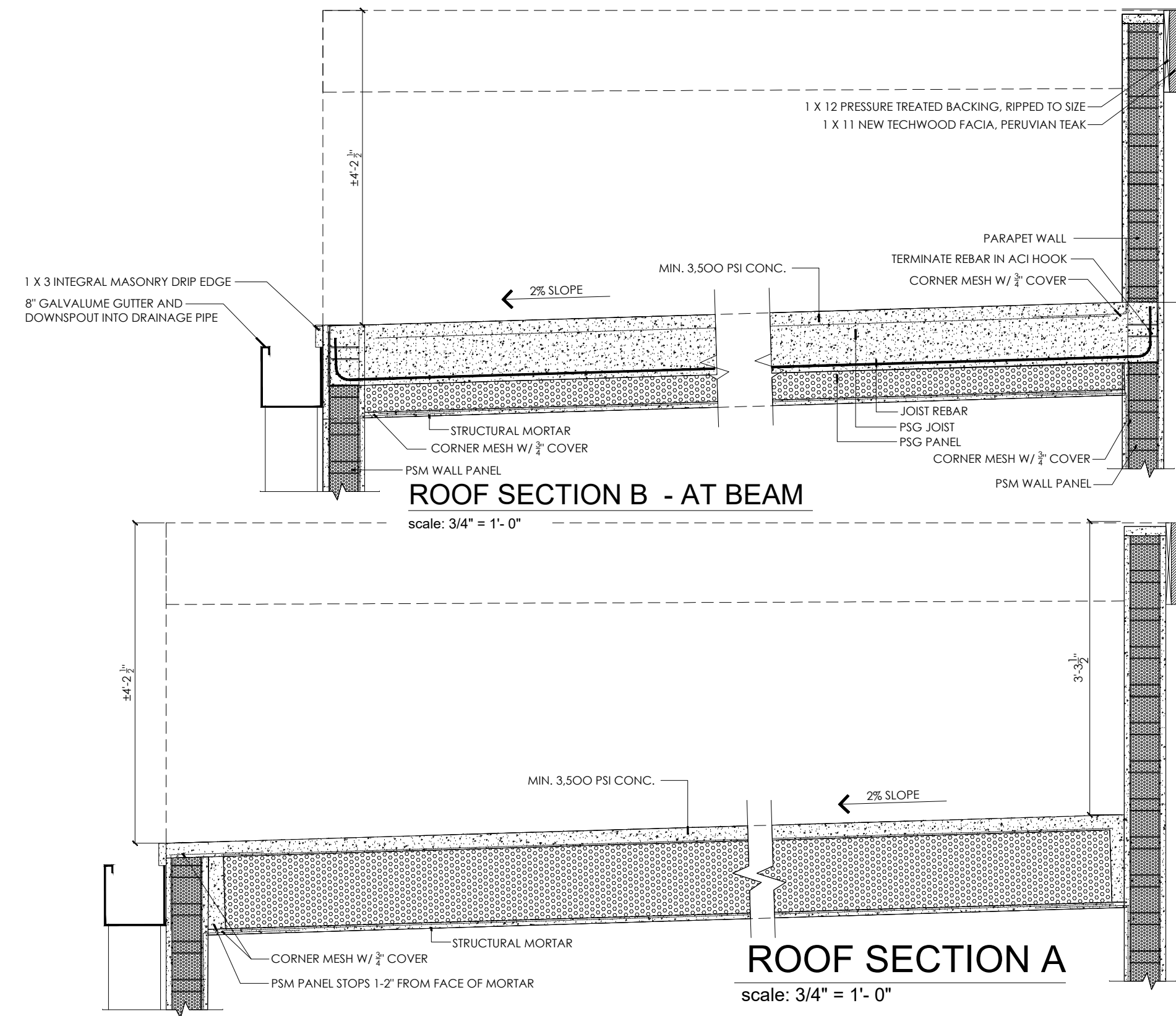
scale: 1 $\frac{1}{2}$ " = 1'- 0"

AS MANUF. BY GULF CONCRETE
TECHNOLOGY (GTC)



INTERIOR BEARING WALL SECTION

scale: 3/4" = 1'- 0"



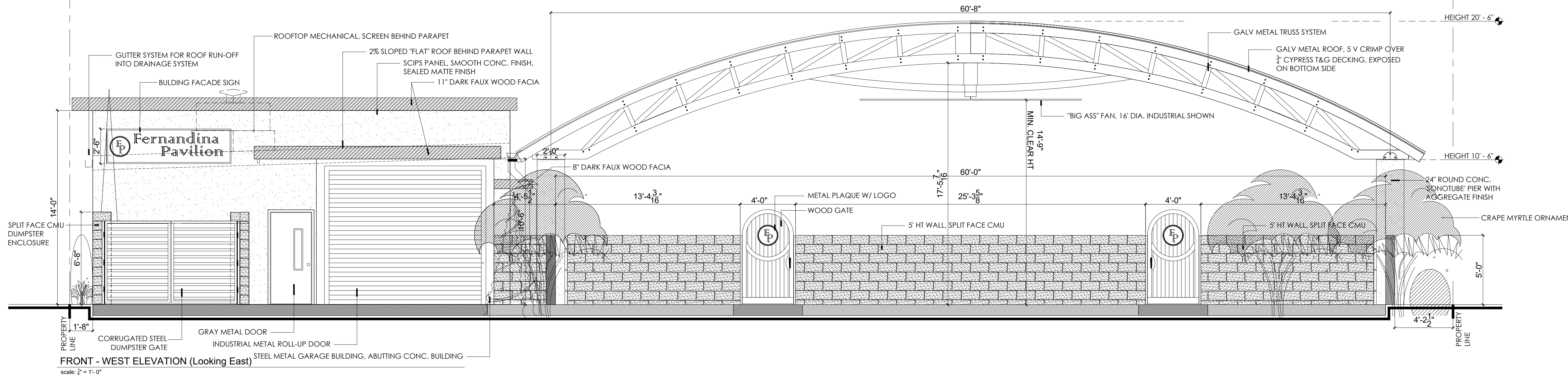
Fernandina Pavilion
116 NORTH 2ND ST

ARCHITECTURE KITCHEN

REVISIONS			
no.	description	by	date

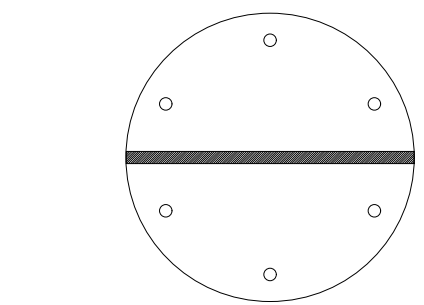
AR-2

SHEET:
DATE: September 14, 2022

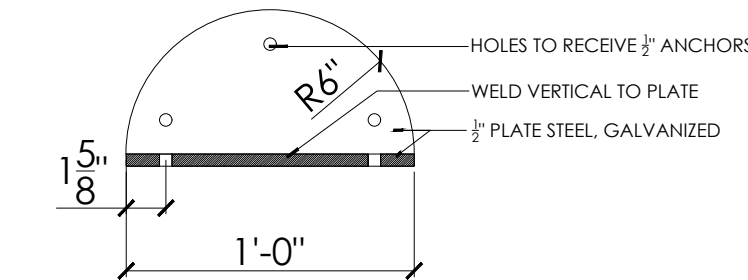


ROOF DETAIL @ GUTTER

scale: $1\frac{1}{2}'' = 1'-0''$



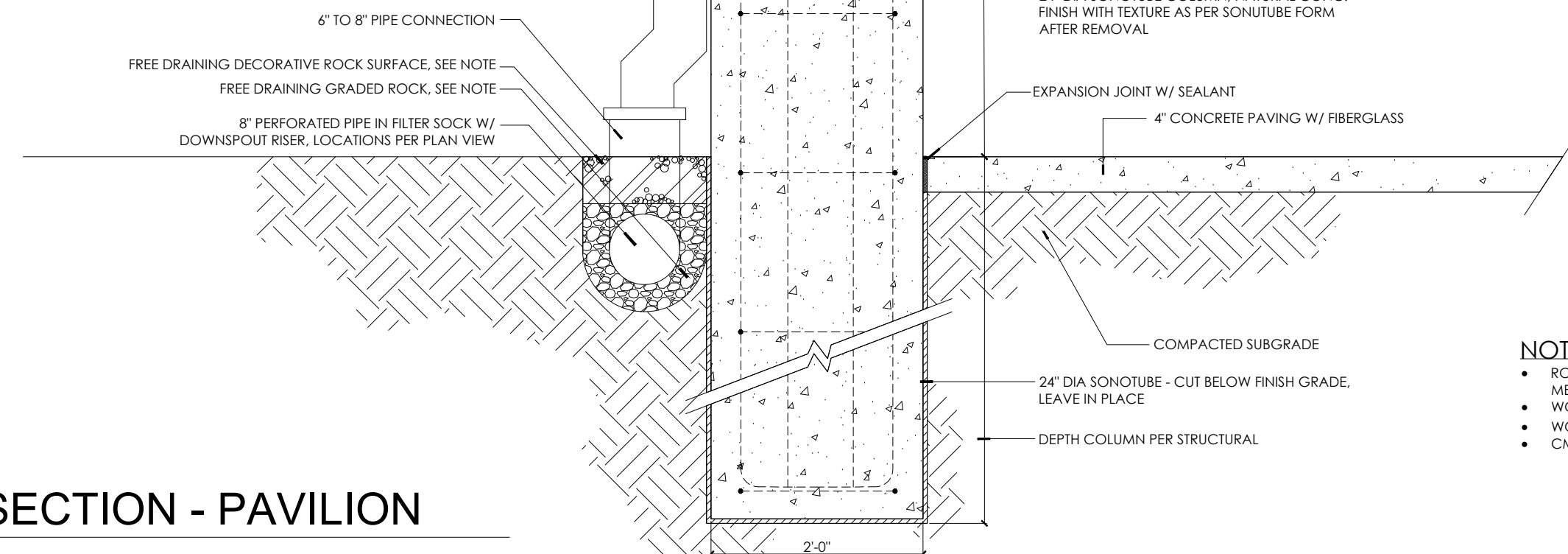
PLAN VIEW



ELEVATION

TRUSS TO COLUMN BRACKET

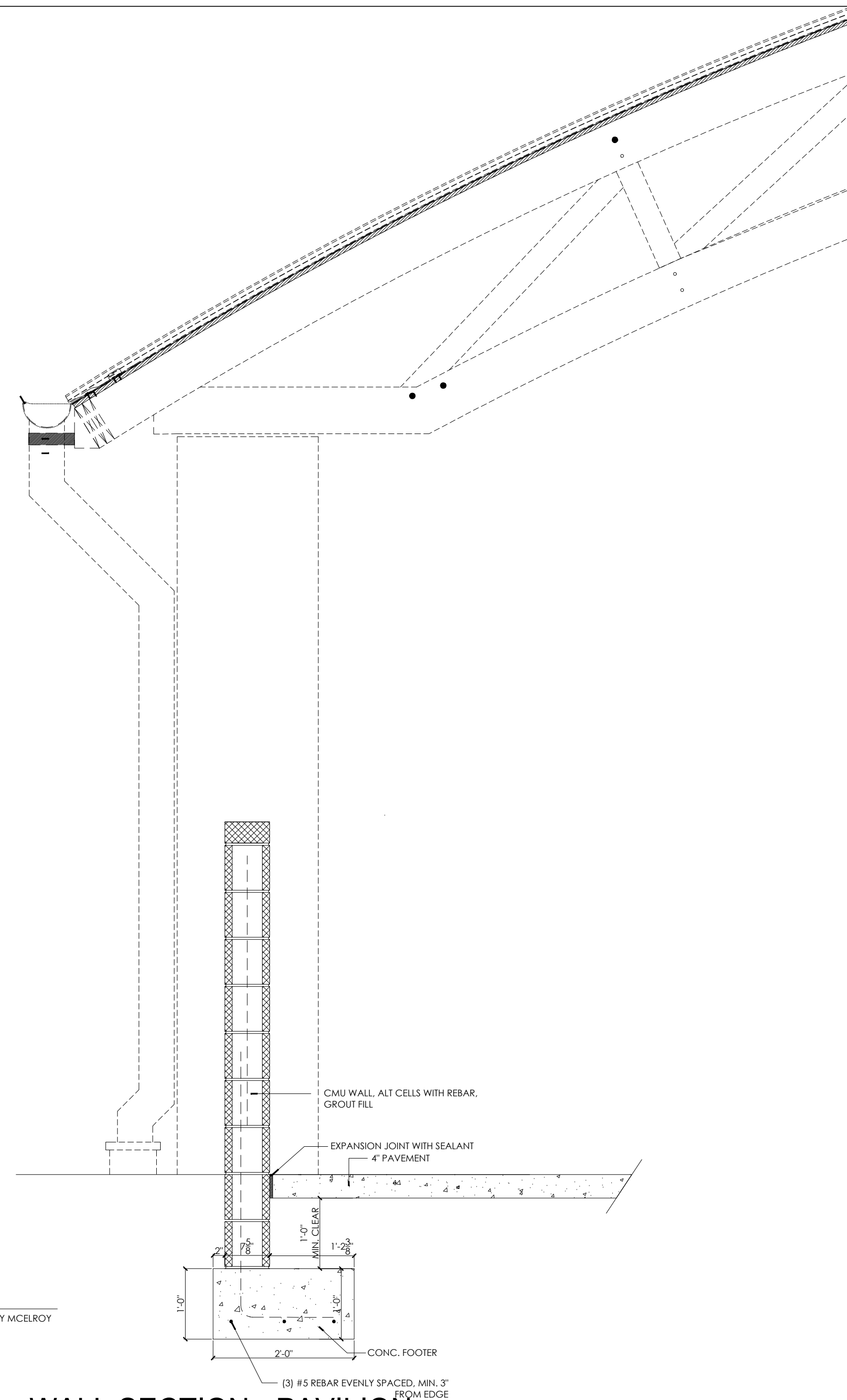
scale: $1\frac{1}{2}'' = 1'-0''$



COLUMN SECTION - PAVILION

scale: $3/4'' = 1'-0''$

- NOTES:
- ROOFING SYSTEM: "MEDALLION 1" METAL ROOFING PANELS BY MCELROY"
 - METALS: 16" FLAT PANELS, CURVED
 - WOOD FASCIA: 2" X 12
 - WOOD UNDERDECKING: 3" X 4" TONGUE AND GROOVE
 - CMU: SPLIT FACE, CMU, COLOR - 999



WALL SECTION - PAVILION

scale: $3/4'' = 1'-0''$

Fernandina Pavilion
116 NORTH 2ND ST

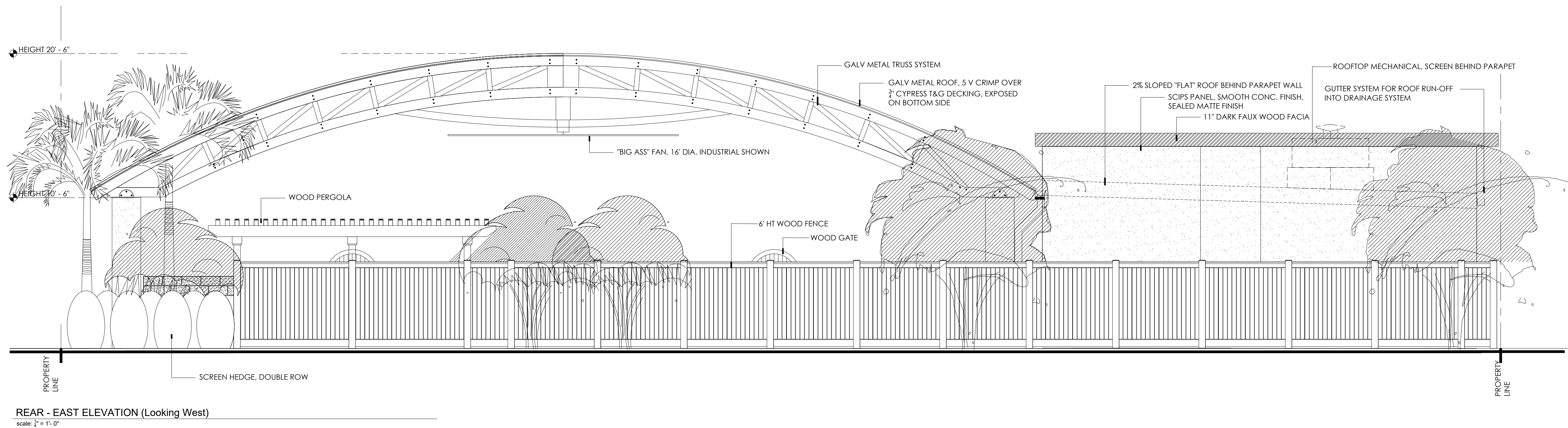
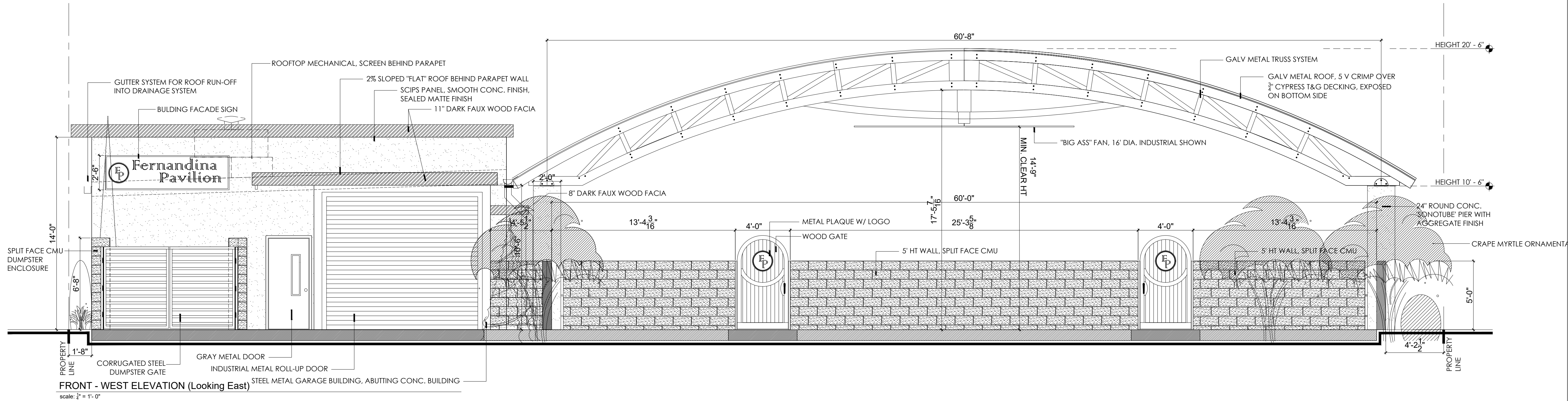
ARCHITECTURE PAVILION

REVISIONS

no.	description	by	date

AR-3

SHEET:
DATE: September 14, 2022



Fernandina Pavilion
116 NORTH 2ND ST

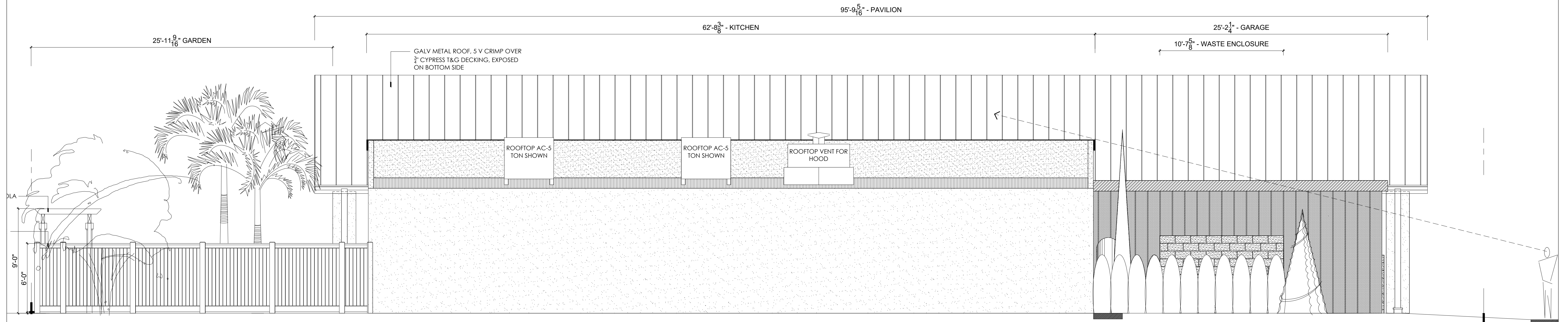
ARCHITECTURE EXT. ELEVATIONS

REVISIONS

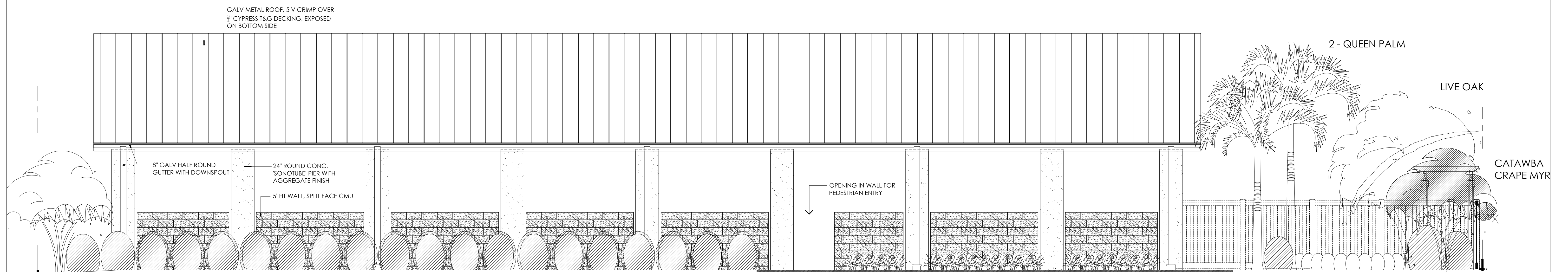
no.	description	by	date

AR-4

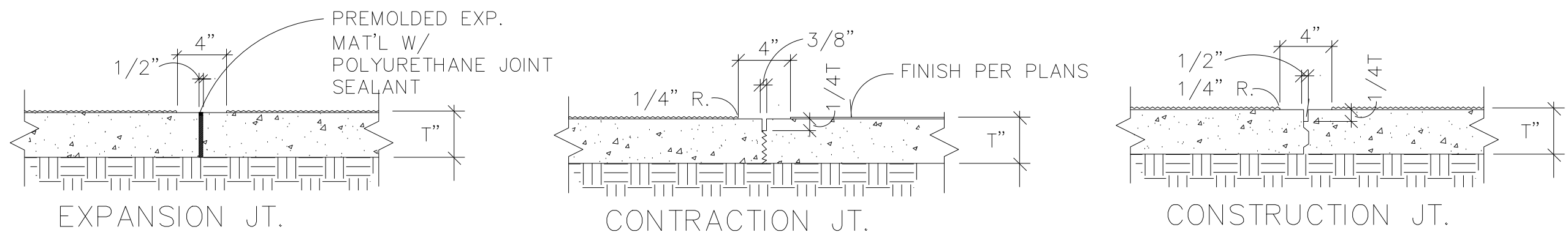
SHEET:
DATE: September 14, 2022



SIDE - NORTH ELEVATION (Looking South)
scale: 1/2" = 1'-0"



SIDE -SOUTH ELEVATION (Looking North)
scale: 1/2" = 1'-0"



General Conc. Walkway Notes

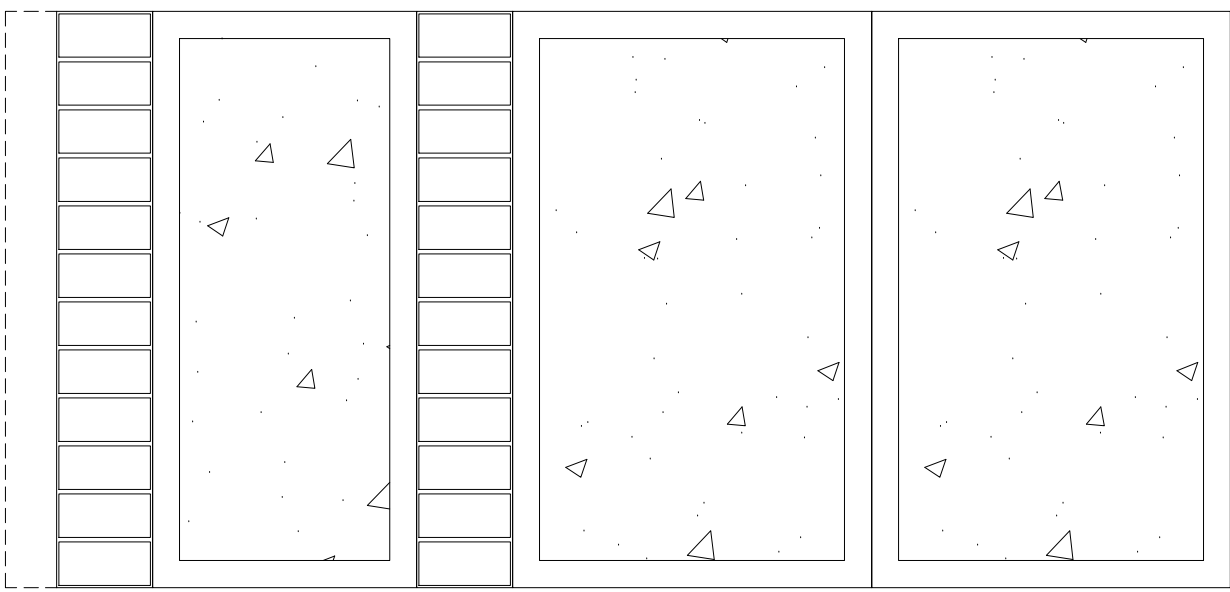
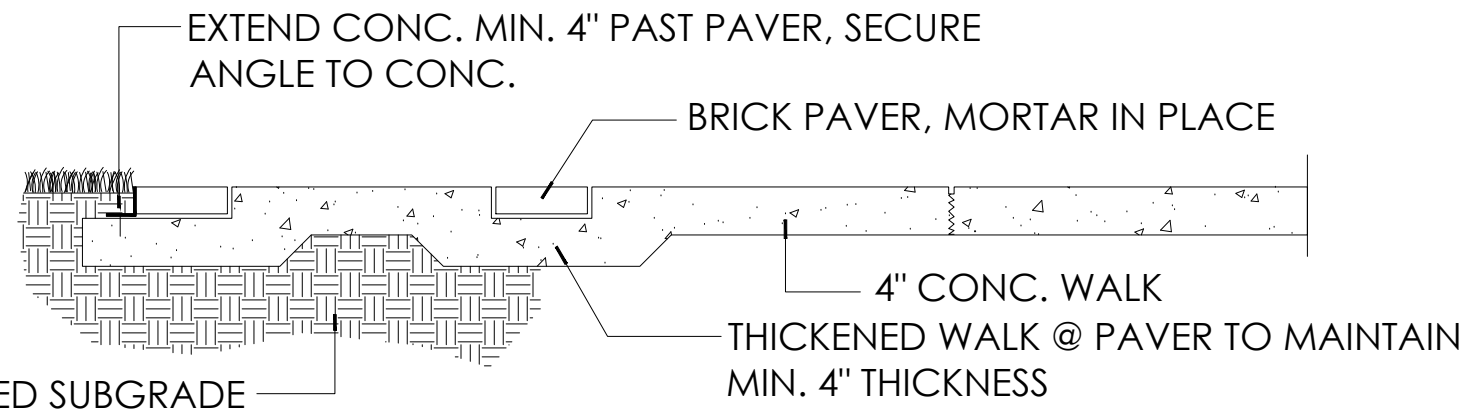
1. SPACING OF ALL JOINTS TO BE AS SHOWN ON PLANS AND/OR SPECIFICATIONS
2. EXPANSION JOINTS REQUIRED WHERE ABUTTING ALL STRUCTURES, BACK OF CURBS AND WITHIN WALKS AT 30' OC MAX
3. LAYOUT OF JOINTING IS AN INTEGRAL DESIGN ELEMENT AND SHALL BE LAYED PER PLAN/DIMENSIONS AS SHOWN

PAVEMENT THICKNESS (INCHES)	RECOMMENDED MAX. JOINT SPACING (FEET)
3.5	6
4.0	10
4.5	10
5.0	12
6.0	15
OVER 6.0	15

ALL CONCRETE CURBS SHOWN ON THESE PLANS SHALL HAVE SAWCUT JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 40' O.C. MAX.

CONTROL JOINTS SHALL BE CUT 4-12 HOURS AFTER POUR MAX.

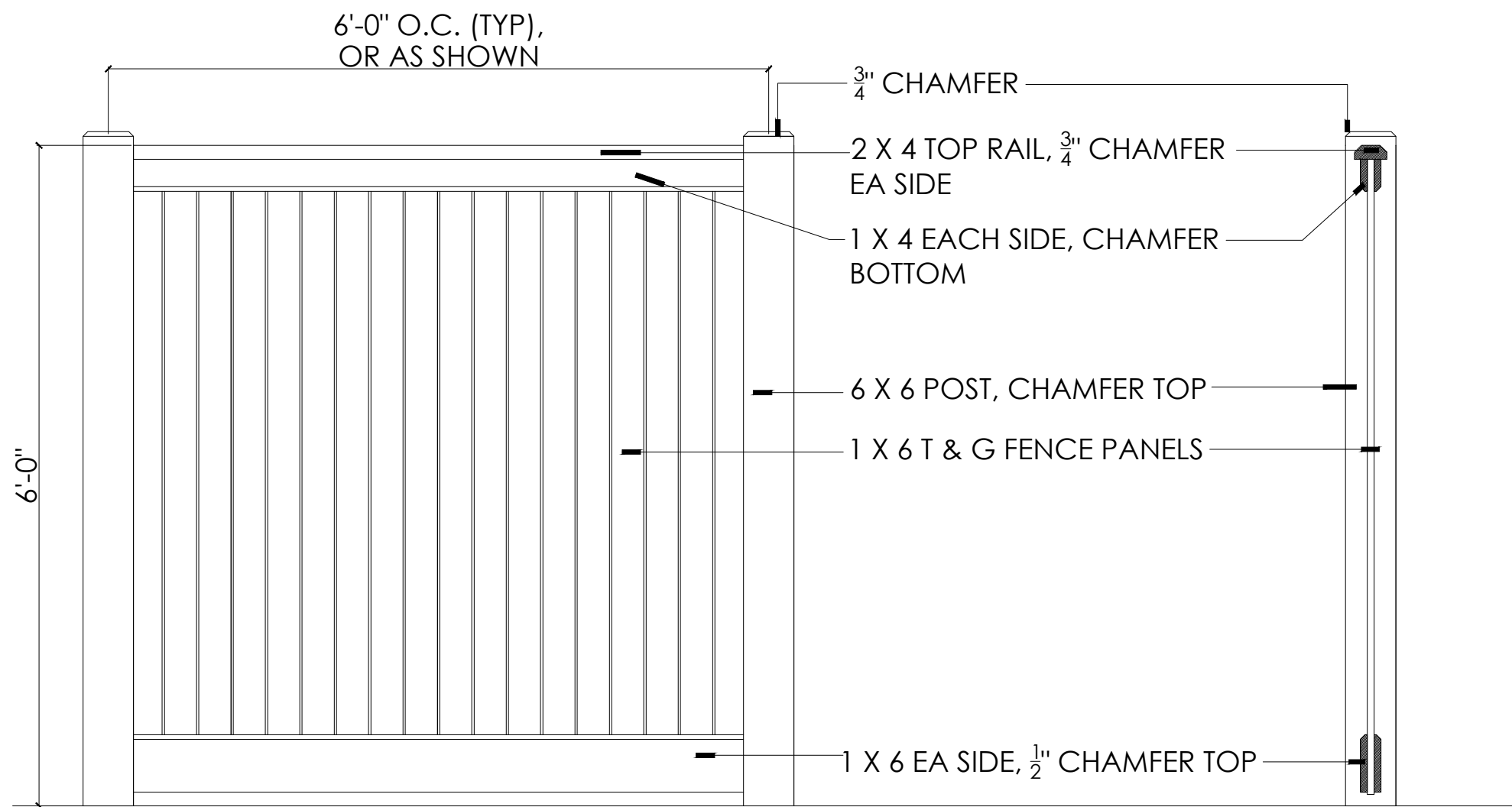
3000 PSI CONC.



- NOTES:
1. REFER TO PLANS FOR PAVING PATTERNS
 2. PAVERS SHALL BE 4" x 8" x 2 1/4" BRICK PAVERS, MEDIUM IRONSPOT #77, BY ENDICOTT, www.endicott.com
 3. ANGLE EDGE RESTRAINT SHALL BE ALUMINUM, 3/8" X 2 1/4" ANGLE, MILL FINISH, AS MANUF BY PERMALOC, OR APPROVED EQUAL
 4. CURVE EDGE RESTRAING EVENLY AND SMOOTHLY WITH CURVE OF WALK. GROUT FILL BETWEEN EDGE OF RESTRAINT AND BRICK PAVER

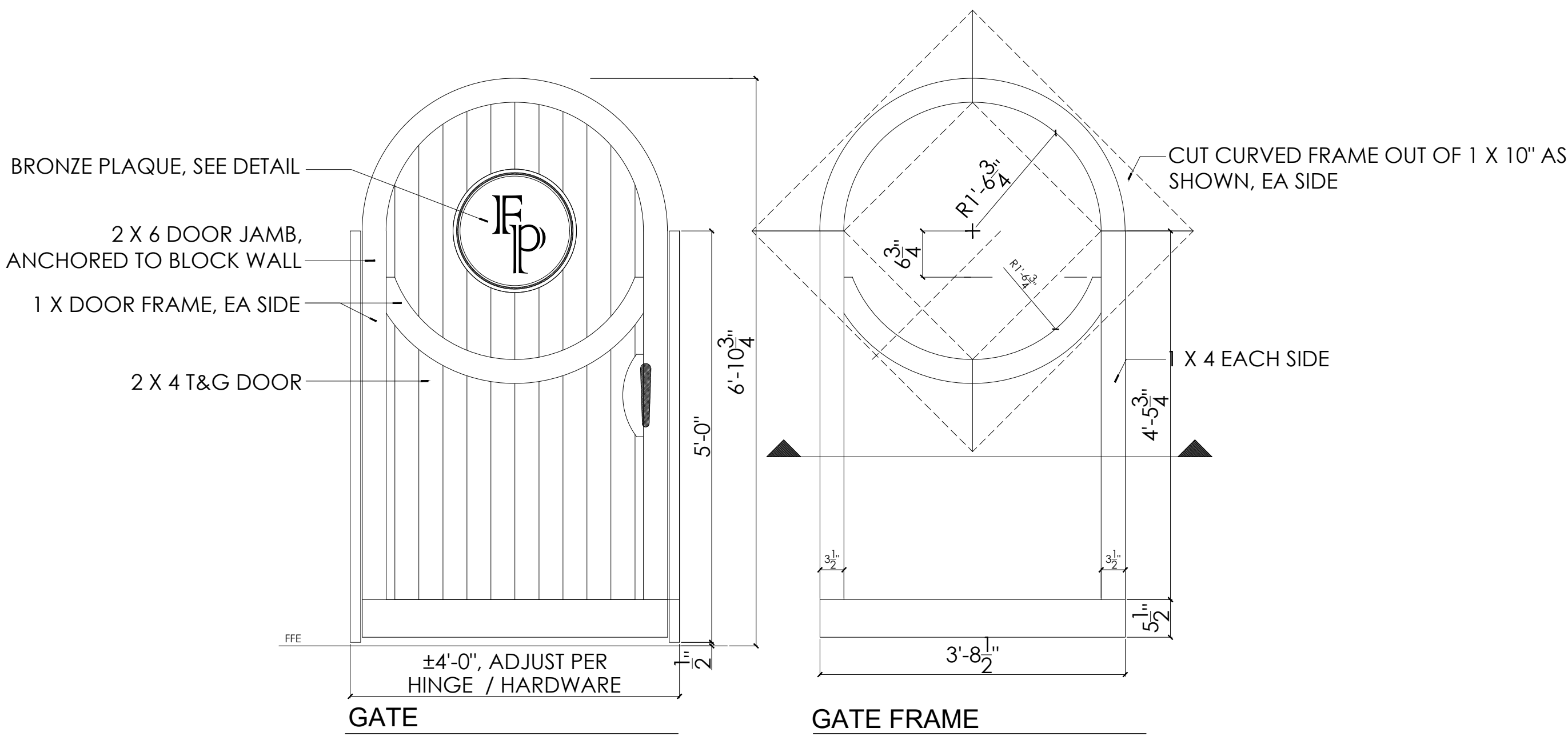
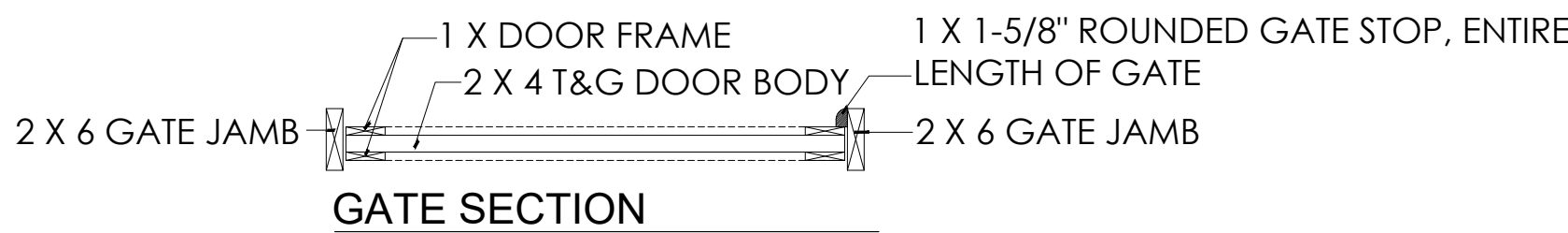
BRICK PAVER IN WALK DETAIL

scale: 3/4" = 1'- 0"



PRIVACY WOOD FENCE

scale: 3/4" = 1'- 0"



PEDESTRIAN GATE

scale: 3/4" = 1'- 0"



Fernandina Pavilion
116 NORTH 2ND ST

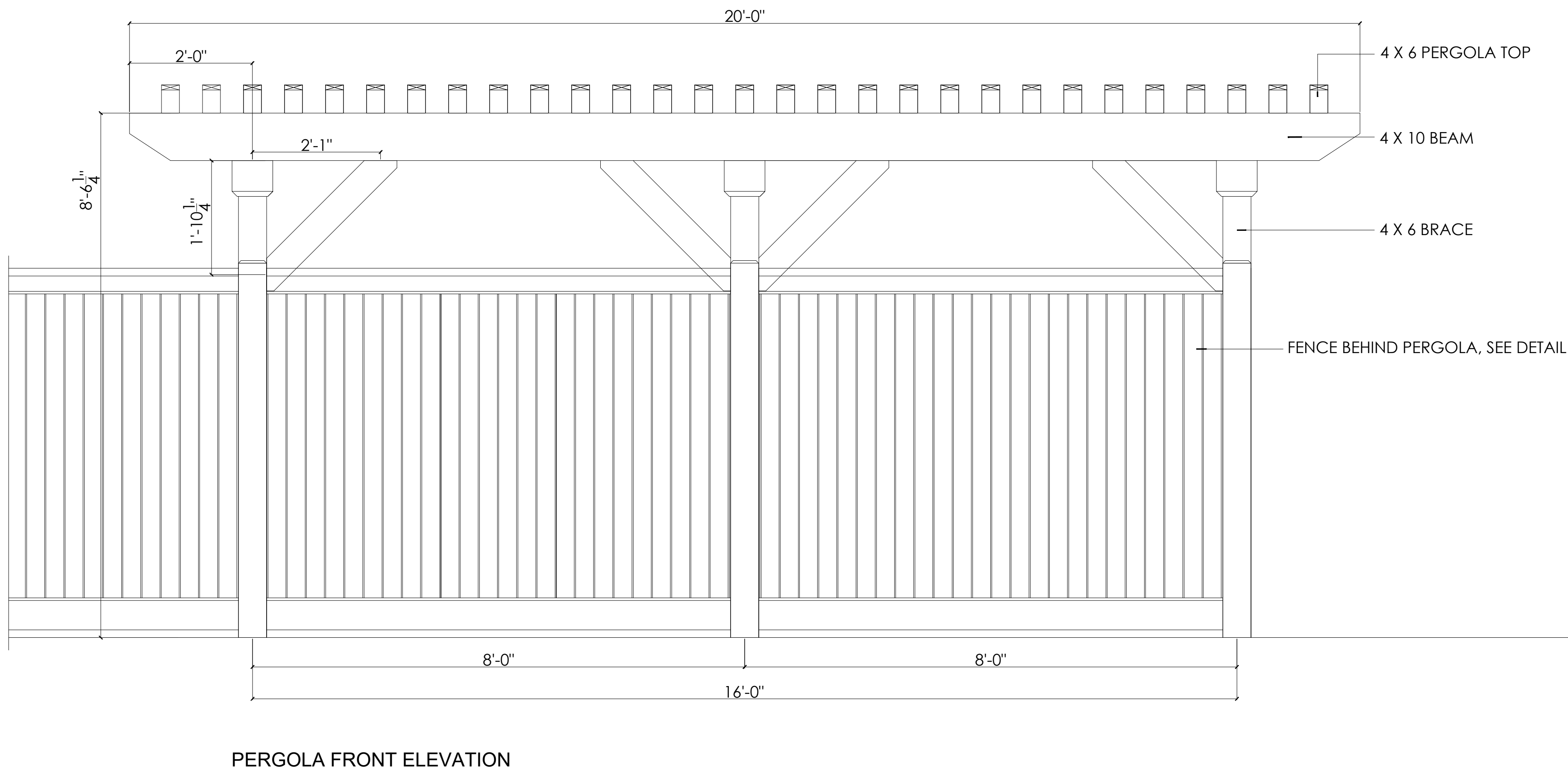
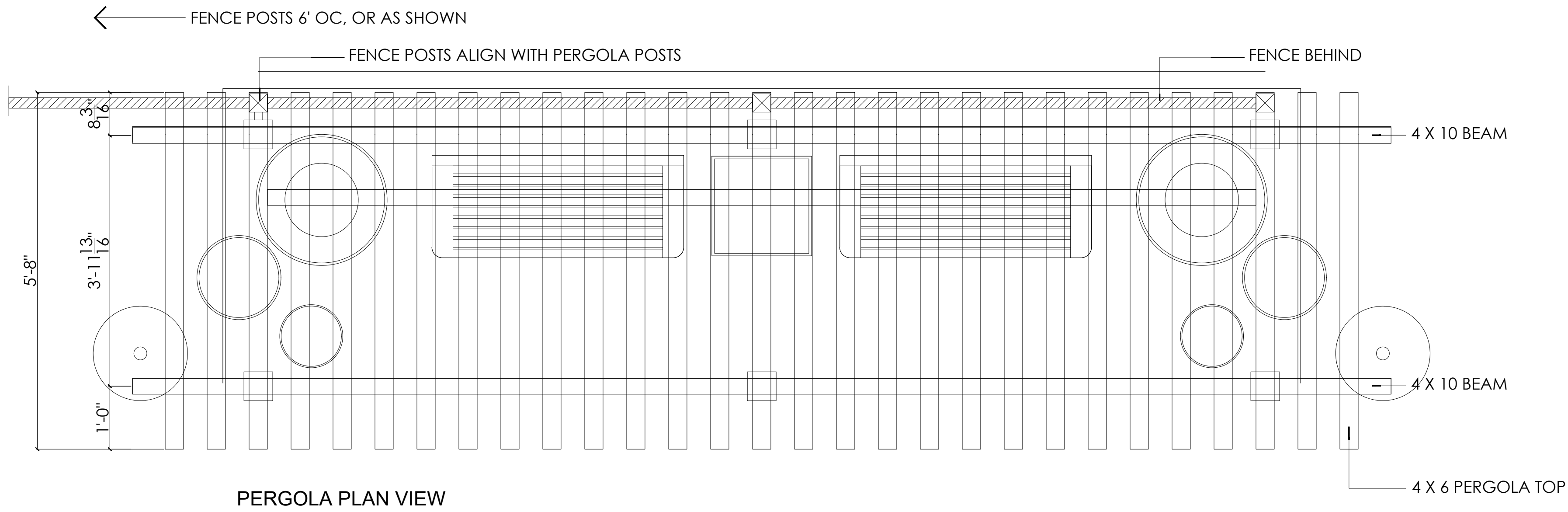
ARCHITECTURE DETAILS

REVISIONS

no.	description	by	date

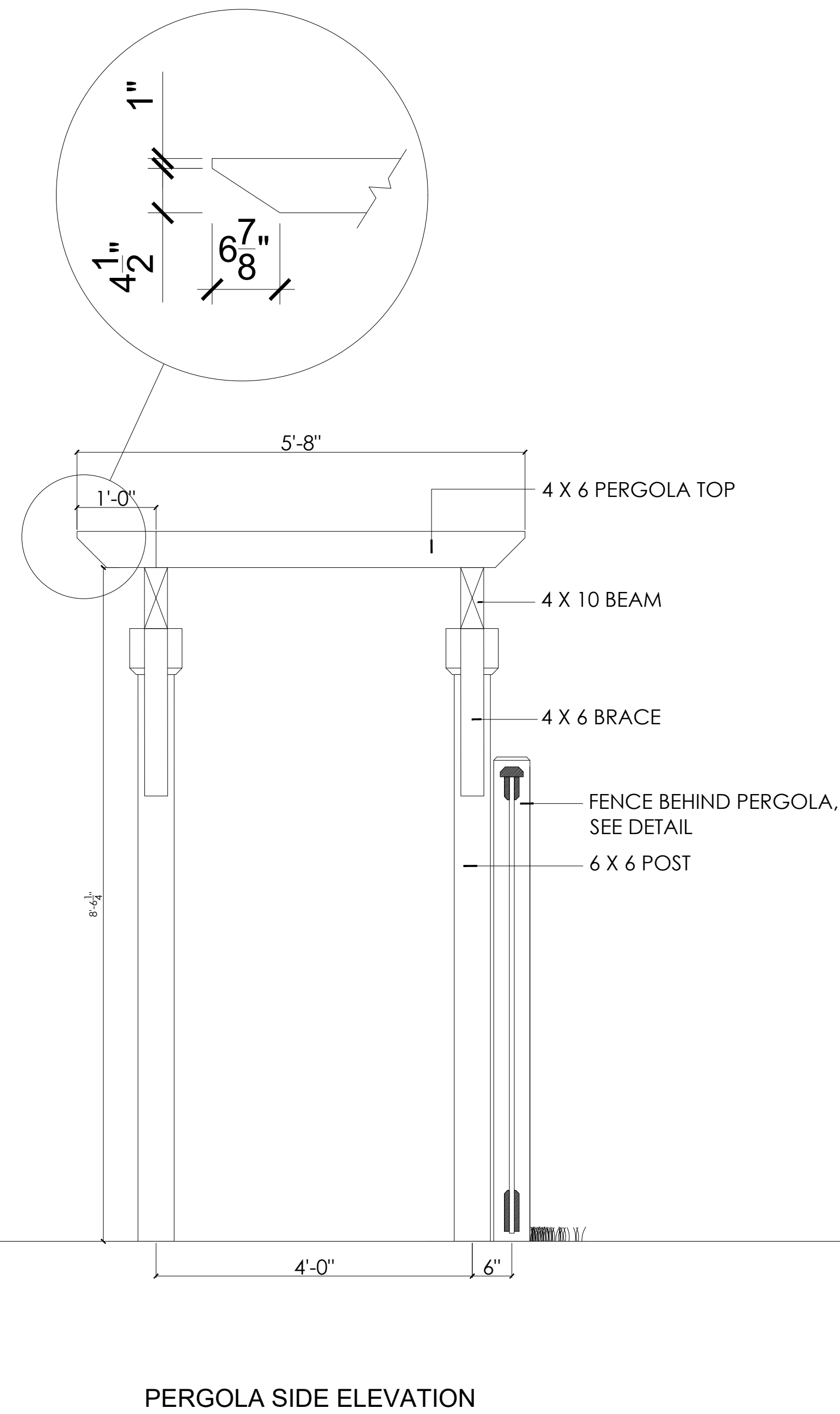
AR-6

SHEET:
DATE: September 14, 2022



PERGOLA DETAILS

scale: 3/4" = 1'- 0"



Fernandina Pavilion
116 NORTH 2ND ST

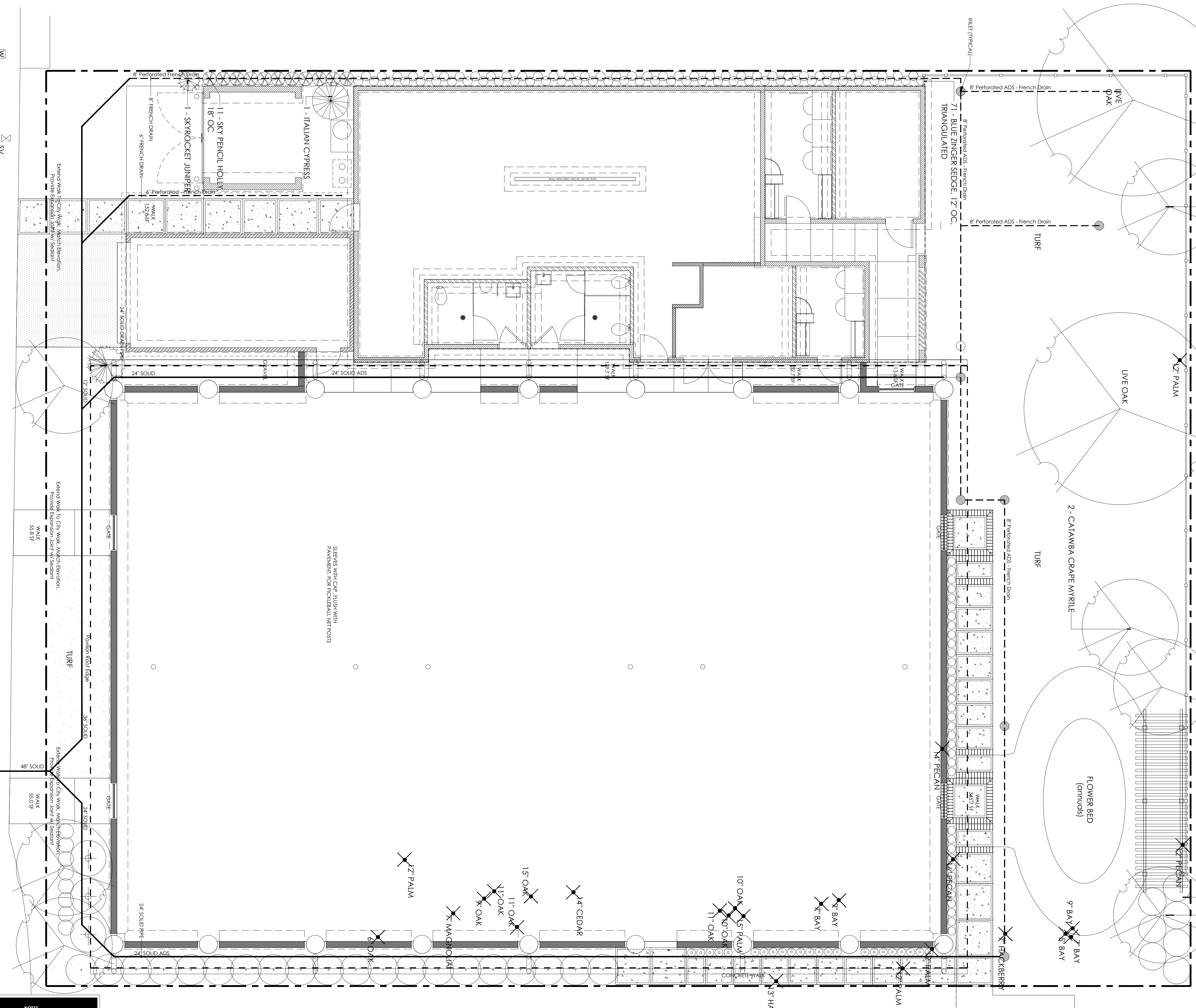
ARCHITECTURE DETAILS

REVISIONS			
no.	description	by	date

AR-7

SHEET:
DATE: September 14, 2022

TREE CALCULATION		
6"	OAK	TREES REMOVED
7"	MAGNOLIA	13" HACKBERRY
12"	PALM	7" BAY
9"		9" BAY
11"	OAK	12" PALM
11"	OAK	12" PALM
15"	OAK	14" PECAN
14"	CEDAR	16" PECAN
11"	OAK	7" HACKBERRY
10"	OAK	5" BAY
10"	OAK	7" BAY
15"	PALM	9" BAY
		12" PECAN
		12" PALM
0 TREES RETAINED	0%	0 - CAL "
25 TREES REMOVED	100%	266 - CAL "



Fernandina Pavilion
116 NORTH 2ND ST

LANDSCAPE PLAN

LA-1

SHEET:
DATE: September 14, 2022

QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
2	Live Oak	<i>Quercus virginiana</i>	4" x 4"	
4	Catawba Crane Myrtle	<i>Lagerstromia indica 'Catawba'</i>	20 gal, 2.5 to 3" cal	multi trunk
1	Italian Cypress	<i>Cupressus sempervirens</i>	15 gal, 6-7 ft	
1	Shoebird Juniper	<i>Juniperus scopulorum 'sky rocket'</i>	7 gal, 3-4 ft	
1	Shoebird Holly	<i>Ilex cornuta 'sky pencil'</i>	15 gal, 6-7 ft	Plant 18" or
7	Blue Zinger Seeger	<i>Juniperus 'blue zinger'</i>	1 gal	Plant 12", triangulated
1	Tudor	<i>Podocarpus secundatum 'captiva'</i>	5 gal	
2	Podocarpus	<i>Podocarpus sp.</i>	7 gal, 3-4 ft	Plant 36" or, triangulated

DEMOLITION / TREE REMOVAL

EDGE EXISTING ASPHALT ROAD



FERNANDINA PAVILLON CALCS

Designer
Date
09/12/2022
Scale
Not to Scale
Drawing No.
Summary

1 of 1

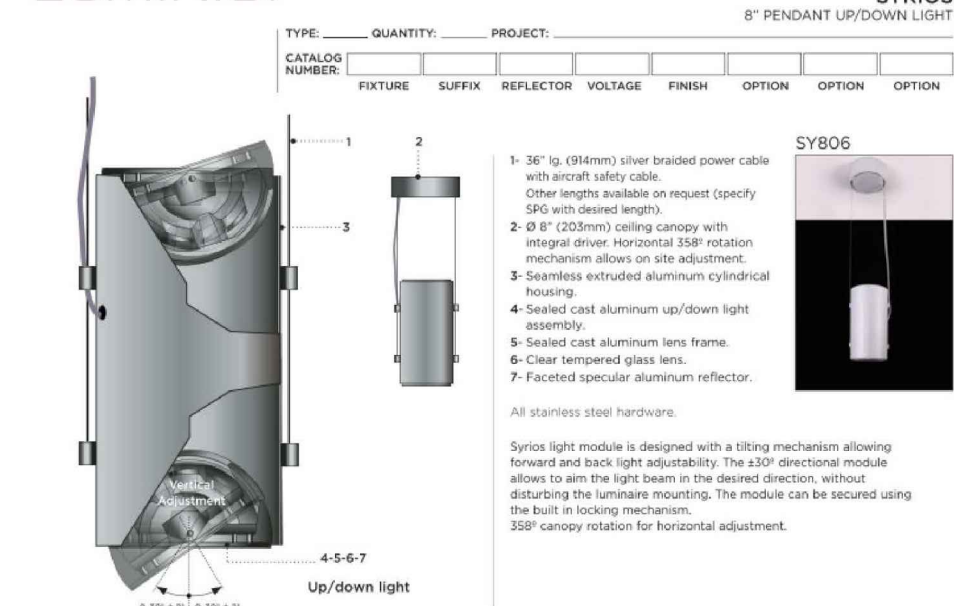
LI-1

SHEET:
DATE: September 14, 2022

Fernandina Pavilion
116 NORTH 2ND ST
LIGHTING PLAN

LUMINIS

SY806 SERIES
SY806
8" PENDANT UP/DOWN LIGHT



MATERIALS
Series is made of corrosion resistant 304 aluminum alloy with a copper (CU) coating of 0.0001 inches (0.0025 mm).
The main housing is made of stainless extruded aluminum, with an anodized finish. The LED light module is designed for optimum heat dissipation and lighting performance.
Series is standard with a unique proprietary design allowing the raised LED module to sit within the optional housing.
Series SY806 series is standard with 28° optics. See options section for alternative selections.

ELECTRICAL DRIVER
Standard driver is 0-10V dimming ready (dim to 10%) with 120-277V input/output compatibility (0-10V dim), operating temperature range of -40°C to 40°C to 55°C (104°F to 131°F).
Voltage protection, inrush current protection and surge protection are standard.
Standard 4000K/5000K/6000K/6500K/7000K/8000K/9000K/10000K/11000K/12000K/13000K/14000K/15000K/16000K/17000K/18000K/19000K/20000K/21000K/22000K/23000K/24000K/25000K/26000K/27000K/28000K/29000K/30000K/31000K/32000K/33000K/34000K/35000K/36000K/37000K/38000K/39000K/40000K/41000K/42000K/43000K/44000K/45000K/46000K/47000K/48000K/49000K/50000K/51000K/52000K/53000K/54000K/55000K/56000K/57000K/58000K/59000K/60000K/61000K/62000K/63000K/64000K/65000K/66000K/67000K/68000K/69000K/70000K/71000K/72000K/73000K/74000K/75000K/76000K/77000K/78000K/79000K/80000K/81000K/82000K/83000K/84000K/85000K/86000K/87000K/88000K/89000K/90000K/91000K/92000K/93000K/94000K/95000K/96000K/97000K/98000K/99000K/100000K/101000K/102000K/103000K/104000K/105000K/106000K/107000K/108000K/109000K/110000K/111000K/112000K/113000K/114000K/115000K/116000K/117000K/118000K/119000K/120000K/121000K/122000K/123000K/124000K/125000K/126000K/127000K/128000K/129000K/130000K/131000K/132000K/133000K/134000K/135000K/136000K/137000K/138000K/139000K/140000K/141000K/142000K/143000K/144000K/145000K/146000K/147000K/148000K/149000K/150000K/151000K/152000K/153000K/154000K/155000K/156000K/157000K/158000K/159000K/160000K/161000K/162000K/163000K/164000K/165000K/166000K/167000K/168000K/169000K/170000K/171000K/172000K/173000K/174000K/175000K/176000K/177000K/178000K/179000K/180000K/181000K/182000K/183000K/184000K/185000K/186000K/187000K/188000K/189000K/190000K/191000K/192000K/193000K/194000K/195000K/196000K/197000K/198000K/199000K/200000K/201000K/202000K/203000K/204000K/205000K/206000K/207000K/208000K/209000K/210000K/211000K/212000K/213000K/214000K/215000K/216000K/217000K/218000K/219000K/220000K/221000K/222000K/223000K/224000K/225000K/226000K/227000K/228000K/229000K/230000K/231000K/232000K/233000K/234000K/235000K/236000K/237000K/238000K/239000K/240000K/241000K/242000K/243000K/244000K/245000K/246000K/247000K/248000K/249000K/250000K/251000K/252000K/253000K/254000K/255000K/256000K/257000K/258000K/259000K/260000K/261000K/262000K/263000K/264000K/265000K/266000K/267000K/268000K/269000K/270000K/271000K/272000K/273000K/274000K/275000K/276000K/277000K/278000K/279000K/280000K/281000K/282000K/283000K/284000K/285000K/286000K/287000K/288000K/289000K/290000K/291000K/292000K/293000K/294000K/295000K/296000K/297000K/298000K/299000K/300000K/301000K/302000K/303000K/304000K/305000K/306000K/307000K/308000K/309000K/310000K/311000K/312000K/313000K/314000K/315000K/316000K/317000K/318000K/319000K/320000K/321000K/322000K/323000K/324000K/325000K/326000K/327000K/328000K/329000K/330000K/331000K/332000K/333000K/334000K/335000K/336000K/337000K/338000K/339000K/340000K/341000K/342000K/343000K/344000K/345000K/346000K/347000K/348000K/349000K/350000K/351000K/352000K/353000K/354000K/355000K/356000K/357000K/358000K/359000K/360000K/361000K/362000K/363000K/364000K/365000K/366000K/367000K/368000K/369000K/370000K/371000K/372000K/373000K/374000K/375000K/376000K/377000K/378000K/379000K/380000K/381000K/382000K/383000K/384000K/385000K/386000K/387000K/388000K/389000K/390000K/391000K/392000K/393000K/394000K/395000K/396000K/397000K/398000K/399000K/400000K/401000K/402000K/403000K/404000K/405000K/406000K/407000K/408000K/409000K/410000K/411000K/412000K/413000K/414000K/415000K/416000K/417000K/418000K/419000K/420000K/421000K/422000K/423000K/424000K/425000K/426000K/427000K/428000K/429000K/430000K/431000K/432000K/433000K/434000K/435000K/436000K/437000K/438000K/439000K/440000K/441000K/442000K/443000K/444000K/445000K/446000K/447000K/448000K/449000K/450000K/451000K/452000K/453000K/454000K/455000K/456000K/457000K/458000K/459000K/460000K/461000K/462000K/463000K/464000K/465000K/466000K/467000K/468000K/469000K/470000K/471000K/472000K/473000K/474000K/475000K/476000K/477000K/478000K/479000K/480000K/481000K/482000K/483000K/484000K/485000K/486000K/487000K/488000K/489000K/490000K/491000K/492000K/493000K/494000K/495000K/496000K/497000K/498000K/499000K/500000K/501000K/502000K/503000K/504000K/505000K/506000K/507000K/508000K/509000K/510000K/511000K/512000K/513000K/514000K/515000K/516000K/517000K/518000K/519000K/520000K/521000K/522000K/523000K/524000K/525000K/526000K/527000K/528000K/529000K/530000K/531000K/532000K/533000K/534000K/535000K/536000K/537000K/538000K/539000K/540000K/541000K/542000K/543000K/544000K/545000K/546000K/547000K/548000K/549000K/550000K/551000K/552000K/553000K/554000K/555000K/556000K/557000K/558000K/559000K/560000K/561000K/562000K/563000K/564000K/565000K/566000K/567000K/568000K/569000K/570000K/571000K/572000K/573000K/574000K/575000K/576000K/577000K/578000K/579000K/580000K/581000K/582000K/583000K/584000K/585000K/586000K/587000K/588000K/589000K/590000K/591000K/592000K/593000K/594000K/595000K/596000K/597000K/598000K/599000K/600000K/601000K/602000K/603000K/604000K/605000K/606000K/607000K/608000K/609000K/610000K/611000K/612000K/613000K/614000K/615000K/616000K/617000K/618000K/619000K/620000K/621000K/622000K/623000K/624000K/625000K/626000K/627000K/628000K/629000K/630000K/631000K/632000K/633000K/634000K/635000K/636000K/637000K/638000K/639000K/640000K/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ENGINEERING PLANS

FOR

FERNANDINA PAVILION

NASSAU COUNTY, FLORIDA

PROJECT TEAM

LAND OWNER
POYNTER FAMILY HOLDINGS, LLLP
3967 FIRST AVENUE
FERNANDINA BEACH, FL 32034
PHONE: 904.491.5700
CONTACT: TIMOTHY POYNTER

SURVEYOR:
MANZIE & DRAKE LAND SURVEYING
117 SOUTH NINTH STREET
FERNANDIA BEACH, FL 32034
PHONE: 904.491.5700
CONTACT: MICHAEL A. MANZIE, P.L.S.

ARCHITECT:
CHAD GRIMM STUDIOS
2539HYDE PARK ROAD
JACKSONVILLE, FL 32210
PHONE: 904.236.9757
CONTACT: CHAD GRIMM

DEVELOPER/APPLICANT
POYNTER FAMILY HOLDINGS, LLLP
3967 FIRST AVENUE
FERNANDINA BEACH, FL 32034
PHONE: 904.491.5700
CONTACT: TIMOTHY POYNTER

CIVIL ENGINEER:
GULFSTREAM DESIGN GROUP, LLC
2225 A1A S, SUITE A2
ST. AUGUSTINE, FL 32080
PHONE: 904.794.4231
CONTACT: MATT LAHTI, P.E.

PRIVATE UTILITY COMPANIES

ELECTRIC/NATURAL GAS/PROPANE
FLORIDA PUBLIC UTILITIES
780 AMELIA ISLAND PARKWAY
FERNANDINA BEACH, FLORIDA 32034
PHONE: 800-427-7712

TV CABLE
COMCAST
5934 RICHARD ROAD
JACKSONVILLE, FL 32216
PHONE: 904-380-6341
CONTACT: JAMES GRAHAM

TELEPHONE
AT&T
735 MILL CREEK ROAD
JACKSONVILLE, FL 32211
PHONE: 904-727-1572
CONTACT: SCOTT HIGGINS

PUBLIC UTILITY PROVIDERS

WATER AND SEWER
CITY OF FERNANDINA BEACH UTILITY
DEPARTMENT
1180 SOUTH 5TH ST
FERNANDINA BEACH, FL 32034
CONTACT: ANDRE DESILET
PHONE: 904-310-3431

REGULATORY AGENCY

FDEP - WATER & SEWER
8800 BAYMEADOWS WAY, SUITE 100
JACKSONVILLE, FL 32256
CONTACT: JENNIFER LYLES
PHONE: (904) 256-1700

**ST. JOHNS RIVER WATER
MANAGEMENT DISTRICT**
7775 BAYMEADOWS WAY W #102
JACKSONVILLE, FL 32256
CONTACT: EVERETT FRYE, P.E.
PHONE: (904) 448-7913

**CITY OF FERNANDINA
BEACH**
204 ASH STREET
FERNANDINA BEACH, FL 32034
CONTACT: KELLEY GIBSON, AICP
PHONE: (904) 310-3481

**NASSAU COUNTY ENGINEERING
SERVICES DEPARTMENT**
96161 NASSAU PLACE
YULEE, FL 32097
PHONE: (904) 530-6225

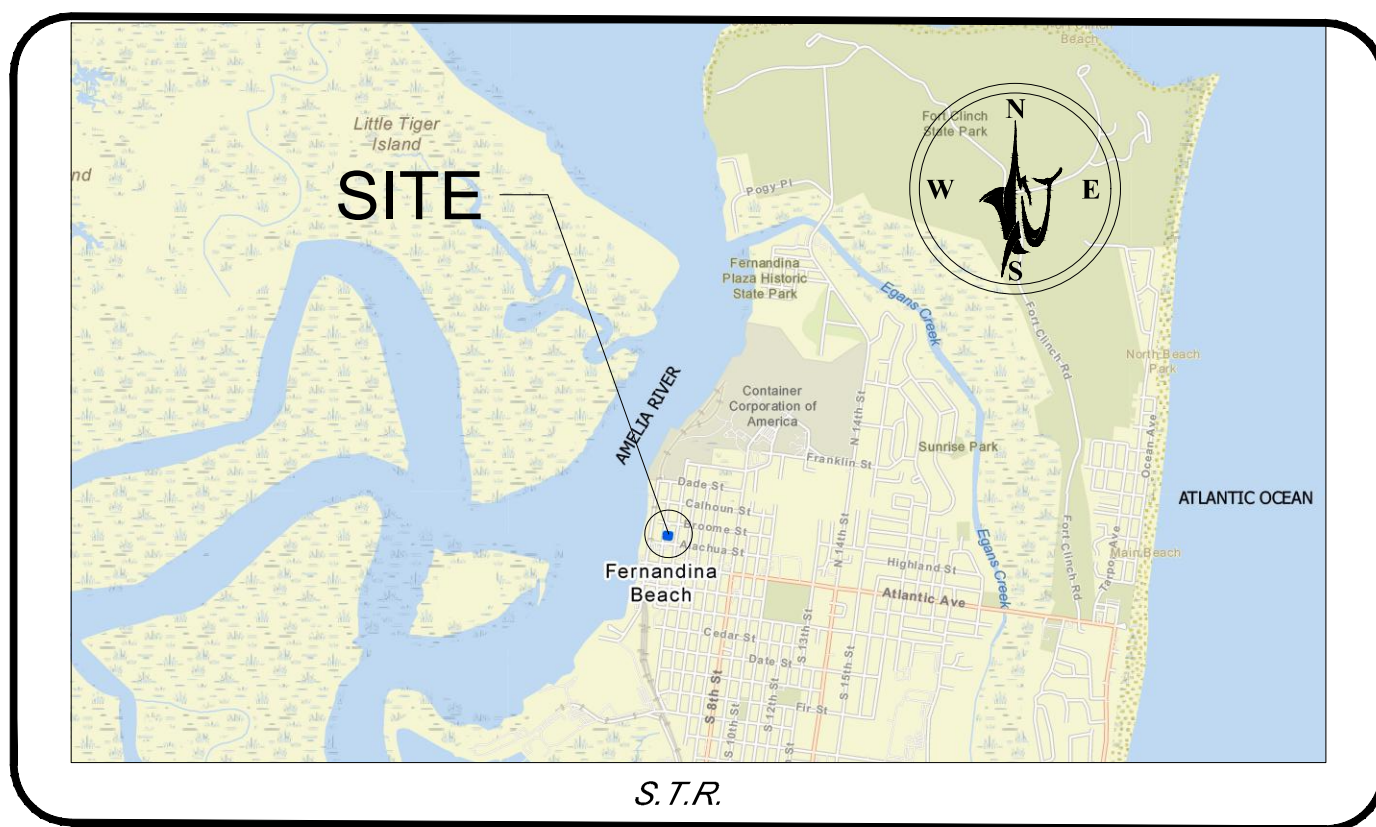
GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- GULFSTREAM DESIGN GROUP AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR MISSIONS RESULTING FROM SURVEY INACCURACIES.
- ANY AND ALL WORK CONDUCTED WITHIN THE NASSAU COUNTY RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.
- ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NORTH AMERICAN GEODETIC VERTICAL DATUM 1988 (NAVD 88).
- HORIZONTAL PROJECTION FOR THIS PLAN SET IS BASED ON NAD83 FLORIDA STATE PLANES, EAST ZONE, US FOOT.
- LEGAL DESCRIPTIONS - SEE SURVEY.

LOCATION OF SITE

NORTH 2ND STREET

PARCEL ID # 00-00-31-1800-0000-0040



LOCATION MAP

SCALE: N.T.S.

PREPARED FOR

POYNTER FAMILY HOLDINGS, LLLP
3967 FIRST AVENUE
FERNANDINA BEACH, FL 32034
PHONE: (904) 236-9757
CONTACT: CHAD GRIMM

PREPARED BY



© GDG 2021
2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
Phone: (904) 794-4231
www.gulfstreamdesign.com

30% PLANS

SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	STORMWATER POLLUTION PREVENTION PLAN
4	SURVEY PDF
5	DEMOLITION PLAN
6	SITE PLAN
7	PAVING, GRADING & DRAINAGE PLAN
8	UTILITY PLAN
9	CONSTRUCTION DETAILS

ENGINEERING PLANS BASED ON

PLAN TYPE	COMPANY NAME	REVISION	REVISION DATE
SURVEYOR	MANZIE & DRAKE LAND SURVEYING		8/19/21
ARCHITECT	CHAD GRIMM STUDIOS		9/14/22
LANDSCAPE ARCHITECT			
ENVIRONMENTAL			
GEOTECHNICAL ENGINEER			

FIRE SERVICES NOTE

CONTRACTOR SHALL PROVIDE AN UNOBSTRUCTED FIRE DEPARTMENT ACCESS ROAD, STABILIZED TO SUPPORT 80,000 LBS. AND PROVIDE TURNAROUND FOR A 50 FOOT FIRE APPARATUS. (NFPA 1, CHAPTER 18)

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN THE FLOOD ZONE "X" AND AE 9' PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12089C 0237G, DATED AUGUST 2,2017

This item has been signed and sealed by Matthew Lahti, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NO.	DATE	BY	REVISIONS DESCRIPTION
1			
2			
3			
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7			
8			
9			

ENGINEERING PLANS
FOR
FERNANDINA PAVILION
COVER SHEET
NASSAU COUNTY, FLORIDA



30% PLANS

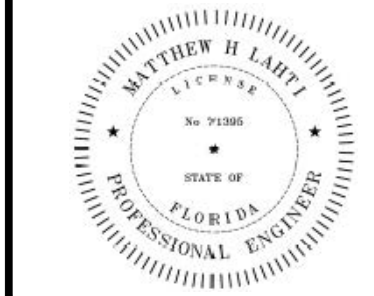


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NOT VALID WITHOUT SEAL



THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH EACH NOTE LISTED WITHIN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EACH SUBCONTRACTOR IS FAMILIAR AND PRESENTLY AWARE OF THESE NOTES AND CONDITIONS AS ESTABLISHED BY GULFSTREAM DESIGN GROUP LLC THROUGHOUT THE ENTIRE PLAN SET AS LISTED ON THE COVER SHEET. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY REVIEW THIS PLAN PACKAGE TO BE FULLY PREPARED TO PROVIDE ACCURATE BID PRICES AND SERVICES.

2. EXISTING SURVEY INFORMATION PROVIDED BY MANZIE & DRAKE LAND SURVEYING PROFESSIONAL SURVEYORS & MAPPERS DATED AUGUST 19, 2021. ALL INFORMATION WITHIN THIS PLAN SET HAS BEEN BASED OFF OF THE ABOVE REFERENCED SURVEY. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR LACK THEREOF.

3. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAV8 88) AND SHOWN IN FEET. BENCHMARK SET IN WOOD POWER POLE, ELEVATION BEING 8.67'.

4. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR IS TO VERIFY IN WRITING WITH THE ENGINEER OF RECORD THAT THE DOCUMENTS BEING UTILIZED IN THE FIELD ARE INDEED THE MOST CURRENT AND AVAILABLE VERSIONS. ADDITIONALLY, THE GEOTECHNICAL REPORT CORRESPONDING TO THIS PLAN SET IS A REQUIRED COMPONENT OF THE PROJECT MEANS. MEANWHILE, THE ENGINEERING DESIGN PLAN SET CONTAINS REVISIONS DESCRIBED IN THE REPORT SHALL TAKE PRECEDENCE UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL PROVIDE THE ENGINEER OF RECORD IN WRITING WITH A TENTATIVE SCHEDULE OF CONSTRUCTION ACTIVITIES.

5. PRIOR TO THE AWARD OF THE CONTRACT, THE CONTRACTOR SHALL BECOME ACQUAINTED WITH THEMSELVES WITH ALL SITE CONDITIONS BOTH ABOVE AND BELOW GROUND. THE CONTRACTOR SHOULD ADDITIONALLY ENSURE THEY ARE PROPERLY FAMILIAR WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS WITHIN THIS PLAN AND IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND CODE SECTION(S) THAT APPLY TO THIS PROJECT.

6. THE ENGINEER OF RECORD AND THE OWNER ASSUME NO RESPONSIBILITY IN THE SUPERVISION OR INSPECTION OF THE WORK INVOLVED IN THE EXECUTION OF THIS CONTRACT BEYOND OBSERVATION OF FAILURE. TO THE OWNERS SATISFACTION, THAT THE DRAWINGS AND SPECIFICATIONS ARE BEING PROPERLY INTERPRETED. THIS OBSERVATION AND CHECKING WILL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR THE PERFORMANCE OF HIS WORK IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS.

7. THE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING FEATURES, INCLUDING BUT NOT LIMITED TO UNDERGROUND PIPES, UTILITIES, CONDUITS, SPRINKLERS, CONTROL CABLES AND EXISTING FOUNDATIONS. IF THE CONTRACTOR DISCOVERS EXISTING UTILITY MONUMENTS, ETC. SHOULD ANY OVERHEAD OR UNDERGROUND OBSTRUCTION BE ENCOUNTERED WHICH INTERFERES WITH CONSTRUCTION, THE ENGINEER OF RECORD SHALL BE CONSULTED AND WILL HAVE THE OPPORTUNITY TO ADJUST THE LOCATION OF CONFLICT ITEMS TO CLEAR SUCH OBSTRUCTIONS.

8. THE CONTRACTOR SHALL CONTACT THE APPLICABLE FRANCHISE UTILITY COMPANY (IE AT&T, TECO GAS, FP&L, ETC. AS APPLICABLE) AND COORDINATE ANY CONSTRUCTION IN ADVANCE OF COMMENCING CONSTRUCTION.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK AT NO COST TO THE OWNER. ADDITIONALLY, THE CONTRACTOR SHOULD ENSURE THAT EXISTING STRUCTURES TO REMAIN ARE PROTECTED FROM THE DAMAGE CAUSING THE RELOCATION (IF REQUIRED) OF EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS AND OR VIDEO FOOTAGE OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO ENSURE PROPER DOCUMENTATION OF PRECONSTRUCTION CONDITIONS OF THE SITE AND TO IDENTIFY ANY POTENTIAL CONFLICTS DURING CONSTRUCTION. THIS INFORMATION SHOULD BE PROVIDED TO THE ENGINEER OF RECORD AND OWNER.

10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FERNANDINA BEACH LAND DEVELOPMENT CODE OR THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), WHICHEVER IS MORE RESTRICTIVE.

11. ALL WORK WITHIN THE FERNANDINA BEACH RIGHT-OF-WAY MUST CONFORM TO MOST CURRENT LAND DEVELOPMENT CODE & STANDARDS AND SPECIFICATIONS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES, SHOWN OR NOT SHOWN, ON THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES TO REMAIN AND COORDINATING THE RELOCATION (IF REQUIRED) OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES. IF UTILITIES OR OTHER IMPROVEMENTS NOT SHOWN ON THE DRAWINGS ARE FOUND DURING EXCAVATIONS, CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF RECORD CONCERNING THE FINDINGS. THE REPRESENTATIVE FOR INDICATIONS AS TO FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON DRAWINGS.

13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER OF RECORD, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS WORK MUST BE APPROVED BY THE ENGINEER OF RECORD IN WRITING AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY TO REMAIN AND COORDINATE WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, AND NOTIFY THE ENGINEER OF RECORD IN WRITING REGARDING ANY POTENTIAL CONFLICTS. THIS IS RECOMMENDED TO BE COMPLETED IN THE FORM OF FIELD STAKEOUT WHICH MAY INCLUDE: LOCATIONS OF BUILDINGS/BUILDING ELEMENTS (TO BE MAINTAINED); ENGINEER OF RECORD AND APPROVED ARCHITECTURAL PLANS), EDGES OF PAVEMENT, UTILITY STUD OUTLOCATIONS, ETC.

14. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATION FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS, PIPE, EXCESS MATERIAL AND EQUIPMENT OFFSITE.

15. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY, INCLUDING BENCHMARKS, TO OWNER AS REQUIRED BY THE FERNANDINA BEACH LAND DEVELOPMENT DISTRICT (SRVMD), FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND ENGINEER OF RECORD. THE AS-BUILT SURVEY SHALL BE CERTIFIED BY A PROFESSIONAL LAND SURVEYOR. ENGINEER OF RECORD IS TO PROVIDE ENGINEER'S CERTIFICATION TO OWNER WITH AS-BUILT PLANS.

16. IN THE EVENT THAT UNEXPECTED ARCHEOLOGICAL RESOURCES ARE ENCOUNTERED DURING GROUND DISTURBING ACTIVITIES, ALL WORK SHALL HALT AND THE ENGINEER OF RECORD'S OFFICE SHALL BE CONTACTED IMMEDIATELY IN WRITING.

17. ALL MATERIALS AND LABOR ASSOCIATED ITEMS ARE TO BE WARRANTED BY THE CONTRACTOR FOR A TIME PERIOD OF ONE (1) CALENDAR YEAR UPON THE ACCEPTANCE OF THE PROJECT BY THE OWNER AND ALL APPLICABLE GOVERNMENT AGENCIES.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCES, AND LICENSES PERTAINING TO THE WORK ILLUSTRATED IN THIS PLAN SET.

19. ANY POTENTIAL DISCREPANCIES WITHIN THIS PLAN SET THAT THE CONTRACTOR FINDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY IN WRITING.

20. ALL DISTURBED AREAS WITHIN THE FERNANDINA BEACH RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREAS DISTURBED (BERMUDA IN RURAL, CENTPEIDE IN UTILITY STRIPS).

21. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY IN REGARDS TO CONSTRUCTION METHODS AND PROCEDURES EXERCISED BY THE CONTRACTOR. IT IS ASSUMED BY THE ENGINEER OF RECORD THAT THE CONTRACTOR SHALL OPERATE WITHIN THE PARAMETERS OF ALL APPLICABLE SAFETY STANDARDS REGARDING TRENCHING AND EXCAVATION OPERATIONS) WITH THE BEST INTEREST OF ALL EMPLOYEES TAKEN INTO CONSIDERATION. THE CONTRACTOR MUST CARRY THE REQUIRED STATUTORY LIABILITY AND WORKERS COMPENSATION INSURANCE. THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR UPHOLDING ANY OF THESE ITEMS. THE OWNER IS THE ONLY ENTITY WHICH MAY CHOOSE TO TAKE ACTION REGARDING MINIMUM REQUIREMENTS. FERNANDINA BEACH, FDEP, AND SRVMD RESERVE THE RIGHT TO IMPOSE THE CONTRACTOR OF HIS DUTIES DUE TO VIOLATIONS OF THESE POLICIES.

22. THE USE OF THE WORD "CERTIFY" WITHIN THIS ENGINEERING PLAN SET, IMPLIES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE SUBJECT TOPIC. THIS HOWEVER, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY (EXPRESSED OR IMPLIED).

23. BURNING OF ANY MATERIAL OR DEBRIS ONSITE IS PROHIBITED

24. ALL ADJACENT PROPERTY OWNERS AND BUSINESSES ARE TO BE PROVIDED ACCESS TO THEIR SITES AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

25. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTORS ACTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTY. IF THE CONTRACTOR AND/OR OWNER FAILS TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD HARMLESS FOR ALL INJURIES AND DAMAGES THAT THE ENGINEER SUFFERS AND COSTS THAT STEAM ENGINE INCURS.

CLEARING/DEMO AND EROSION CONTROL NOTES:

1. AREAS ADJACENT TO THE PROJECT AREA ARE TO BE PROTECTED AND LEFT UNDISTURBED UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES, EROSION CONTROL STRUCTURES, AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, EROSION CONTROL FABRIC, SILT FENCES AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.

3. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED: (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSTRUCTION EASEMENTS AND WETLANDS, (3) ALONG NATURAL BARRIERS (GULLIES, DITCHES, ETC.) AND (4) AT THE PERIMETER OF EXISTING STORMWATER TREATMENT FACILITIES AND (5) AT ANY ADDITIONAL AREAS THAT FERNANDINA BEACH DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE ABOVE-MENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, FERNANDINA BEACH, FDEP, AND SRVMD RESERVE THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED THROUGHOUT PROJECT CONSTRUCTION.

4. PRIOR TO, AND DURING, LAND CLEARING ACTIVITIES ALL PRESERVED TREES (AS PER THE FERNANDINA BEACH APPROVED PLANS) WILL BE CLEARLY MARKED. THIS INCLUDES "TREE PROTECTION BARRICADES" WHICH SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. "TREE PROTECTION BARRICADES" SHALL BE INSTALLED AT THE DRIP LINE OF THE SUBJECT TREE. ANY PROPOSED ACTIVITIES WITHIN THIS DRIP LINE MUST BE APPROVED BY THE APPLICABLE GOVERNMENT AGENCY.

1. ALL DIMENSIONS ARE TO THE EDGES OF PAVEMENT UNLESS OTHERWISE NOTED.
2. SIDEWALKS ADJACENT TO PAVEMENT SURFACES ARE TO BE THICKENED EDGE SIDEWALKS.
3. ALL TYPE "F" CURBING SHALL HAVE A THREE (3) FOOT TRANSITION AT ALL TERMINUS LOCATIONS WHEN TYING BACK TO GRADE.
4. ALL TYPE "D" CURBING SHALL HAVE A ONE (1) FOOT TRANSITION AT ALL TERMINUS LOCATIONS WHEN TYING BACK TO GRADE.
5. THE CONTRACTOR SHALL LAYOUT EACH AREA OF WORK TO CHECK DIMENSIONING PRIOR TO CONSTRUCTION AND COORDINATE WITH OTHER DISCIPLINES. SHOULD ANY DISCREPANCIES EXIST, THE CONTRACTOR IS TO NOTIFY, IN WRITING, THE OWNER'S REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY.
6. ALL AMERICANS WITH DISABILITIES ACT (ADA) RAMPS TO MEET CURRENT ADA CRITERIA AND INCLUDE A DETECTABLE WARNING. COLOR SELECTION FOR DETECTABLE WARNING TO BE COORDINATED WITH OWNER PRIOR TO ORDER AND PLACEMENT.
7. THE CONTRACTOR SHALL COORDINATE ANY OFF-SITE IMPROVEMENTS WITH FERNANDINA BEACH 7 DAYS PRIOR TO CONSTRUCTION.
8. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
11. ADA RAMPS SHALL BE INSTALLED AT ALL SIDEWALK-CURB INTERSECTIONS. ALL ADA RAMPS SHALL CONFORM TO DETAILS, NOTES AND SPECIFICATIONS FROM THE FOOT DESIGN MANUAL, LATEST EDITION, INDEX NO. 304 SHEETS 1 THROUGH 8, AS APPLICABLE.

1. CONTRACTORS MUST EXERCISE CARE AND PRECISION WHEN CONSTRUCTING ADA ACCESSIBLE COMPONENTS OF THE PRESCRIBED WORK AS PERTAINING TO THIS PLAN SET. THESE COMPONENTS MUST COMPLY WITH THE CURRENT ADA STANDARDS AT THE TIME OF PLAN APPROVAL. THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO:
 - 1.1. PARKING SPACES AND AISLES -
 - 1.1.1. SLOPE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION
 - 1.2. CURB RAMPS -
 - 1.2.1. SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET
 - 1.3. LANDINGS -
 - 1.3.1. MUST BE AT EACH END OF RAMPS, PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (2%) IN ANY DIRECTION
 - 1.4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE -
 - 1.4.1. MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF A VEHICLE. THIS SLOPE MUST BE NO MORE THAN 5% IN EITHER THE DIRECTION OF TRAVEL (LONGITUDINAL), AND MUST NOT EXCEED 2% IN CROSS SLOPE, WHERE PATH OF TRAVEL WILL BE GREATER THAN 5'. ADA RAMP MUST ADHERE TO A MAXIMUM SLOPE OF 8.3%, FOR A MAXIMUM RISE OF 2.5 FEET. MUST BE PROVIDED. THE RAMP MUST ALSO INCLUDE ADA HANDRAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSSED SLOPE NO MORE THAN 2% IN ANY DIRECTION
 - 1.5. DOORWAYS -
 - 1.5.1. MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 2% TO ENSURE POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN FIVE (5) FEET LONG, UNLESS OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING DESIGN.
2. WHEN THE PROPOSED CONSTRUCTION INVOLVES REMEDIATION OF CONSTRUCTION ACTIVITIES REGARDING ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY ELEVATIONS SHOWN ON PLAN. REFERRING TO THE MOST RECENT VERSION OF THE ADA CODE TO CONFIRM DESIGN REQUIREMENTS, THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS AND/OR DISCREPANCIES IN THE FIELD THAT DIFFER FROM WHAT IS ILLUSTRATED ON THE PLAN SET, IN WRITING, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION IMPROVEMENTS MUST MEET ALL REQUIREMENTS SET FORTH BY THE MOST RECENT VERSION OF ADA REQUIREMENTS.
3. CONTRACTOR MUST VERIFY SLOPES PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES, IF THERE ARE ANY NON-CONFORMANCES THAT EXIST, THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY.
4. IT IS ENCOURAGED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODES AND FIELD INSPECTOR AFTER STAGING AND BEFORE COMMENCEMENT OF CONSTRUCTION.

1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO END OF MITERED END SECTIONS.
2. ALL HP, HDPE OR RCP PIPE JOINTS TO BE WRAPPED WITH 4" WIDE "TYPE R" STRIPS OR EQUAL.
PIPE ABBREVIATIONS ARE DEFINED AS FOLLOWS:
PVC = POLYVINYL CHLORIDE PIPE
RCP = REINFORCED CONCRETE PIPE
HDPE = HIGH DENSITY POLYETHYLENE
HP = HIGH PERFORMANCE
3. ALL PIPE SHALL MEET MINIMUM SLOPE REQUIREMENTS FOR THEIR SPECIFIC TYPE. AT A MINIMUM THE FOLLOWING SHOULD BE MET THROUGHOUT THE SITE.
 - a. RCP SHALL BE A MINIMUM OF 0.30%
 - b. PVC SHALL BE A MINIMUM OF 0.80%
 - c. HDPE SHALL BE A MINIMUM OF 0.80%

1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH FOOT ROADWAY AND TRAFFIC DESIGN STANDARD, LATEST EDITION.
2. ALL ROUND MOUNTED STOP, YIELD, WRONG WAY, DO NOT ENTER SIGN FACES SHALL BE FABRICATED ENTIRELY WITH TYPE "B" REFLECTIVE SHEETING.
3. ALL PAVEMENT MARKINGS ARE TO BE PAINTED WITH THERMOPLASTIC PAINT IN ACCORDANCE WITH FDOT STANDARDS UNLESS OTHERWISE NOTED ON THE PLANS.
4. FOR SIGN DETAILS REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
5. ALL PAVEMENT MARGINS TO BE IN ACCORDANCE WITH FDOT INDEX NO. 711-001. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING TEMPORARY PAVEMENT MARKINGS UNTIL THE FINAL SURFACE COURSE HAS CURED (MINIMUM THIRTY (30) DAYS AFTER FINAL SURFACE COURSE PAVEMENT).
6. ALL TRAFFIC CONTROL SIGNS MUST BE IN ACCORDANCE WITH MUTCD STANDARDS AND SPECIFICATIONS (LATEST EDITION VALID AT TIME OF PLAN APPROVAL) AND SHALL BE FABRICATED USING 3M BRAND "SCOTLITE" SHEETING (HIGH INTENSITY GRADE) ON MINIMUM .080 GA ALUMINUM BLANKS. ALL 36" X 48" SIGNS SHALL BE .100 GA MINIMUM AND SHALL BE INSTALLED USING 1/2" X 1/2" ROUND ALUMINUM POSTS. ALL STOP SIGNS SHALL BE 36" OCTAGONAL, INSTALLED ON 12, 3 LIFT 1/2" CHANNEL POSTS ON 3"x12" ROUND ALUMINUM POSTS. 1/2" CHANNEL POSTS MAY BE USED FOR ALL SIGNS SMALLER THAN 36" X 48". ALL WARNING SIGNS SHALL BE 30" X 30". ALL SPEED LIMIT SIGNS SHALL BE 24" X 30".
7. SIGN PLACEMENT SHOWN IN PLANS IS APPROXIMATE. FINAL LOCATION SHALL BE AS DIRECTED BY ENGINEER OF RECORD, INSPECTOR(S) AND OWNER.
8. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD. IF THIS PROCESS DAMAGES/SCARS PAVEMENT, THEN THE PAVEMENT SHALL BE MILLED AND RESURFACED PER LATEST EDITION FDOT STANDARDS AND SPECIFICATIONS.
9. ALL DIRECTIONAL ARROWS SHALL BE PLACED AS ONE CONTINUOUS APPLICATION.
10. PROPOSED PAVEMENT MARKINGS SHALL ALIGN WITH EXISTING PAVEMENT MARKINGS AT PAVEMENT MARKING LIMITS OF CONSTRUCTION.
11. ALL EXISTING CURB AND GUTTER AND SIDEWALK SHOWN TO BE REMOVED, WILL BE REMOVED AND REPLACED FROM JOINT TO JOINT.
12. ALL BROKEN/CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.

1. PROJECT LIES WITHIN FERNANDINA BEACH UTILITY DEPARTMENT SERVICE AREA.
2. THE PROJECT LIES WITHIN TECO GAS SERVICE AREA.
3. WORK DIRECTLY IMPACTING TECO GAS MAINS SHALL BE COORDINATED AS REQUIRED AND CONFORM TO TECO GAS STANDARD SPECIFICATIONS AND DETAILS (LATEST EDITION).
4. ALL WATER, SEWER AND REUSE WORK TO CONFORM TO THE FERNANDINA BEACH WATER AND SEWER STANDARDS, SPECIFICATIONS AND DETAILS (LATEST EDITION). PLEASE NOTE THAT WORK DIRECTLY IMPACTING FERNANDINA BEACH UTILITIES SHALL BE COORDINATED AS REQUIRED AND CONFORM TO THE FERNANDINA BEACH DESIGN SPECIFICATIONS AND DETAILS (LATEST EDITION).
5. COORDINATE UTILITY SIZE AND SERVICE LOCATION WITH ARCHITECT AND MECHANICAL, ELECTRICAL & PLUMBING (MEP) PLANS.
6. ALL CONNECTIONS TO SERVICE LINES TO BE ON SITE SIDE OF BACKFLOW OR CLEANOUT DEPENDING ON LINE TYPE.
7. CLEAN-OUTS SHALL BE INSTALLED SO THAT THEY ARE ACCESSIBLE FOR MAINTENANCE.
8. CLEAN-OUTS LOCATED IN WALKWAY SHALL BE INSTALLED WITH ADA COMPLIANT FLUSH MOUNT COVER. CLEAN-OUTS IN PAVED AREAS SHALL BE CONSTRUCTED WITH TRAFFIC RATED BOX AND COVER.
9. ALL ABANDONED UTILITIES FOUND WITHIN THE FERNANDINA BEACH RIGHT-OF-WAY AND NOT SHOWN ON THESE PLAN SHEETS ARE TO BE REMOVED AND PROPERLY DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR PER FERNANDINA BEACH AND FDP STANDARDS.
10. ALL PRIMARY AND SECONDARY ELECTRICAL LOCATIONS ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION AND COST WITH LAND OWNER AND ELECTRIC COMPANY. ADDITIONALLY, THE CONTRACTOR SHOULD VERIFY THE LOCATION AND COST OF ANY IRRIGATION CONDUITS.
11. THE CONTRACTOR SHALL PROVIDE TRANSFER PAD TO ALLOW FOR INSTALLATION FROM POWER COMPANY.
12. REFERENCE ARCHITECTURAL AND MEP PLANS FOR ALL UTILITY SERVICE CONNECTION POINTS.

1. THE CONTRACTOR SHALL UTILIZE THE SERVICES OF A THIRD PARTY TESTING LABORATORY TO CONDUCT ALL REQUIRED TESTS ON SUBGRADE, BASE, AND SURFACE COURSE MATERIALS. TEST RESULTS MAY BE SUBMITTED PRIOR TO ANY REQUEST FOR PAYMENT RELATING TO THE SITE CONSTRUCTION SCOPE AGREED UPON BY ALL APPLICABLE PARTIES.
2. SCHEDULE OF ROAD CONSTRUCTION TESTING SHALL BE AS FOLLOWS:
 - 2.1. SUBGRADE
 - 2.1.1. BEARING VALUE TESTS SHALL BE TAKEN AT INTERVALS OF NO MORE THAN 200 LINEAR FEET.

- | SCHEDULE OF TESTING: | | | | |
|---|--|---|---------------------------------------|---|
| TEST ITEM: | TEST(S) TO BE PERFORMED: | TESTING METHOD(S): | REQUIREMENT: | TESTING INTERVAL: |
| PAVEMENT | MAXIMUM DENSITY/OPTIMUM MOISTURE FIELD DENSITY | <ul style="list-style-type: none"> • AASHTO T180 • ASTM D1557 • AASHTO T191, T204, T238 • ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | EVERY 2,000 SF HORIZONTALLY
(ALTERNATING LIFTS 6 INCHES) |
| FLUTY TRENCH BACKFILL
LOCATED BENEATH DRIVE
SLEYS/BUILDINGS | MAXIMUM DENSITY/OPTIMUM MOISTURE FIELD DENSITY | <ul style="list-style-type: none"> • AASHTO T180 • ASTM D1557 • AASHTO T191, T204, T238 • ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | EVERY 150 LF OF PIPE FROM CONNECTOR. |
| BACKFILL OF STRUCTURES | MAXIMUM DENSITY/OPTIMUM MOISTURE FIELD DENSITY | <ul style="list-style-type: none"> • AASHTO T180 • ASTM D1557 • AASHTO T191, T204, T238 • ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | PER SOIL TYPE: EVERY 6" VERTICALLY FROM 6" BELOW THE STRUCTURE. |
| ROADSIDE | BEARING VALUES | LBK - FOOT | SEE TYPICAL PAVEMENT SECTION | <ul style="list-style-type: none"> • ONE PER SOURCE • ONE PER 500 HORIZONTAL LF |
| | MAXIMUM DENSITY/OPTIMUM MOISTURE FIELD DENSITY AND THICKNESS | <ul style="list-style-type: none"> • AASHTO T180 • ASTM D1557 • AASHTO T191, T238 • ASTM D1556, D2922 | SEE TYPICAL PAVEMENT SECTION | <ul style="list-style-type: none"> • ONE PER 2,000 SF HORIZONTALLY • ONE PER SOURCE |
| BASE | BEARING VALUES | LBK - FOOT | SEE TYPICAL PAVEMENT SECTION | <ul style="list-style-type: none"> • ONE PER SOURCE • ONE PER 500 HORIZONTAL LF |
| | MAXIMUM DENSITY/OPTIMUM MOISTURE FIELD DENSITY AND THICKNESS | <ul style="list-style-type: none"> • AASHTO T180 • ASTM D1557 • AASHTO T191, T238 • ASTM D1556, D2922 | SEE TYPICAL PAVEMENT SECTION | <ul style="list-style-type: none"> • ONE PER 2,000 SF HORIZONTALLY • ONE PER SOURCE |
| | GRADATION | <ul style="list-style-type: none"> • AASHTO T27, T96 | SEE TYPICAL PAVEMENT SECTION | <ul style="list-style-type: none"> • ONE PER SOURCE • ONE PER 2,000 SF HORIZONTALLY |
| | ATTERBERG LIMIT | <ul style="list-style-type: none"> • AASHTO T180 • ASTM C136, D243, D424 • AASHTO T164 • ASTM D1272 | SEE TYPICAL PAVEMENT SECTION | • ONE PER SOURCE |
| PAVEMENT CONCRETE | MATERIALS QUALITY BITUMEN CONTENT, GRADATION FIELD DENSITY. | <ul style="list-style-type: none"> • AASHTO D1155 | PER GEOTECHNICAL SPECIFICATIONS | • ONE PER DAY, PER INSTALLATION |
| | FIELD DENSITY | <ul style="list-style-type: none"> • ASTM D2920.81 | PER SPECIFICATIONS 98% OF LAB DENSITY | <ul style="list-style-type: none"> • ONE PER DAY • ONE EVERY 2,000 LF HORIZONTALLY |
| | LOS ANGELES ABRASION THICKNESS | <ul style="list-style-type: none"> • AASHTO T98-77 • ASTM C133-81 | PER SPECIFICATIONS | <ul style="list-style-type: none"> • ONE PER SOURCE • ONE PER 2,000 LF HORIZONTALLY |
| CEMENTED TESTING METHODS: | | | | |
| | AASHTO T97-GRADATION (NEW TESTING) | <ul style="list-style-type: none"> • ASTM D1155-77 FIELDDENSITY (MODIFIED PROCTOR) • ASTM D2950-ASPHALT DENSITY (NUCLEAR) • ASTM D2172-ASPHALT BINDER/HOT MIX ASPHALT • ASTM C133- GRADATION (NEW TEST SPECIFICATIONS) • ASTM D2937- FIELD DENSITY (DRIVE CYLINDER) • ASTM D2922- FIELD DENSITY (NUCLEAR) | FOOT-LBK-LIME ROCK BEARING RATION | |
| | AASHTO T180-FIELD DENSITY (STANDARD PROCTOR) | | | |
| | AASHTO T164-ASPHALT BINDER (HOT MIX ASPHALT) | | | |
| | AASHTO T96-77 DEGRADATION (LOS ANGELES MACHINE) | | | |
| | AASHTO T191- FIELD DENSITY (5-AND CONE) | | | |
| OTHER | | | | |
| CONTRACTOR WILL ADHERE TO THE SPECIFIC RECOMMENDATION OF THE GEOTECHNICAL ENGINEER OF RECORD. | | | | |

FIRE PROTECTION FOR THE PURPOSE OF THESE PLANS IS ANY UNDERGROUND WATER LINE NOT OWNED AND MAINTAINED BY A PUBLIC UTILITY AS WELL AS ANY PRIVATE FIRE SERVICE MAIN AND PIPE AND ITS APPURTENANCES ON PRIVATE PROPERTY. (1) BETWEEN A SOURCE OF WATER AND THE BASE OF THE SYSTEM RISER FOR FLOOD-BASED FIRE PROTECTION, (2) BETWEEN A SOURCE OF WATER AND INLETS TO FOAM-MAKING SYSTEMS, (3) BETWEEN A SOURCE OF WATER AND THE BASE ELBOW OF PRIVATE HYDRANTS OR MONITOR NOZZLES AND (4) USED AS FIRE PUMP SUCTION AND DISCHARGE PIPING, (5) BEGINNING AT THE INLET SIDE OF THE CHECK VALVE ON A GRAVITY OR PRESSURE TANK.

2. THIS SHALL ALSO APPLY TO COMBINED SERVICE MAINS USED TO CARRY WATER FOR FIRE SERVICE AND OTHER USES. IE: DOMESTIC.

3. STANDARDS TO BE REFERENCED ARE TO BE THE MOST CURRENT AS ADOPTED BY THE FLORIDA FIRE PREVENTION CODE:

NFPA 24, INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES

NFPA 20, STANDARD FOR INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION

NFPA 22, STANDARD FOR WATER TANKS FOR PRIVATE FIRE PROTECTION

NFPA 16, STANDARD ON DELUGE FOAM-WATER SPRINKLER & FOAM-WATER SPRAY SYSTEMS

NFPA 1963 STANDARD FOR FIRE HOSE CONNECTIONS

4. ITEMS ON THE CONSTRUCTION PLANS SHALL INCLUDE BUT NOT LIMITED TO SCALE DRAWINGS AND DETAILS AND TO INCLUDE THE FOLLOWING ITEMS WHEN THEY ARE APPLICABLE TO THE SYSTEM BEING INSTALLED:

1. NAME OF OWNER AND OCCUPANT.
2. LOCATION, INCLUDING STREET ADDRESS.
3. POINT OF COMPASS
4. A GRAPHIC REPRESENTATION OF THE SCALE USED ON ALL PLANS.
5. NAME AND ADDRESS OF CONTRACTOR.
6. SIZE AND LOCATION OF ALL WATER SUPPLIES.
7. SIZE AND LOCATION OF ALL PIPING, WHERE POSSIBLE, THE CLASS AND TYPE AND DEPTH OF EXISTING PIPE, THE CLASS AND TYPE OF NEW PIPE TO BE INSTALLED, AND THE DEPTH TO WHICH IT IS TO BE BURIED.
8. SIZE, TYPE AND LOCATION OF VALVES, INDICATE IF LOCATED IN PIT OR IF OPERATION IS BY POST INDICATOR OR KEY OR REMOTE CONTROL THROUGH REMOTE CONTROL SYSTEM.
9. LOCATION OF FIRE DEPARTMENT CONNECTIONS, IF PART OF PRIVATE FIRE SERVICE MAIN SYSTEM, INCLUDING DETAIL OF CONNECTIONS.
10. SPRINKLER AND STANDPIPE RISERS AND MONITOR NOZZLES TO BE SUPPLIED BY THE SYSTEM.
11. ALL COMPONENTS MUST HAVE LISTING WITH FIRE PROTECTION R.P.A. 24.
12. ALL FIRE HYDRANTS INSTALLED IN TAYLOR COUNTY MUST HAVE A SINGLE .45 INCH HOSE OUTLET AND TWO .25 INCH HOSE OUTLETS, ALL WITH MALE NIP STANDARD THREADS, IN ACCORDANCE WITH NFPA 1963.

Know what's below.
Call before you dig.

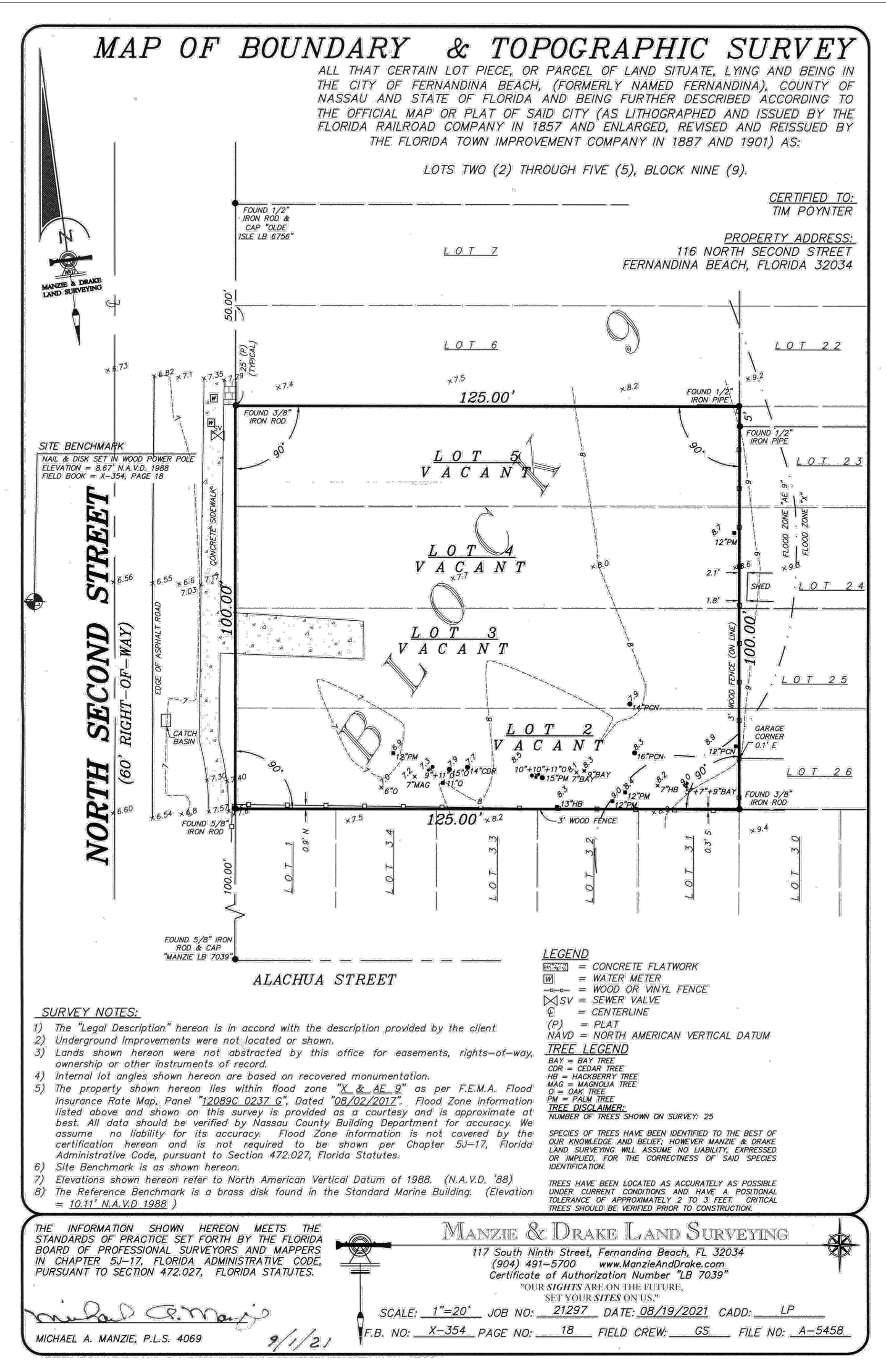


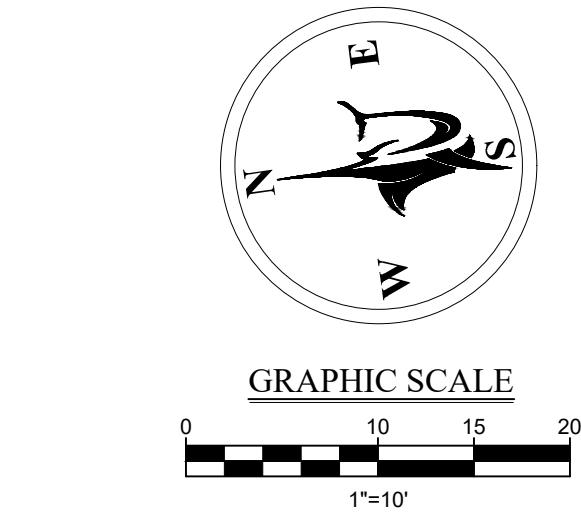
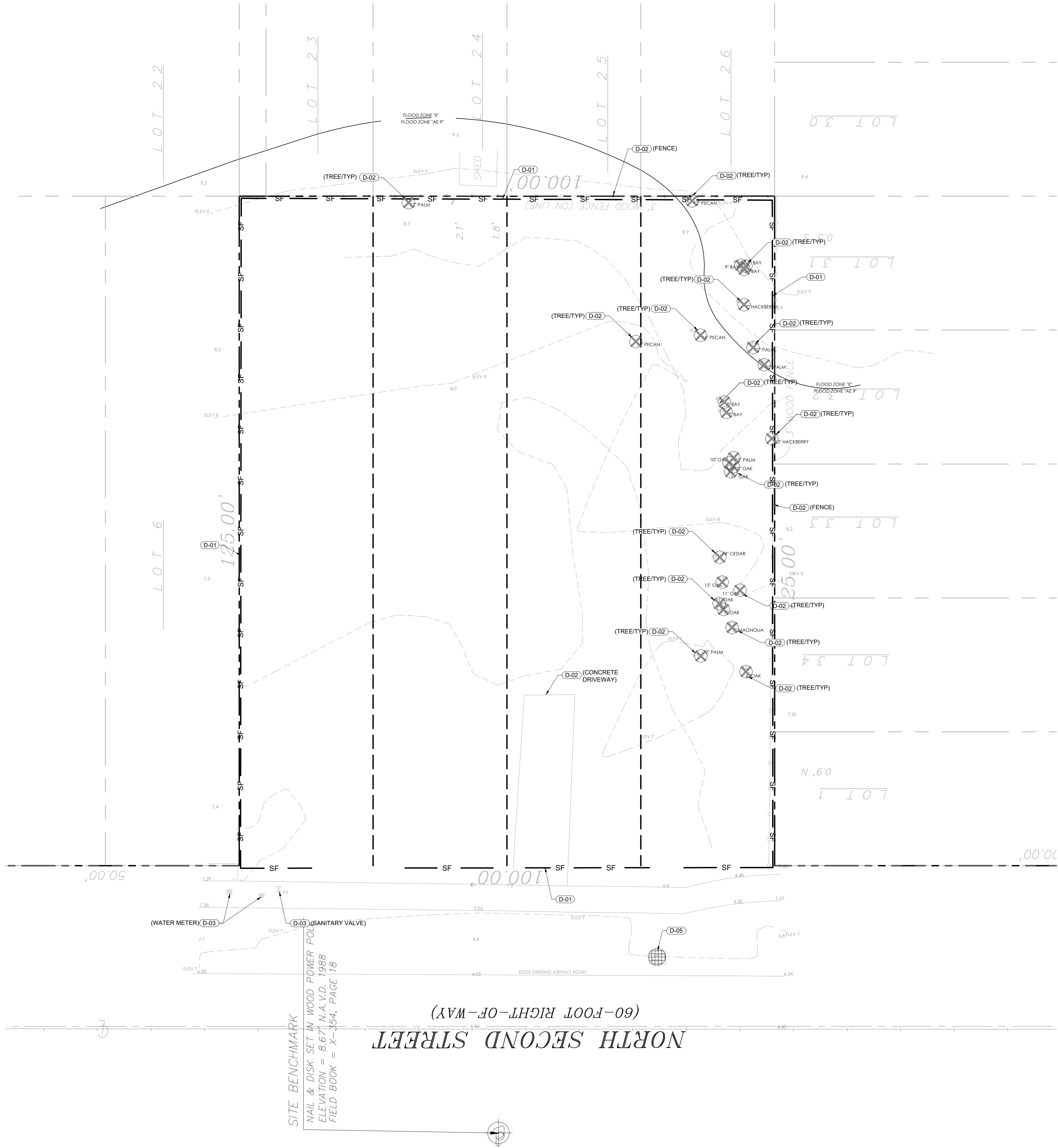
GULFSTREAM
DESIGN GROUP, LLC

2225 A1A S, SUITE A2
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matt@gulfstreamdesign.com

PROJECT NO:	22-122
ISSUE DATE:	10-27-22
DRAFTED BY:	JGD
DESIGNED BY:	MHL

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- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING R/W LINE
 - SF SILT FENCE
 - ⊗ EXISTING TREE TO BE REMOVED

- DEMOLITION KEY NOTES:** (D-XX)
- D-01 TYPE III SILT FENCE (SEE SHEET #3 SWPPP FOR DETAILS)
 - D-02 EXISTING TO BE REMOVED
 - D-03 EXISTING TO REMAIN
 - D-05 SYNTHETIC SALE INLET PROTECTION (SEE SHEET #3 SWPPP FOR DETAILS)

- EROSION CONTROL NOTES**
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, FILTER FABRIC, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
 - CONTRACTOR SHALL STAKE AND VERIFY RIGHT-OF-WAY LINE AND AVOID PRIVATE PROPERTY CONFLICT WITH EXCAVATED DRILL PIT.
 - PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE COUNTY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE COUNTY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED THROUGHOUT PROJECT CONSTRUCTION.
 - IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
 - ALL EXISTING CATCH BASINS ADJACENT TO THE SITE SHALL BE COVERED WITH FILTER FABRIC TO PREVENT SEDIMENTS FROM ENTERING THE SYSTEM. THE FILTER FABRIC SHALL BE INSPECTED AND MAINTAINED DAILY THROUGHOUT THE DURATION OF CONSTRUCTION.

- DEMOLITION AND CLEARING NOTES:**
- ALL EXISTING WATER AND SEWER UTILITY SERVICES THAT WILL NO LONGER BE UTILIZED MUST BE PROPERLY ABANDONED BY CONTRACTOR BY CUTTING, CAPPING, AND REPAIRING SERVICE CONNECTIONS AT THE UTILITY MAIN LOCATIONS BY METHODS DIRECTED BY THE CITY INSPECTOR AND UNDER CITY INSPECTOR'S OBSERVATION. EXCAVATION MAY BE REQUIRED IN ORDER TO DETERMINE PROPER ABANDONMENT METHODS.
 - ALL EXISTING WATER AND SEWER UTILITY SERVICES INTENDED TO BE REUSED MUST BE INVESTIGATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND/OR REPLACEMENT TO RENEW EXISTING POTABLE WATER SERVICES, AND SEWER SERVICE LATERALS. ALL UTILITIES MUST BE RETURNED TO GOOD WORKING ORDER. ALL INVESTIGATIVE AND REPAIR/REPLACEMENT METHODS WILL BE AS DIRECTED BY THE CITY INSPECTOR AND UNDER CITY INSPECTOR'S OBSERVATION. EXCAVATION AND OTHER PROCEDURES SUCH AS CLOSED-CIRCUIT TV MAY BE REQUIRED IN ORDER TO DETERMINE CONDITION.
 - ALL EXISTING TREES ON SITE ARE TO BE REMOVED. (25 TREES / 266 INCHES. SEE LANDSCAPE PLAN)

**ENGINEERING PLANS
FOR
FERNANDINA PAVILION
DEMOLITION PLAN**
NASSAU COUNTY, FLORIDA

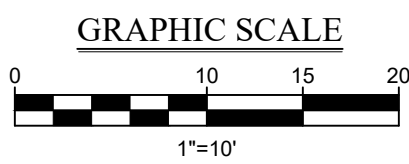


30% PLANS



2225 A1A S, SUITE A2
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	EXISTING PROPERTY LINE
	EXISTING R/W LINE
	EXISTING LOT LINE
	PROPOSED CURB & GUTTER
	PROPOSED BUILDING OUTLINE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED GARDEN TURF
	PROPOSED GRAVEL

SD-7A CONCRETE SIDEWALK
SD-12 TYPICAL PAVEMENT SECTION

S-01	PROPERTY LINE
S-02	CONNECT TO EXISTING SIDEWALK
S-03	PERGOLA (SEE ARCHITECTURAL PLANS FOR DETAILS)
S-04	FENCE/GATE (SEE ARCHITECTURAL PLANS FOR DETAILS)
S-05	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
S-06	ARCHITECTURAL/GARDEN FEATURES (SEE ARCHITECTURAL LANDSCAPE PLANS FOR DETAILS)
S-07	PAVER/CONCRETE SIDEWALK (SEE ARCHITECTURAL PLANS OR DETAILS)
S-08	EXISTING SIDEWALK
S-09	PRIVACY FENCE (SEE ARCHITECTURAL PLANS FOR DETAILS)

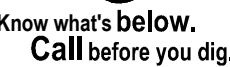
1. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE NASSAU COUNTY LAND DEVELOPMENT CODE.
2. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS BY CHAD GRIMM STUDIOS, FOR EXACT DIMENSIONS. CIVIL PLANS REFERENCE EXTERIOR WALL DIMENSIONS. CONTRACTOR TO VERIFY FOUNDATION AND ROOF OVERHANG.
4. ALL HANDICAP RAMPS SHALL MEET CURRENT ADA REQUIREMENTS AND INCLUDE DETECTABLE WARNING PER NASSAU COUNTY REQUIREMENTS.
5. CONTRACTOR SHALL STAKE EACH STAGE OF WORK. HORIZONTAL AND VERTICAL IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL VERIFY WITH STREAM DESIGN GROUP, LLC, IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS EXTRA WORK MUST BE APPROVED BY THE ENGINEER AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK.
8. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT: ADD STANDARDS FOR ACCESSIBLE DESIGN AND CONSTRUCTION, INCLUDING CODE: ACCESSIBILITY AND THE FAIR HOUSING ACT, WHEN APPLICABLE.

SITE DATA TABLE		
GROSS PROPERTY AREA:	12,500.00 SF	0.29 AC
NET DEVELOPABLE PROJECT AREA:	12,500.00 SF	0.29 AC
PROPOSED BUILDING FOOTPRINT AREA:	7,755 SF	0.18 AC
PROPOSED PAVEMENT & SIDEWALK AREA:	835 SF	0.02 AC
PROPOSED TOTAL IMPERVIOUS AREA:	8,590.00 SF	0.20 AC
PROPOSED TOTAL PERVIOUS AREA:	491.38 SF	0.01 AC
IMPERVIOUS SURFACE AREA RATIO:		68.7%
FLOOR AREA RATIO:		62.0%
PROPERTY ID NO:	00-00-31-1800-0000-0020; 00-00-31-1800-0000-0030; 00-00-31-1800-0000-0040; 00-00-31-1800-0000-0050	
ZONING:	C-3	
FLUM:	CENTRAL BUSINESS DISTRICT	
FEMA FIRM PANEL NUMBER	12089C 0237G	

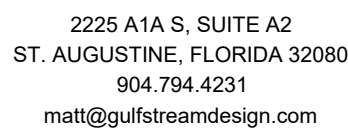
REVISIONS		DESCRIPTION	
NO.	DATE	BY	
1			
2			
3			
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ENGINEERING PLANS FOR FERNANDINA PAVILION SITE PLAN

NASSAU COUNTY, FLORIDA

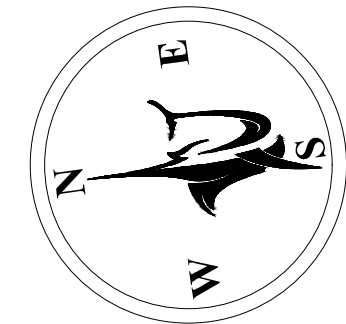
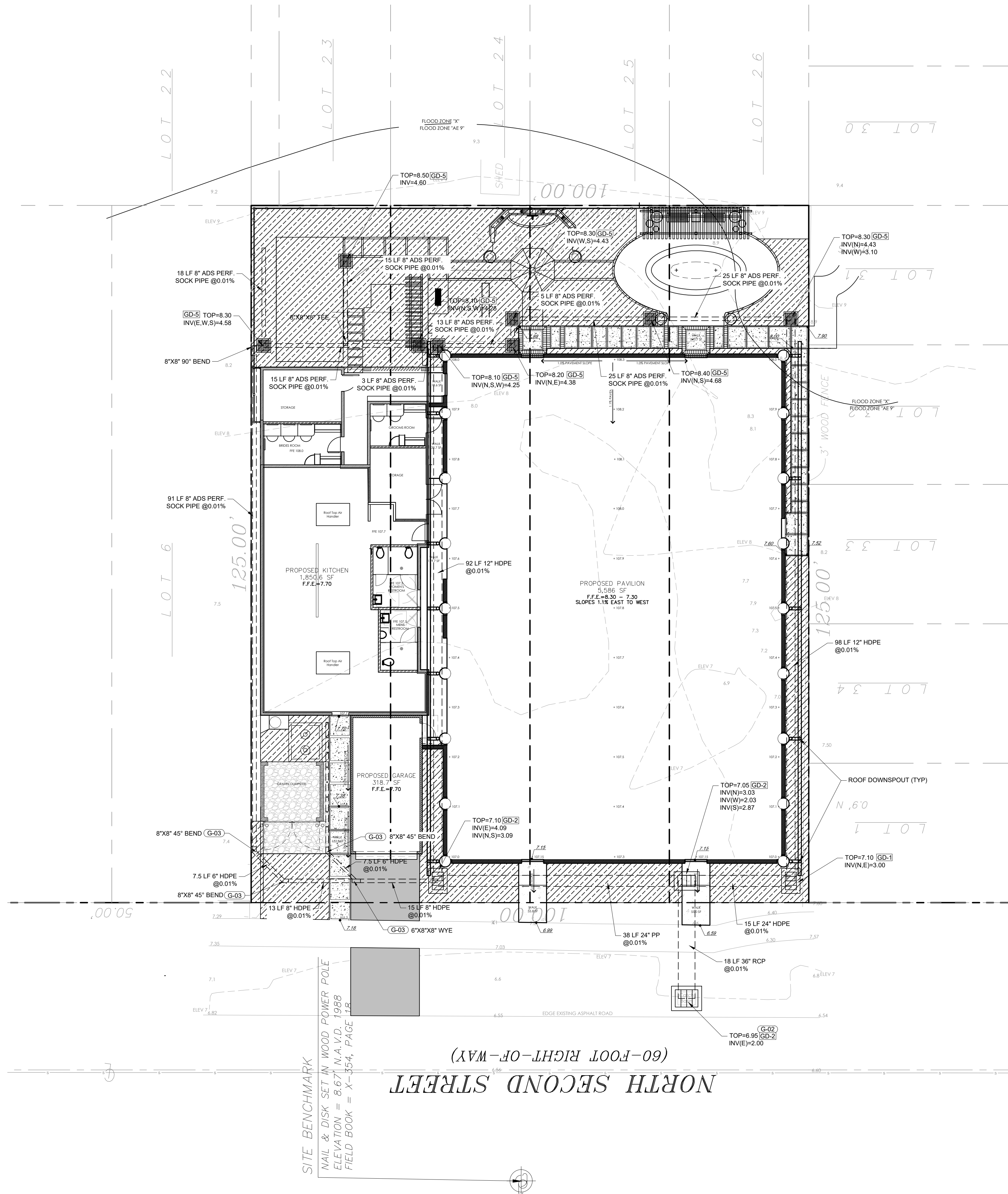


30% PLANS

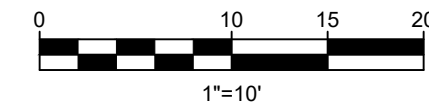


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GRAPHIC SCALE



LEGEND

Legend:

- EXISTING PROPERTY LINE
- EXISTING R/W LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED BUILDING
- STORM SEWER
- PROPOSED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- FLOW ARROW
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK

GRADING & DRAINAGE DETAILS: GD-XX

GD-1	TYPE "C" INLET
GD-2	TYPE "D" INLET
GD-5	STANDARD YARD DRAIN

GRADING & DRAINAGE KEY NOTES:

G-01	TIE TO EXISTING ELEVATION
G-02	CONTRACTOR TO VERIFY STRUCTURE TYPE, SIZE AND ELEVATION AND REMOVE AND REPLACE WITH TYPE D INLET AS NECESSARY TO ACCEPT PROPOSED 36" PIPE, AS NEEDED.
G-03	CONNECT FRENCH DRAIN PIPE TO SOLID PIPE USING ADS CONNECTOR

PAVING AND GRADING NOTES:

1. ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
2. FIVE FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
3. CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC, IMMEDIATELY IF FIELD CONDITIONS DIFFER.

DRAINAGE NOTES

1. PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO END OF MITERED END SECTIONS.
2. ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
3. FIVE FEET OF SO2 IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
4. THE STORM DRAINAGE SYSTEM SHALL BE FREE OF DIRT, SAND AND DEBRIS PRIOR TO FINAL ACCEPTANCE.
5. CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICT EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC, IMMEDIATELY IF FIELD CONDITIONS DIFFER.

Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and paved areas, including Nassau County Right-of-Way, turn lanes, residential, roadway, drainage, ditches for all major developments and the majority of storm water for commercial developments shall be designed to meet the FDOT standards for FDOT Standard Specifications.
2. A builder cannot modify the County's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the County Engineer or designee.
3. Drainage easements and ditches should remain free of stockpiled soil, sediment, mud, construction materials, debris, or other at all times. Positive stormflow must be maintained throughout construction.
4. The contractor shall temporarily or permanently stabilize bare soil areas and soil stockpiles when an area is inactive for fourteen days or more or has reached finished grade.
5. Ordinance 99-17 Section 11.1.1.5.a. all gravity flow pipe installations shall have a solid tight joint performance unless specific site factors warrant watertight joint performance.
6. Ordinance 99-17 Section 10.6.5.1, immediately install additional Erosion Protection System Sediment Control measures if feasible to your site. Failure to contain sediment to your site may result in delayed inspections, notices of violation, citations, fines, penalties, and/or stop work orders.
7. Ordinance 99-17 Section 10.1.2.a.e, stormwater management for a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.

Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 12.2 and 12.4, a construction bond and 26-month maintenance bond will be required for all work within Nassau County Right-of-Way.
2. A pre-pave meeting is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.
3. Approved mix designs shall be provided to Nassau County Construction Inspector 48 hours prior to pre-pave meeting or placement of concrete.

4. Contractor is required to have a Certified DC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family developments.
5. All bases shall be primed in accordance with Ordinance 99-17 Section 11.5.2.3, Nassau County Standard Details, and FOOT Standard Specifications.
6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FOOT Standard Plans.
7. Maintenance of Traffic (MOT) shall be in compliance with FOOT Standard Index 600 Series.
8. All work materials, and testing performed within Nassau County (right-of-way and easement)/multi-family developments shall be in accordance with the current revision of Nassau County Ordinance 99-17 and all current Nassau County Standard Details.
9. Per Ordinance 99-17 Section 11.5.2.1, all pavement markings within Nassau County ROW shall be lead free thermoplastic meeting Nassau County and FOOT Standard Specifications Latest Edition.
10. Removing pavement markings within Nassau County ROW shall be:
 - a. Grinding or hydro-blasting on weathered asphalt surfaces.
 - b. Hydro-blasting only on new asphalt surfaces.
 - c. Paint Blackout is prohibited.
11. Per Ordinance 99-17 Section 8.5.5.1, any damage to pavement resulting from construction or pavement marking removal within Public ROW not planned as part of the project shall be mitigated and repaired for entire width of roadway and length of damage plus 50' in each direction.
12. All underground utilities, or appropriate conduit sleeves, that are to be installed under pavement must be installed prior to preparation of the subgrade for pavement.
13. Single Vertical Joints in roadway construction shall be avoided in Nassau County Right-of-Way, using Nassau County Standard Detail R26.
14. All drive/driveway structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.
15. All concrete shall be a minimum of 3000 psi within Public Right-of-Way.

ROADWAY AND DRAINAGE STANDARDS NASSAU COUNTY ENGINEERING SERVICES DEPARTMENT	REVISION DATES		STORMWATER DRAINAGE & PAVING NOTES	NOTE SHEET: 2
				DWG:
				ISSUED: 12/09/2020

ENGINEERING PLANS

ENGINEERING PLANS FOR FERNANDINA PAVILION

ADING & DRAIN

NASSAU COUNTY, FLORIDA



Know what's below.
Call before you dig

30% PLANS

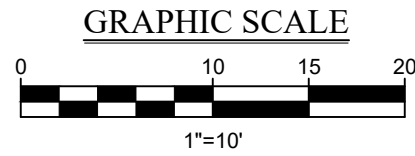
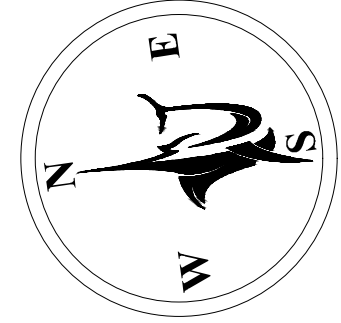
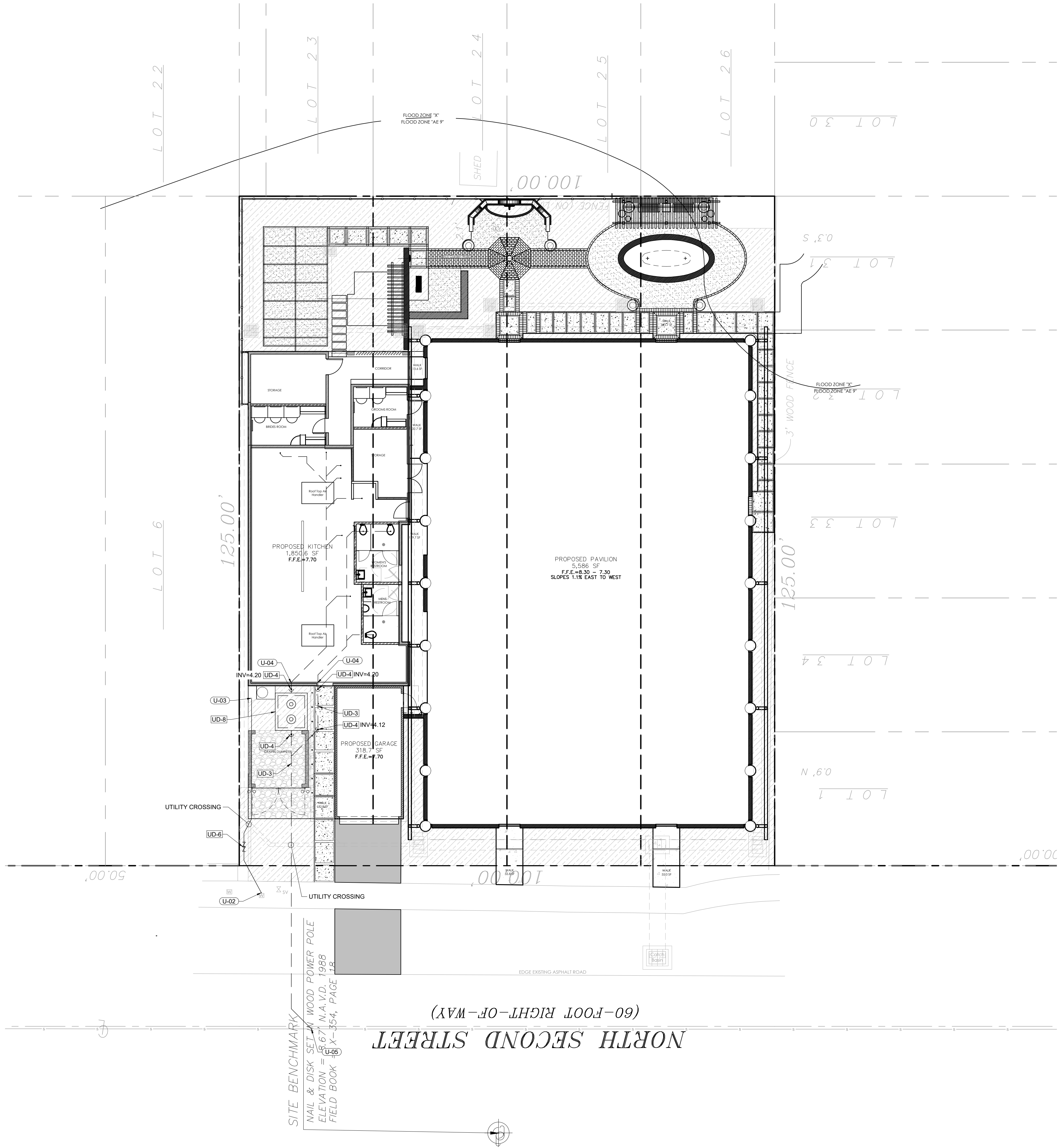


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LEGEND

- EXISTING PROPERTY LINE
- STORM SEWER MAIN
- SANITARY SEWER LATERAL
- WATER SERVICE
- 6" SEWER SERVICE WITH CLEANOUT
- EXISTING FIRE HYDRANT
- 1" WATER SERVICE WITH RPZ BFP

UTILITY DETAILS (xxx)

- UD-3 SANITARY SEWER SERVICE LATERAL
- UD-4 SANITARY SEWER CLEANOUT
- UD-6 REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY
- UD-8 GREASE TRAP (800 GAL.)

UTILITY KEY NOTES: (U-xx)

- U-02 1" WATER SERVICE, CONNECT TO EXISTING WATER METER. CONTRACTOR TO CONFIRM LOCATION.
- U-03 POTABLE WATER POINT OF CONNECTION AT BUILDING (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- U-04 SANITARY POINT OF CONNECTION AT BUILDING (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- U-05 CONNECT TO EXISTING GRAVITY SEWER MAIN IN NORTH SECOND STREET. CONTRACTOR TO CONFIRM LOCATION AND ELEVATION

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL REFER TO GENERAL NOTES SHEET #2 IN THESE PLANS FOR ADDITIONAL SPECIFIC INFORMATION NOT SHOWN ON INDIVIDUAL PLAN SHEETS.
- ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND MAY NOT HAVE BEEN SURVEYED OR FIELD LOCATED. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES VIA POT-HOLING AND LOCATES PRIOR TO CONSTRUCTION.
- PLANS SUBJECT TO CHANGE BASED ON REVIEW BY REGULATORY AGENCIES.
- PIPE LENGTHS HEREIN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ANY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF FIELD CONDITIONS VARY GREATLY FROM THESE PLANS.
- THE CONTRACTOR SHALL FIELD STAKE EACH STAGE OF WORK. HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. THE CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
- ALL FIRE HYDRANTS SHALL OPEN COUNTER CLOCKWISE, LARGEST HOSE OUTLET NOT LESS THAN 18" ABOVE FINAL GRADE AND FACING ROADWAY.
- APPROVAL OF THESE PLANS DO NOT INCLUDE APPROVAL FOR PRIVATE UNDERGROUND WATER MAIN AND FIRE HYDRANTS. PRIVATE FIRE HYDRANTS SHALL BE RED AND PUBLIC FIRE HYDRANTS SHALL BE YELLOW.
- THE CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS, IS REQUIRED PRIOR TO SCHEDULING A FINAL INSPECTION OF THE BUILDING BY THE BUILDING DEPARTMENT AND THE FIRE MARSHALL.
- CITY OF FERNANDINA BEACH DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED TWENTY-FOUR (24) HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND FIVE (5) DAYS PRIOR TO FINAL INSPECTION.
- WHERE PROPOSED UTILITIES CONFLICT OR CROSS, A MINIMUM 16" VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE CLOSEST POINTS OF THE PROPOSED UTILITIES AND CROSSING POTABLE WATER SHALL BE KEPT ABOVE FORCEMAIN OR SANITARY SEWER.
- GATE VALVES SHALL NOT BE SPACED MORE THAN 500 FEET APART.

ENGINEERING PLANS
FOR
FERNANDINA PAVILION
UTILITY PLAN
NASSAU COUNTY, FLORIDA



30% PLANS



2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
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matt@gulfstreamdesign.com

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PROJECT NO: 22-122
ISSUE DATE: 10-27-22
DRAFTED BY: JGD
DESIGNED BY: MHL
CHECKED BY: MHL

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9



Gulfstream Design Group, LLC
2225 A1A South, Suite A2
St. Augustine, FL 32080
Tel. 904.794.4231
www.gulfstreamdesign.com

STORMWATER MANAGEMENT SYSTEM NARRATIVE

Fernandina Beach – The Pavilion
GDG 22-122

INTRODUCTION

The proposed development site is located on Lots 2 - 5 of Block 9 off of North Second Street, Fernandina Beach, Florida. The development is on the east side of N 2nd St, approximately 100 feet north of Alachua Street. The scope of work will include construction of a large pavilion with accompanying facilities. The following narrative describes the existing and proposed site conditions as it relates to stormwater management.

EXISTING CONDITIONS

The project site is a 0.29 acre site within an commercial subdivision which has a master stormwater system to which each lot will connect it's stormwater collection system. The master stormwater treatment system is permitted under St. Johns River Water Management District Permit number 164740-1. The permitted stormwater calculations indicate that each commercial lot is allowed up to 75% impervious area. The Pavilion is located within Post-Developed Basin "POST-1" and is provided a stormwater connection to a catch basin within the N 2nd Street Right of Way. Please see the attached the CCFB stormwater plans.

PROPOSED CONSTRUCTION

The proposed construction will include 8,590 square foot impervious material, made up of sidewalk, pavement, and building space. The total impervious area of the proposed is approximately 70% of the total outparcel area. The total proposed impervious area is well within the maximum 75% impervious area that was established for basin "POST-1."



Mathew H. Lahti, P.E.
Gulfstream Design Group, LLC

Drainage Calculations

THE PAVILION

GDG #22-122

10/26/2022

RCM/MHL



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Land Development • Consulting



Project Name: THE PAVILION
Project No: GDG #22-122

Designer: RCM
Date: 10.25.22

DRAINAGE CALCULATIONS

PRE-BASIN-ON-1	12,500	0.287
TOTAL	12,500	0.29

PRE Development Drainage Areas

	Area (sf)	Area (ac)	Impervious Area (ac)	Tc (MIN)	K	CN
PRE-BASIN-ON-1	12,500	0.29	0.01	31.3	256	82.1
TOTAL		0.29	0.01	31.3		

PRE Development Curve Number & Runoff Coefficient

PRE-BASIN-ON-1	Land Use	Area (sf)	Area (ac)	CN	Composite CN
HSG "A/D"	Pasture (Good)	12,500	0.29	80	80.0
	Impervious	265	0.01	98	2.1
					82.1



Project Name: THE PAVILION
Project No: GDG #22-122

Designer: RCM
Date: 10.25.22

POST-DEVELOPED DRAINAGE BASIN CHARACTERISTICS

ONSITE BASIN	12,500	0.29
TOTAL	12,500	0.29

Post Development Drainage Areas

	Basin Area (sf)	Basin Area Impervious (ac)	Area (ac)	Tc (min)	CN	"c"
POST-ON-1	12,500	0.29	0.20	10.00	92.4	0.68
TOTAL		0.29	0.20			

Post Development Curve Number & Runoff Coefficient Calculations

POST-ON-1	Land Use	Area (sf)	Area (ac)	CN	Wtd CN	"c"	Wtd "c"
HSG "D"	Open Space (Good)	3,910	0.09	80	25.0	0.10	0.03
HSG "D"	Impervious	8,590	0.20	98	67.3	0.95	0.65
			0.29		92		0.68

0'-2' FILL: ADVANCE 1 HSG <--- HSG "A/D" SOILS TO EXHIBIT HSG "D" CHARACTERISTICS
 2'-4' FILL: ADVANCE 2 HSG
 4'+ FILL: ADVANCE 3 HSG (REQUIRES CERTIFICATION)



Project Name: THE PAVILION
Project No: GDG #22-122

Designer: RCM
Date: 10/26/2022

STORM WATER MANAGEMENT FACILITY (SWMF) TREATMENT VOLUMES

"POND": Required Treatment Volume (TV) [WET DETENTION]

Treating "POST-ON-1", "POST-ON-2", "POST-OFF-1"

Acres	Inches	Ac-ft.	
0.29	1.00	0.024	Required for first 1.0" runoff from drainage area
			or,
0.197	2.50	0.041	Required for 2.5" runoff from impervious area
	TV=	0.041	Ac.ft. (2.5 inch runoff from impervious area)

COJ MINIMUM TV:

Post-Developed Runoff - Pre-Developed Runoff (25 Year Storm Event)

295,076 cf - **260,573** cf = 34,503 cf
COJ Min TV = 0.792 ac-ft

Required Permanent Pool Volume (PPV)

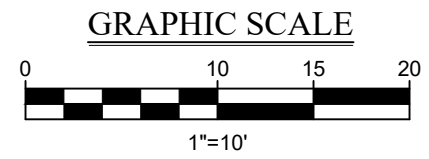
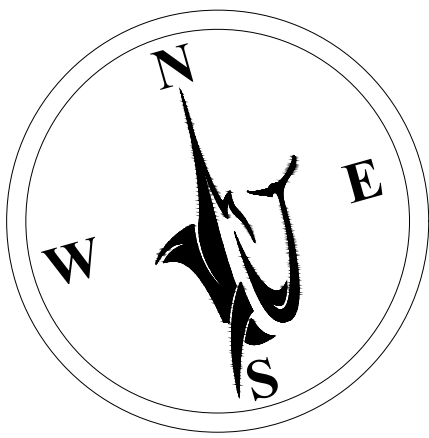
$$PPV = ((DA) * (C) * (30") * (21 \text{ Days})) / (153 \text{ Days}) * (1 \text{ ft.} / 12")$$

Drainage Area (DA) = 0.29 acres

Runoff Coefficient (C) = 0.68

*PPV = 0.067 Ac. ft.

*Volume of permanent pool uses 21 days because of no littoral zone.



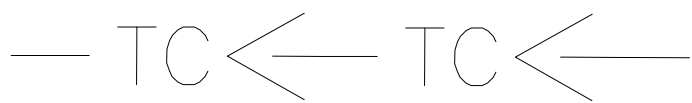
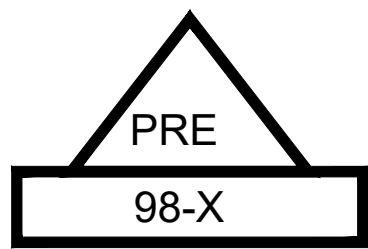
SITE DATA TABLE		
GROSS PROPERTY AREA:	12,500.00 SF	0.29 AC
NET DEVELOPABLE PROJECT AREA:	12,500.00 SF	0.29 AC
EXISTING CONCRETE AREA:	256 SF	0.01 AC
TOTAL IMPERVIOUS AREA:	256.00 SF	0.01 AC
TOTAL PERVIOUS AREA:	12,244.00 SF	0.28 AC

LEGEND

BASIN - XXX-X

AREA = XX.XX Ac. ±
CN = XXX
Tc = XX.X Min.
K (SCS) = XXX

POND-XX



BASIN NAME & INFO

NODE NAME

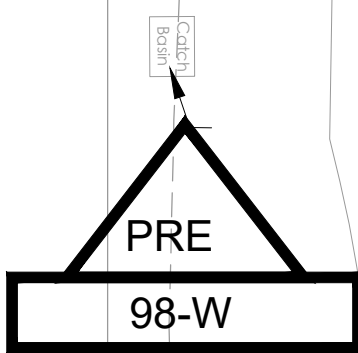
OUTFALL

BASIN LIMITS

TO FLOW PATH

E BENCHMARK
1/4" & DISK SET IN WOOD POWER POLE
ELEVATION = 8.67' N.A.V.D. 1988
FIELD BOOK = X-354, PAGE 18

NORTH SECOND STREET
(60-FOOT RIGHT-OF-WAY)



PRE BASIN A

AREA = 0.29 Ac. ±
CN = 82
Tc = 56.84
K (SCS) = 256

REVISIONS

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			

ENGINEERING PLANS

FOR

THE PAVILION PRE-DEVELOPMENT BASIN MAP

DUVAL COUNTY, FLORIDA



FINAL ENGINEERING PLANS



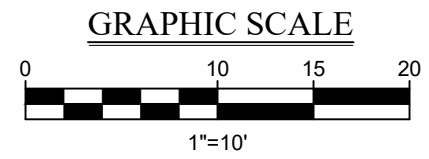
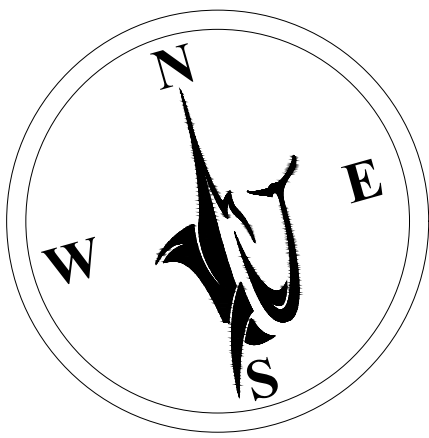
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PROJECT NO: 22-084
ISSUE DATE: 10-06-2022
DRAFTED BY: RCM
DESIGNED BY: XXX
CHECKED BY: MHL

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PRE



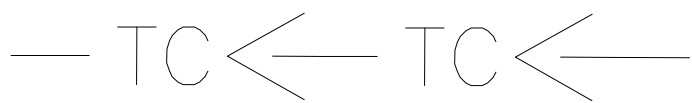
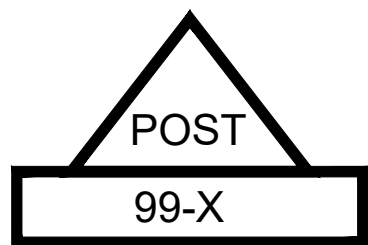
SITE DATA TABLE		
GROSS PROPERTY AREA:	12,500.00 SF	0.29 AC
NET DEVELOPABLE PROJECT AREA:	12,500.00 SF	0.29 AC
BUILDING AREA:	2,169 SF	0.05 AC
CONCRETE/PAVEMENT AREA:	6,421 SF	0.15 AC
TOTAL IMPERVIOUS AREA:	8,590.10 SF	0.20 AC
TOTAL PERVIOUS AREA:	3,909.90 SF	0.09 AC

LEGEND

BASIN - XXX-X

AREA = XX.XX Ac. ±
CN = XXX
Tc = XX.X Min.
K (SCS) = XXX

POND-XX



BASIN NAME & INFO

NODE NAME

OUTFALL

BASIN LIMITS

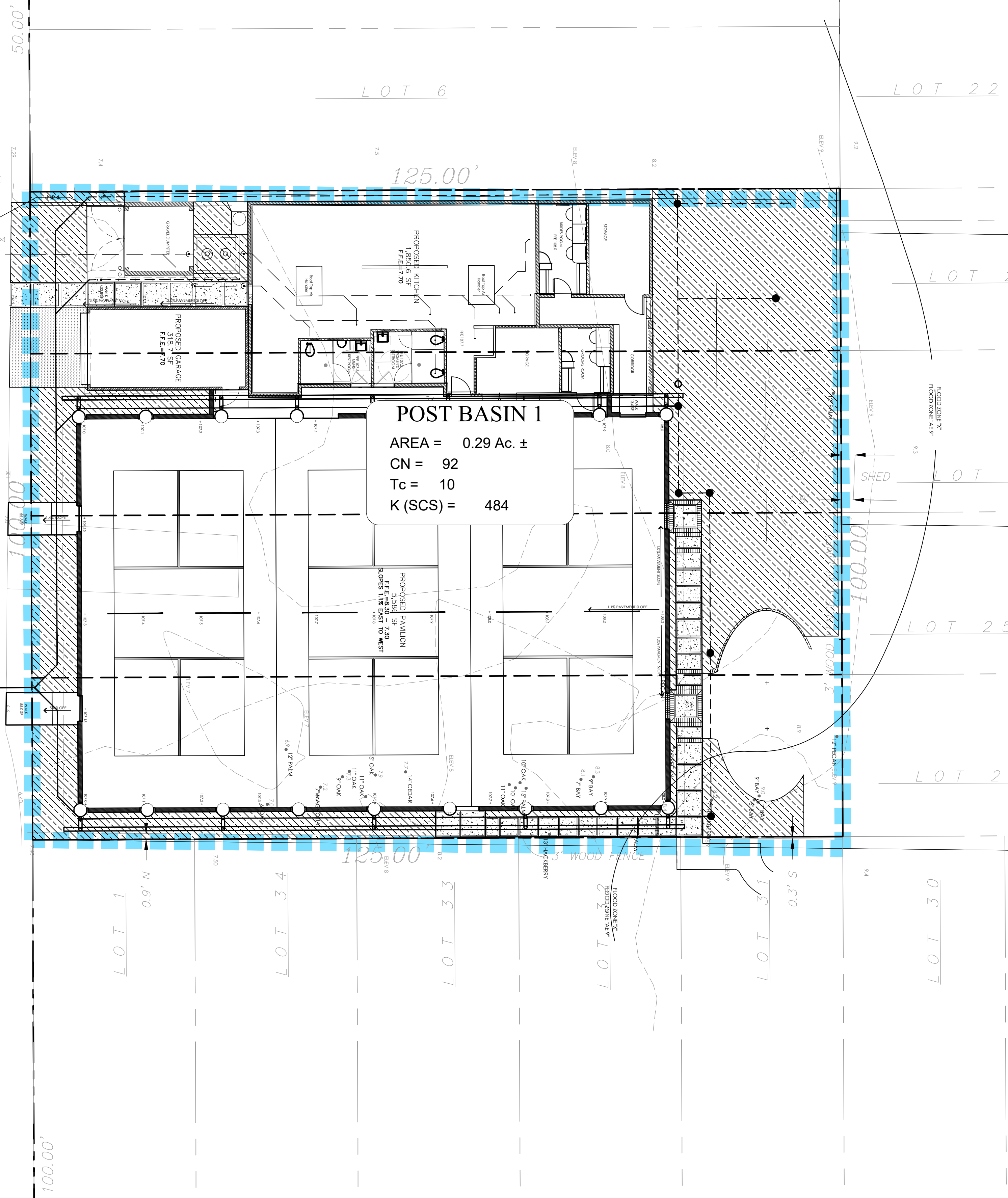
TO FLOW PATH

E BENCHMARK
1" & DISK SET IN WOOD POWER POLE
ELEVATION = 8.67' N.A.V.D. 1988
FIELD BOOK = X-354, PAGE 18

NORTH SECOND STREET
(60-FOOT RIGHT-OF-WAY)

POST

99-W



ENGINEERING PLANS

FOR

THE PAVILION

POST-DEVELOPMENT BASIN MAP

DUVAL COUNTY, FLORIDA



FINAL ENGINEERING
PLANS



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PROJECT NO: 22-084
ISSUE DATE: 10-06-2022
DRAFTED BY: RCM
DESIGNED BY: XXX
CHECKED BY: MHL

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PRE

REVISIONS		DESCRIPTION	
NO.	DATE	BY	
1			
2			
3			
4			
5			
6			
7			
8			
9			



Mr. Tim Poynter
29 N. 3rd Street
Fernandina Beach, FL 32034

Sent Via Email to Project Team

Applicant Name: Poynter Family Holdings, LLP.
Project Description: The Pavilion
Location: 116 N. 2nd Street
TRC Case Number: TRC 2022-0028

Mr. Poynter,

The City of Fernandina Beach received your request for a site plan review on October 27, 2022. All submitted documents provided were routed to the Technical Review Committee (TRC). Reviewers provided their first round of comments on November 10, 2022. The comments provided as part of this site plan review are valid for six months from the date of issuance.

Please resubmit response documents to address each comment in a narrative form and through an amended site plan. The next available TRC meeting is Thursday, November 17, 2022, at 10 am. This project is currently scheduled to appear on the agenda. All reviewers will be present to discuss any questions you have concerning the comments provided herein.

If you have any questions, please contact Sal Cumella at scumella@fbfl.org or 904-310-3480.

Sincerely,

Salvatore Cumella, Senior Planner



1ST ROUND REVIEW COMMENTS:

Planning:

- Rear garden area not consistent with HDC approval. Will need revision through HDC.
- Wall sign exceeds allowable square footage: 8.01.03(A)(6)
- Exceeding maximum sign allowance 8.01.03(A)
- CRA Guidelines Section 5, Page 8: Impervious material required for driveway
- Pergola is not permissible within landscaping buffer: LDC 4.05.12(I).
- Type C Buffer: 4.05.12 (B). 2 shade trees, 4 understory trees, continuous unbroken hedge planted in a double staggered row to form a solid visual screen within one year of planting

Code Enforcement:

- No Comments as of 11/10/2022

Fire Marshal:

- Please provide the intended occupancy classification for this project and the maximum occupant load for the pavilion. Even though there are no walls to the pavilion, egress is being limited to two exits that are located next to each other on the N 2nd Street side.
- Will there be enough exits provided for the anticipated occupant load?
- No other comments regarding fire department access or water supply. However, until I know the proposed occupancy classification, I cannot advise if other fire protection features will be required per the Florida Fire Prevention Code.

Utilities, Stormwater, and Streets:

- No Comments as of 11/10/2022

Arborist:

- Removing 25 trees: 150 per tree= \$3750 tree removal fee
- Total inches removed: 266 - requires replanting of 133" or 53 trees (2.5" min requirement at time of planting).
- OR fee in lieu up to 66 1/2".

Building:

- No Comments as of 11/10/2022