



**AGENDA
PLANNING ADVISORY BOARD
REGULAR MEETING
MAY 10, 2023
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER / ROLL CALL / DETERMINATION OF QUORUM**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MEETING MINUTES**
 - 3.1 Approval of Minutes from the Regular Meeting of April 12, 2023
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
 - 5.1 **PAB 2023-0042 - CITY OF FERNANDINA BEACH, S. FRONT STREET, WATER LOTS 31-34, "LOT D".**
Request for Change to Future Land Use Map and Zoning Map from Industrial Waterfront (I-W) to Recreation (REC) for 3.65 acres of City owned land.
- 6. BOARD BUSINESS**
- 7. STAFF REPORT**
- 8. PUBLIC COMMENT**
- 9. ADJOURNMENT**

NEXT PAB REGULAR MEETING IS SCHEDULED FOR JUNE 14, 2023

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired). All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Planning Department (904) 310-3135.



**MINUTES
PLANNING ADVISORY BOARD
REGULAR MEETING APRIL 12, 2023
5:00 PM
CITY HALL COMMISSION CHAMBERS**

1. CALL TO ORDER / ROLL CALL / DETERMINATION OF QUORUM

MEMBERS PRESENT:

Victoria Robas (Chair)	Peter Stevenson (Vice-Chair)
John Boylan	Mark Bennett
Barbara Gingher	Richard Doster
Nick Gillette	

MEMBERS ABSENT:

None

OTHERS PRESENT:

Kelly Gibson, Planning & Conservation Deputy Director
Tammi Bach, City Attorney
Taylor Hartmann, Recording Secretary

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF MEETING MINUTES

3.1 Approval of Minutes from the Regular Meeting of March 8, 2023.

ACTION TAKEN: A motion was made by Member Stevenson seconded by Member Gingher to approve PAB Minutes from March 8th, 2023, as presented.

Vote upon passage of the motion was taken by voice vote, and being all ayes, carried.

Chair Robas proposed a change in the order of the cases by reviewing item 5.4 as the second item of the New Business.

4. OLD BUSINESS

**4.1 PAB 2022-0026 - PRELIMINARY PLAT/REPLAT - TRINGALI PROPERTIES
FOR PROPERTIES LOCATED AT 119, 123, & 125 S. 4TH STREET + 124 S 3RD STREET +
LOTS 10-14 Block 12 S 3RD STREET TO CREATE A 12-LOT TOWNHOME DEVELOPMENT**

Member Bennett asked why this case is being heard a second time. Ms. Bach explained that the case is being presented a second time because the original application was deemed incomplete. Chair Robas asked for the City Commission to issue a ruling with clear direction on the ability to hear this case again and if LDC Section 1.03.05(C) really applies to this case.

Ms. Gibson clarified that this case would move to the City Commission as a quasi-judicial hearing, with the PAB approved recommendation of Denial from the PAB during its December 2022 regular meeting and direction on future application.

DRAFT

Public Hearing was opened and then closed with no parties wishing to speak.

ACTION TAKEN: After some Board discussion, Chair Robas stated that the Board's December 2022 recommendation of Denial the City Commission stands.

5. NEW BUSINESS

5.1 PAB 2023-0038 - CITY OF FERNANDINA BEACH, VACATION OF RIGHT OF WAY FOR POMPANO ST VACATION OF AN APPROXIMATELY 142 FEET BY 50 FEET SECTION OF UNIMPROVED POMPANO STREET TO IMPROVE AND EXPAND THE EXISTING SKATE PARK AT MAIN BEACH

Chair Robas asked if the discussion could also include the Dolphin Avenue right-of-way located north of the parcel in the current case. Ms. Bach explained that it is best to wait for Staff to perform a staff report analysis before the Board makes a decision on a different property as this is a very specific process.

Catherine Vorrasi, Park & Recreation Director, explained the reason behind the request, the reason being the support of a possible expansion of the skate park with the help of fundraising scheduled events.

Ms. Forehand presented the case and recommended approval.

Chair Robas asked if a preliminary plan of the expansion was available. Ms. Forehand noted that there were no plans yet but Ms. Vorrasi indicated where the expansion would take place on the map.

Member Stevenson asked about the possibility to assess discussion about Dolphin Avenue.

Catherine Vorrasi, Parks & Recreation Director, commented that to her knowledge no request to consider vacation of the Dolphin right-of-way has recently presented or discussed.

ACTION TAKEN: A motion was made by Member Gillette seconded by Member Doster to recommend approval of PAB case 2023-0038 to the City Commission as per the Staff recommendation; AND that PAB case 2023-0038 as presented is sufficiently compliant with the Comprehensive Plan and Land Development Code and applicable Florida Statutes to be approved at this time.

Vote upon passage of the motion was taken by Ayes and Nays, and being as follows:

Member Boylan	Aye
Member Bennett	Aye
Member Doster	Aye
Member Gingher	Aye
Member Gillette	Aye
Vice-Chair Stevenson	Nay
Chair Robas	Aye

Motion carried.

At this point Case 5.4 PAB 2023-0040 was presented first.

5.2 PAB CASE 2023-0041 - COMPREHENSIVE PLAN TEXT AMENDMENTS - TO SUPPORT COMMERCIAL DEVELOPMENT AND REDEVELOPMENT OPPORTUNITIES TO ALLOW REASONABLE REINVESTMENT IN EXISTING COMMERCIAL PROPERTIES BY SPECIFICALLY MODIFYING THE FUTURE LAND USE ELEMENT POLICY 1.08.05 (STANDARDS FOR DESTINATION ACTIVITY CENTERS OR CONVERSION OF EXISTING CONVENTIONAL SUBURBAN SHOPPING CENTERS) AND MODIFYING OR STRIKING THE MULTIMODAL TRANSPORTATION ELEMENT POLICIES 2.13.06 (REQUIRED PLACEMENT

OF PARKING), 2.13.08 (VISUAL SCREENING OF PARKING), 2.13.11 (REQUIREMENTS FOR PERVIOUS PARKING MATERIALS).

Ms. Gibson presented PAB case 2023-0041 and 2023-0039 contiguously and explained the amendments to all policies and LDC code sections, and recommended approval.

ACTION TAKEN: A motion was made by Member Gillette, seconded by Member Bennett to recommend approval of PAB case 2023-0041 Comprehensive Plan Text Amendments to the City Commission; AND that PAB case 2023-0041 as presented is sufficiently compliant with the Comprehensive Plan and Land Development Code and applicable Florida Statutes to be approved at this time.

Vote upon passage of the motion was taken by Ayes and Nays, and being all ayes, carried.

5.3 PAB CASE 2023-0039 - LAND DEVELOPMENT CODE TEXT AMENDMENTS -
TO SUPPORT COMMERCIAL DEVELOPMENT AND REDEVELOPMENT OPPORTUNITIES TO ALLOW REASONABLE REINVESTMENT IN EXISTING COMMERCIAL PROPERTIES BY SPECIFICALLY ADDING DEFINITIONS IN SECTION 1.07.00 (ACRONYMS AND DEFINITIONS) FOR ADAPTIVE REUSE, DEVELOPMENT AND DEVELOPMENT ACTIVITY, INFILL DEVELOPMENT, REDEVELOPMENT, AND GREENFIELD DEVELOPMENT, TO AMEND SECTION 6.04.01 STANDARDS FOR LARGE SCALE COMMERCIAL DEVELOPMENT SPECIFICALLY CHANGING POLICIES FOR MAXIMUM GROSS FLOOR AREA, CREATING ALLOWANCE FOR EXPANSION OF NON-CONFORMING STRUCTURES, PARKING MATERIALS, LOADING DOCKS, TO AMEND SECTION 7.01.04(C)(2) PARKING LOT DESIGN REQUIREMENTS, PARKING MATERIALS; TO AMEND SECTION 7.01.06 LOADING SPACE STANDARDS AND DESIGN TO ADD CRITERIA FOR REDEVELOPMENT PROJECTS, MODIFYING SECTION 10.01.02 TO ALLOW REASONABLE EXPANSION OF NON- CONFORMING COMMERCIAL DEVELOPMENT.

Ms. Gibson presented PAB case 2023-0041 and 2023-0039 contiguously, explained the amendments to all policy, and LDC code sections and recommended approval.

Member Gillette asked about Section 1.07.00. Ms. Gibson expanded on the adaptive reuse definition and redevelopment definition.

Vice-Chair Stevenson asked about LDC Chapter 7 and asked who sets parking requirements. Ms. Gibson noted that these are set locally. Members discussed the impact of these amendments on parking expansion requirements for adaptive reuse and their redesign.

Asa Gillette, Gillette & Associates, 24 S. 2nd Street, spoke about his experience dealing with pervious material and the cost of the improvement while not really creating a positive change to the percolating aspect, especially with re-designing of parking lots. With members discussing parking issues further, Ms. Gibson suggested that Parking Standards could be addressed at a later date, with the last parking standards review having been done back in 2011.

Ms. Gibson explained that the Board would vote on both the LDC and Comprehensive Plan mirrored components which would be presented to the City Commission for consideration for 1st Reading. Upon approval, the Comprehensive Plan amendments would be routed to the State for approval, and once approved by the State routed back to the City Commission for 2nd Reading.

Chair Robas asked how we currently meet the impervious requirements. Ms. Gibson provided the information.

Public Hearing was opened.

Julie Ferreira, 501 Date Street, spoke of needed visual in regard to size of structures vs its requirements for parking. She also spoke of vegetative berms and loading docks distance to residential areas.

DRAFT

Betsie Huben, 4615 Philip Manor Place, also spoke of needing visual and of pervious material requirements.

Janet Ancrun, 1901 Island Walk Way, spoke on behalf of Council on Aging, and inquired about the impact of an approval of these changes regarding their upcoming pavilion project.

Tim Everley, 1901 Island Walk Way, spoke on behalf of the Council on Aging, also spoke of the impact of these changes on their upcoming project.

Member Gillette spoke of the current punitive pervious code for redevelopment.

Ms. Bach offered the Board members a different perspective by separating the different types of development and spoke of 3 categories: adaptive reuse, redevelopment and new development.

Kim Wolford, 1315 Broome Street, spoke of the purpose of making this change.

Mike Hertzberg, 1 Sleiman Parkway, Jacksonville, spoke of existing commercial development maintenance and the restrictive requirements for re-development.

Chair Robas inquired about the possibility for a tenant to double their footprint by acquiring an adjacent space and then exceeding the maximum square footage. Some Member opined that 60,000 sqft should be the maximum allowed footprint vs the proposed 55,000 sqft.

Jack Imber, 1003 Broome Street asked about the impact of this change on the Waterfront Development and opined that these code changes are premature considering the current economy.

Chair Robas voiced concern regarding the loading docks and the impact of noise close to a residential area. Ms. Gibson explained the current requirements of 40 feet to a property line.

Julie Ferreira, 501 Date Street, spoke of the Board's decision impacting the future.

At this point, the Board moved to item 6.

ACTION TAKEN: A motion was made by Member Gillette, seconded by Member Bennett to recommend approval of PAB case 2023-0039 Land Development Code Text Amendments to the City Commission; AND that PAB case 2023-0039 as presented is sufficiently compliant with the Comprehensive Plan and Land Development Code and applicable Florida Statutes to be approved at this time.

Vote upon passage of the motion was taken by Ayes and Nays, and being all ayes, carried.

5.4 PAB CASE 2023-0040 - LAND DEVELOPMENT CODE TEXT AMENDMENTS - TO MODIFY 10.02.02 (A) REQUIRED FINDINGS FOR GRANT OF A VARIANCE TO REMOVE THE CRITERIA FOR SPECIAL PRIVILEGE AND TO ALLOW A VARIANCE TO BE APPROVED WITH A SUPERMAJORITY OF THE CRITERIA BEING MET.

This case was presented after item 5.1.

Chair Robas suggested that this case be continued to the June 14, 2023 meeting so this topic can be discussed during a Joint Meeting on April 27, 2023 with all of the PAB, HDC and BOA members.

ACTION TAKEN: A motion was made by Member Stevenson seconded by Member Bennett to continue the PAB case 2023-0040 to the PAB regular meeting of June 14th, 2023.

Vote upon passage of the motion was taken by Ayes and Nays, and being all ayes, carried.

DRAFT

At this point Item 5.2 case PAB 2023-0041 was presented.

6. BOARD BUSINESS

6.1 Reminder of HDC/PAB Joint Special Meeting on Wednesday, April 26, 2023 at 5pm.

Chair Robas suggested that the PAB meet with the BOA in a Joint Meeting to discuss item PAB case 2023-0040, possibly May 17th or May 24th at 5:00 p.m. at the Chambers.

7. STAFF REPORT

8. PUBLIC COMMENT

Joan Corey, 408 Beech Street, asked about the Tringali property. It was explained that the Board's recommendation from December 2022 stands and is moved to the CC commission for consideration at their regular meeting of May 16th, 2023.

Tina Christner, 406 Beech Street, spoke of the trust between government and citizens regarding the change to the variance criteria.

Ms. Bach clarified that the change request for PAB case 2023-0040 regarding the removal of a variance criteria was initiated from the Board of Adjustment, not by Staff.

Ms. Gibson also clarified that all the Land Development Case Text amendments synopsis were available through each staff report and throughout the materials within the agenda packet.

Len Kreger, 1313 Hickory Street, emphasized the super majority change was important.

9. ADJOURNMENT 7:10 PM

Sylvie McCann, Recording Secretary

Victoria Robas, Chair



STAFF REPORT
PAB 2023-0042
Planning Advisory Board Hearing
May 10, 2023

APPLICATION FOR FUTURE LAND USE MAP + ZONING AMENDMENTS

*** All required application materials have been received. All fees have been paid. All required notices have been made. All copies of required materials are part of the official record and have been made available on the City's website and at the Department of Planning and Conservation. ***

APPLICATION & SURROUNDING AREA INFORMATION:

PARCEL ID # AND PROPERTY OWNER:	00-00-31-1760-0031-0020, City of Fernandina Beach				
APPLICANT/AGENT:	City of Fernandina Beach				
REQUESTED ACTION:	Future Land Use Map Amendment and Zoning Map Change				
LOCATION AND DESCRIPTION OF SITE:	S. Front Street: Water Lots 31-34, Known as "Lot D".				
CURRENT LAND USE + ZONING:	Industrial Waterfront & IW CRA Overlay				
PROPOSED LAND USE + ZONING:	Recreation (REC) and REC				
EXISTING USES ON SITE:	Pétanque Courts, Marine Docks				
PROPERTY SIZE:	3.65 Acres				
ENVIRONMENTAL CHARACTERISTICS:	<u>Flood zone</u>	<u>Potential Wetlands</u>	<u>Avg. Topography</u>	<u>Soil Type</u>	<u>Coastal Upland Protection Zone</u>
	(SFHA): VE/AE	Yes	3.5'	Water, Mucky Peat, Tidal	No
ADJACENT PROPERTIES:	<u>Direction</u>	<u>Existing Use(s)</u>	<u>Year Built</u>	<u>Zoning</u>	<u>FLUM</u>
	North	Municipal	1990	I-W	I-W
	South	Vacant Industrial	N/A	I-W	I-W
	East	Vacant Gov (Front Street ROW)	N/A	N/A	N/A
	West	Amelia River	N/A	N/A	CON
APPLICABLE COMPREHENSIVE PLAN	1.02.04 (FLUM amendments); 1.02.09 (smooth land use transition and buffering); 1.07.13 (Industrial Waterfront (IW) land use category); 1.07.14 (Recreation (REC))				



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POLICIES:	land use category; Objective 6.05. Open Space; Policy 6.05.02 5.14.09 (LDC Standards for development of environmentally sensitive and conservation lands); 6.02.06 (level of service for parks); Reference: www.fbfl.us/Compplan
APPLICABLE LAND DEVELOPMENT CODE SECTIONS:	2.00.03 (Establishment of district boundary); 2.01.16 Waterfront Industrial (I-W) 2.02.04 Community Redevelopment Area Overlay 4.05.00 (Landscaping, Buffers, and Tree Protection); 11.01.07 (Zoning Map Amendments); and 11.03.03 (Procedures for Action of the Planning Advisory Board) Reference: www.fbfl.us/LDC
STAFF RECOMMENDATION:	Staff finds the requested amendments to be sufficiently compliant with the Comprehensive Plan, Land Development Code, and established City Commission Goal to increase conservation land use and zoning acreage. Staff recommends approval of the request.

Existing Land Use, Zoning & Overlay

The subject parcel, located on South Front Street, lots 31-34, also known as "Lot D," is a city-owned property that currently houses pétanque courts and dock/marina uses. The existing land use and zoning designation is Industrial Waterfront (I-W) and is within the Community Redevelopment Area (CRA). The I-W zoning/land use allows for a range of industrial and commercial uses, including sea plane dockage and parking, marine recreation, marine supply, and more. The CRA Guidelines provide direction on development and design within the CRA and take precedence over the underlying land use and zoning. The Community Redevelopment Area (CRA) Overlay identifies priority areas for coordinated redevelopment and revitalization activities, with an emphasis on infrastructure improvement and commercial development. Lot D is within the "Public Waterfront Park Design Area" as defined within the CRA guidelines, which prioritize retaining the designation as an Industrial Waterfront Land Use area, conserving panoramic views of the River, guaranteeing public pedestrian access to the River, and supporting marina functions, daily public use, and special events.

Proposed Land Use, Zoning

The proposed zoning change for Lot D is from Industrial Waterfront (I-W) to Recreation (REC), (the CRA Overlay would remain applicable). The Recreation (REC) district is designed for land that will be used as public or private parks and recreation facilities. This zoning would allow for the development of recreation-based uses on the property, including cemeteries, clubs, community and recreation centers, day care centers, golf courses, marine recreation, parks, trails, picnic areas, and nature facilities. The zoning would also permit outdoor and indoor amusement facilities, subject to supplemental standards. A stormwater treatment park/facility is another permitted use. Although the proposed Recreation (REC) zoning primarily allows for public and recreational uses, it permits certain commercial activities such as indoor and outdoor amusements, including billiard parlors, bowling alleys, game rooms, and skating rinks, subject to supplemental standards.

Conclusion:

The proposed change in zoning/land use was discussed at the City Commission CRA Executive Board meeting on April 18, 2023, and the CRAB meeting on October 5, 2022. Based on the information presented at these meetings, the proposed zoning/land use change from Industrial Waterfront (I-W) to Recreation (REC) would limit the allowable uses of the property and prevent some commercial development. The proposed zoning aligns with



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the community's and city commission's sentiment to limit commercial development in the area. While the proposed Recreational land use/zoning mostly aligns with the existing CRA guidelines by providing public spaces for residents and visitors and permitting certain commercial activities, this change in land use does conflict with Section 1 of the CRA Guidelines for the Public Waterfront Park Design Area (Water lots 1, 25-34), which prioritizes retaining the designation as an Industrial Waterfront Land Use area.

APPLICABLE CRA DESIGN GUIDELINES SECTIONS:

4.1 PUBLIC WATERFRONT PARK DESIGN AREA (WATER LOTS 1, 25-34)

Punctuated by a few landscape elements such as trees, several small buildings, and a privately run restaurant located dockside, this design area must support active maritime activities which range from boat docks and related services such as fueling stations and adhoc boat repair areas to open public spaces for daily use and seasonal events, as well as parking for cars, trucks, boat trailers and other vehicles (fig. 4.2). Due to the public nature of this area, it provides a panoramic view of the water. All additions to this area, from fences to buildings, must be carefully considered in terms of placement and degree of transparency as they affect view of the water and the city.

General

1. Retain designation as an Industrial Waterfront Land Use area.

2. Conserve panoramic views of the River.
3. Guarantee public pedestrian access to the River.
4. Support marina functions, daily public use, and special events.

APPLICABLE LDC SECTIONS:

2.01.16 Waterfront Industrial (I-W)

The I-W District is intended for the development of water dependent and water-related manufacturing, assembling, storage, distribution, sales, and port operations that are generally high intensity. The Waterfront Industrial District recognizes existing industrial development with locations that have access to transportation facilities by air, rail, ship, or highway. The designation of land for the I-W District shall be based on compatibility with surrounding land uses, considering environmental sensitivity, intensity of use, hours of operation, heat, glare, fumes, noise, and visual impacts.

2.02.04 Community Redevelopment Area Overlay

The Community Redevelopment Area (CRA) Overlay is intended to provide for and identify priority areas for coordinated redevelopment and revitalization activities. The CRA Overlay encourages improvement of infrastructure and commercial development. The CRA Overlay Boundaries are incorporated by reference through City of Fernandina Beach Resolution 2006-28. (See Chapter 8 regarding guidelines for development in the CRA.)

Allowable uses I-W:

- | | |
|---|--|
| - Sea Plane Dockage and Parking | - Government and Civic Buildings, including Library and Museum |
| - Commercial Fishing Facilities | - Liquor Store, Lounge, and Bar (without drive-through window) (subject to supplemental standards) |
| - Construction, Sales, and/or Maintenance of Boats and Ships | - Manufacturing and/or Assembly -Light, Manufacturing and/or Assembly – |
| - Marine Supply | - Water Related, Marina (subject to supplemental standards) |
| - Commercial Fishing Facilities, Distribution | |
| - Packing, and Shipping | |
| - Drug Store or Pharmacy | |
| - Essential Public Services, such as Transmission Lines and Lift Stations | |



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- Marine recreation, such as kayak or boat rentals, sailing schools, etc,
- Garages
- Parks
- Public Recreation Buildings
- Railroad Facilities
- Research, Education, and Development Facilities
- Restaurant, With or Without Drive- Through Window
- Retail Stores, Specialty Food Stores, such as Bakeries or Ethnic Grocers, Specialty and Gift Shops such as Art, Antique, or Jewelry Shops, Books, or Stationers
- Stormwater Treatment Park/Facility
- Theaters, Movie or Performing Arts
- Terminals for Freight or Passengers, By Ship
- Utility Facilities, such as Electric Substations, Water and Wastewater Treatment Plants
- Warehouse, not Including MiniStorage

Allowable uses REC:

- Cemeteries
- Clubs, Public or Private
- Community and Recreation Centers
- Day Care Center
- Essential Public Services, such as Transmission Lines and Lift Stations
- Golf Course
- Marine recreation, such as kayak or boat rentals, sailing schools, etc
- Parks, Public, Parks, Private or with Stadium Style Lighting (subject to supplemental standards)
- Picnic Areas, Trails, and Nature Facilities (subject to supplemental standards)
- Recreation, Outdoor Amusements, such as Miniature Golf or Fishing Piers, Excluding Amusement Parks and Drive-in (subject to supplemental standards)
- Recreation, Indoor Facilities, such as Billiard Parlors, Bowling Alleys, Game Rooms, and Skating Rinks (subject to supplemental standards)
- Stormwater Treatment Park/Facility
- Marinas

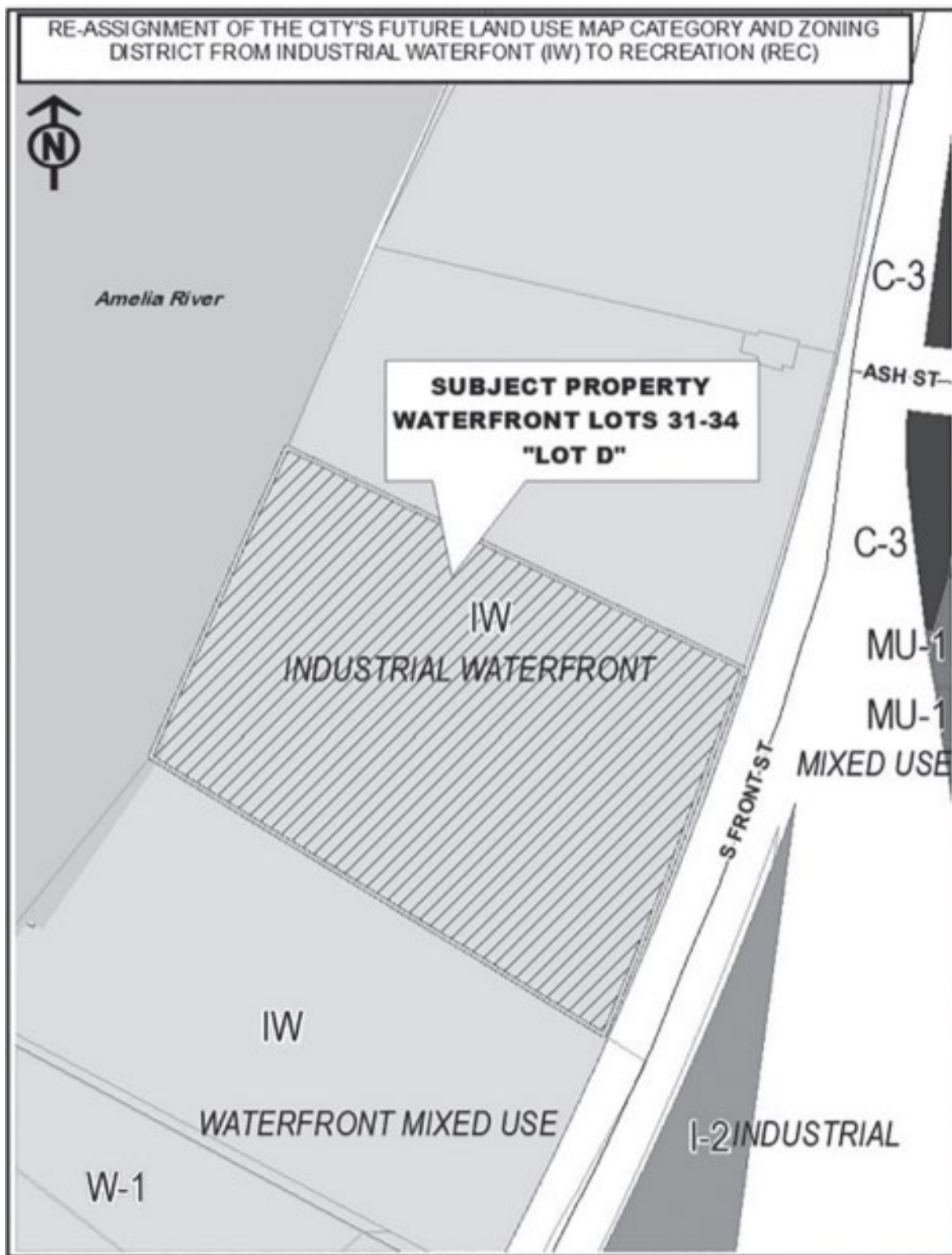
Respectfully Submitted by:

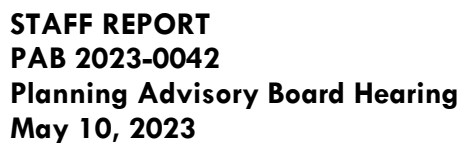
Daphne Forehand
Planner I



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PROPERTY BOUNDARY

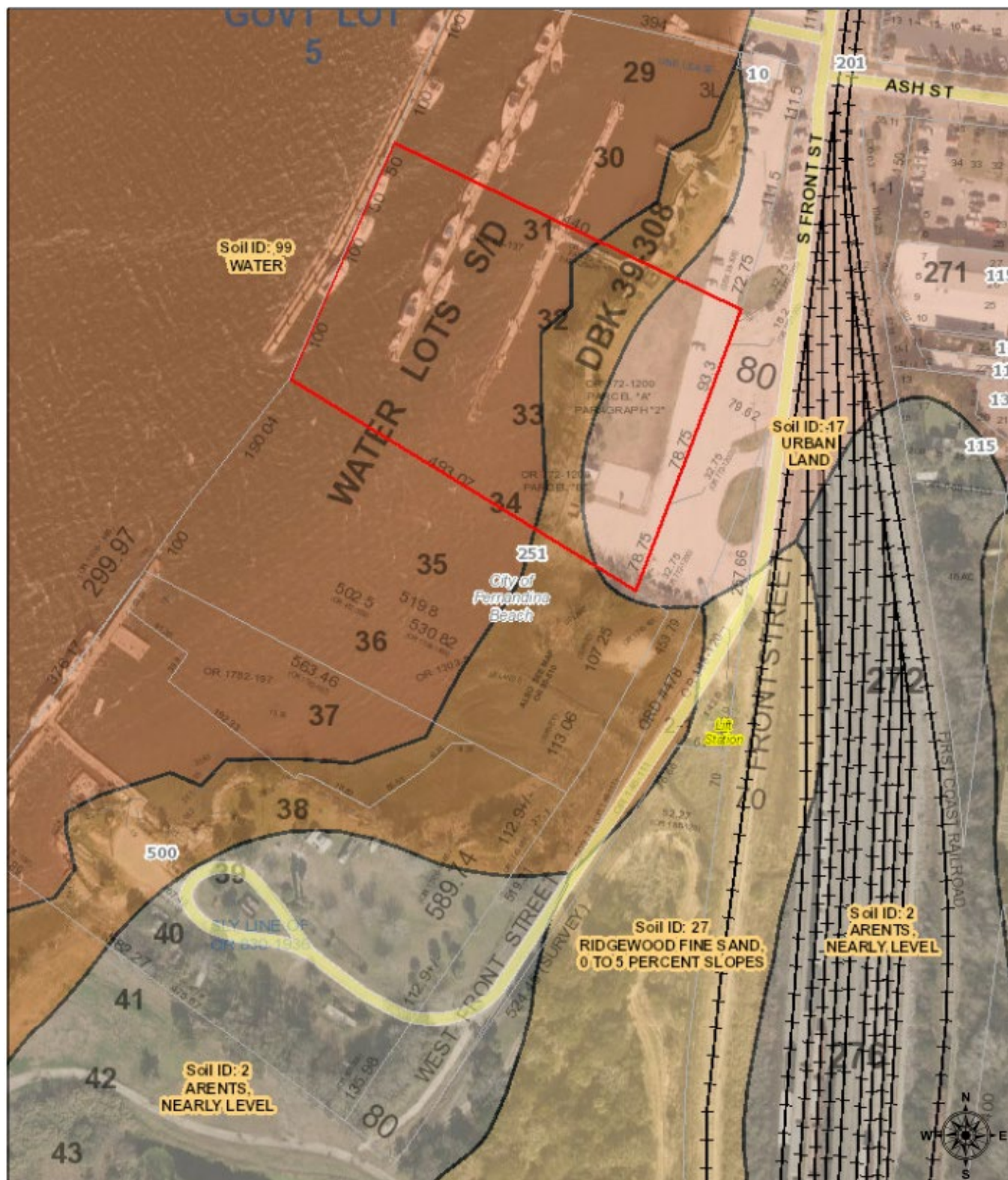






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SOILS

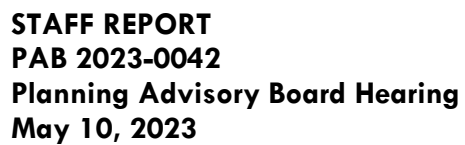




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TOPOGRAPHY

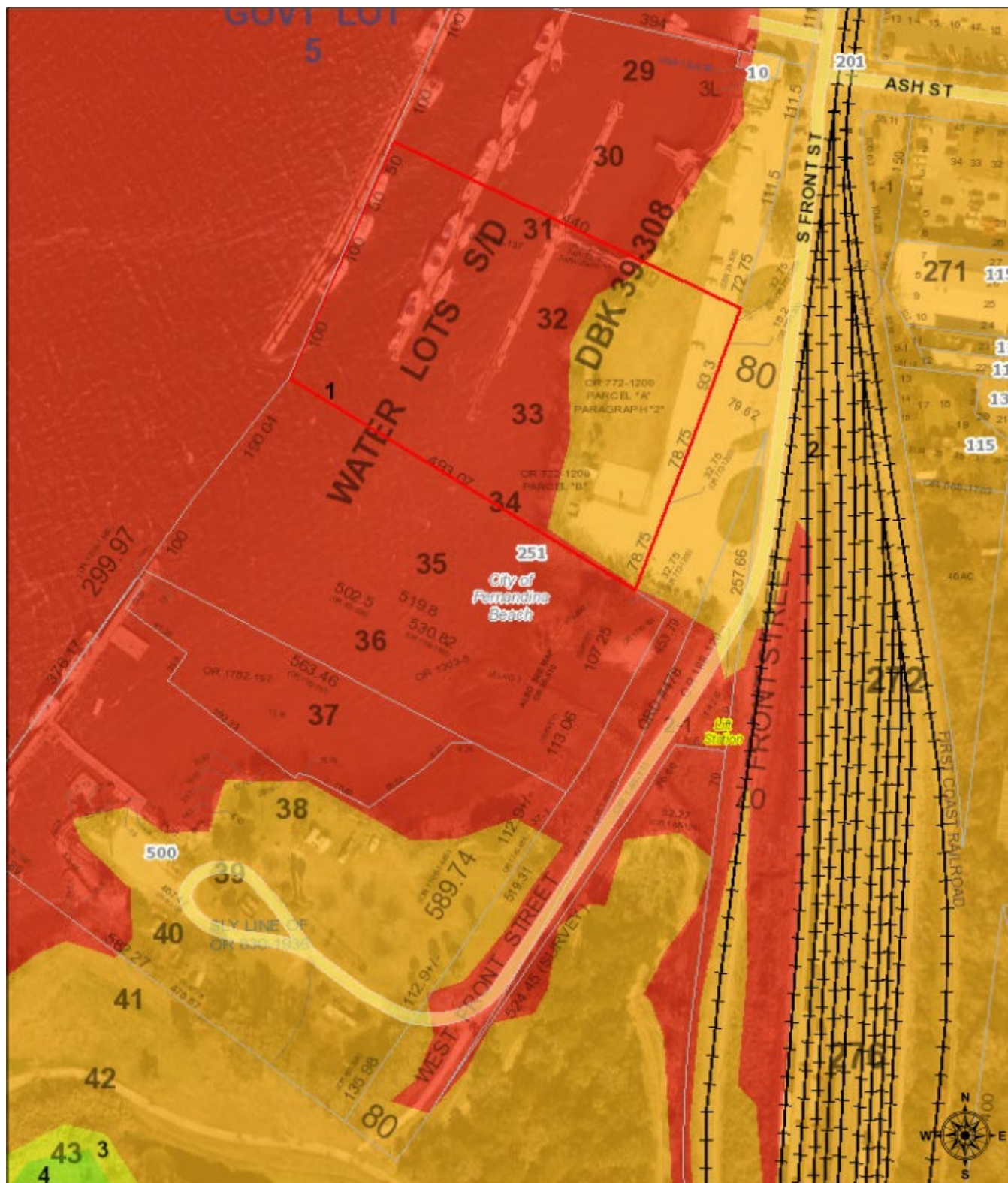






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STORM SURGE ZONE (COASTAL HIGH HAZARD AREA DEFINED AS CATEGORY 1 ZONE)



Print

Planning Advisory Board (PAB) - Submission #11438

Date Submitted: 5/2/2023

Planning Advisory Board (PAB) Application

USE THIS FORM TO Request actions to affect changes to property (zoning changes, annexations, allowable uses, subdivisions).

Fees

Once application is submitted it will be reviewed for completeness. Once verified complete, an invoice will be emailed to the applicant.



Zoning Map Amendment (≤ 10 acres \$2,500 / > 10acres \$5,000)



Land Use Map Amendment (≤ 10 acres \$2,500 / > 10acres \$5,000)



LDC Text Amendment (\$1,500)



Comp Plan Amendment (\$5,000)



Subdivision Plat " Preliminary (≤ 20 units \$3,000 / > 20 units \$5,000)



Subdivision Plat " Final (\$1,500)



Vacation of R.O.W. (\$3,500)



Small Cell Outside R.O.W. (per application) (\$500)



Voluntary Annexation (\$2,000)



Development of Regional Impact: Amend Development Order (\$1,500)



New Telecommunications Structure (\$2,000)



Revision to each PAB Application - 1/2 cost of original application fee (To offset additional display ad fee)

PAB 2023



IMPORTANT NOTES

Pre-Application Meeting

To guide you through the process and ensure that your application is understood and properly processed, youâ€™ll need to meet with a City Planner prior to submitting your application. Completed applications are due 30 days prior to the Planning Advisory Board meeting date.

Please see the Land Development Code (LDC) for detailed information:

☐

LDC Text Amendment “ see LDC Section 11.01.08.

☐

Preliminary Subdivision Plat “ see LDC Section 11.01.05.

☐

Final Subdivision Plat “ LDC Section 11.01.05.

☒

Zoning Map Changes “ See LDC Section 11.01.07.

The LDC is available for review at

www.fbfl.us/LDC

Application Requirements

☐

A complete application filed at least forty-five (45) days before the date of the Planning Advisory Board’s public hearing;

☐

Proof of Ownership (copy of deed or tax statement);

☐

A current survey of the property (no older than two years);

☐

If applying as an agent, Owner’s Authorization for Agent Representation form needs to be signed/ notarized and included in application;

☐

A detailed letter of intent stating the following:

☐

o The consistency of the proposed amendment(s) or action(s) with the City’s Comprehensive Plan.

☐

o A justification for the proposed amendment(s) or action(s).

Have you met with a planner for a pre-application meeting?*

Yes

What was the date of your pre-application meeting?*

4/21/2023

If you have yet to have a pre-application meeting, please choose a date and time to schedule your meeting now. Every Tuesdays are reserved for pre-application appointments.*

PROPERTY INFORMATION

[Property information can be found at the Nassau County Property Appraiser’s Website’s Map Search](#)

Site Address*

Lots 31-34 / Lot D, S. Front Street

City*

Fernandina Beach

State*

FL

Zip*

32034

Parcel ID #(s)*

00-00-31-1760-0031-0020

Lot*

31-34

Block*

n/a

Subdivision*

n/a

Zoning District*

IW

Future Land Use Designation*

Industrial Waterfront

REVIEW TYPE*

☒

Zoning Map Amendment ≤ 10 acres

☒

Zoning Map Amendment > 10 acres

☐

LDC Text Amendment

☐

Comp Plan Amendment

☐

Subdivision Plat “ Preliminary ≤ 20 units

☐

Subdivision Plat “ Preliminary > 20 units

☐

Subdivision Plat “ Final

☐

Vacation of R.O.W.

☐

Voluntary Annexation

☐

Revision to PAB Application

OWNER OF RECORD

As recorded with the Nassau County Property Appraiser

First Name*

Charlie

Last Name*

George

Company (if applicable)

City of Fernandina Beach

Mailing Address*

204 Ash Street

City*

Fernandina Beach

State*

FL

Zip*

32034

Telephone Number*

904-310-3480

Email Address*

planninginfo@fbfl.city

OWNER'S AGENT

If other than owner. If an agent will be representing the owner, an Owner’s Authorization For Agent Representation form must be included

First Name

Kelly

Last Name

Gibson

Mailing Address

204 Ash Street

City

Fernandina Beach

State

FL

Zip

32034

Telephone Number

904-310-3480

E-mail Address

planninginfo@fbfl.city

PROJECT INFORMATION

Previous Planning/Zoning Approvals

Summary of Request (more detailed information to be provided in required letter of intent)*

FLUM & ZONING MAP CHANGES

Certification*



By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.



I acknowledge that I understand and have complied with all of the submittal requirements and procedures.

I/We understand that the City Staff may install a Notice of Hearing sign on the property 14 days before the scheduled hearing and that the sign must only be removed after the hearing by City Staff, unless, the applicant or property owner brings the Notice of Hearing back to City Hall.

Applicant First Name*

Charlie

Applicant Last Name*

George

Today's Date*

5/2/2023

Upload Supporting Documentation*

2023-0042.pdf



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DEPARTMENT OF PLANNING & CONSERVATION

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4.0 CRA DESIGN GUIDELINE AREAS

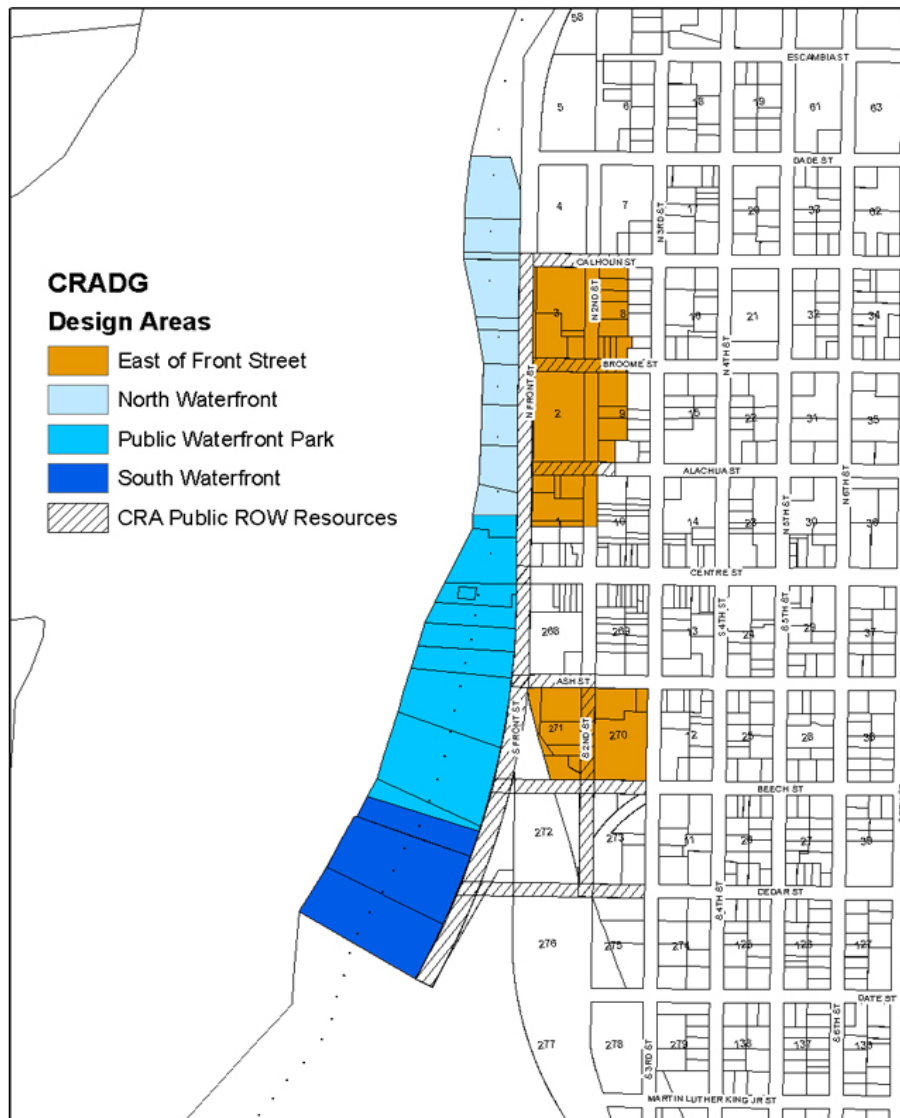
The CRA is divided into 4 Design Areas each with its own specific set of rules. Some guidelines are consistent throughout the districts, so these are repeated in each section to avoid searching through the entire document for the relevant information. After locating a project on the CRA map, property owners and designers can refer principally to that section. Sections 4.1-4.3 particularly emphasize the importance of retaining views of the river and views of the city from the waterside, one of the key goals of the guidelines (fig. 4.1)

4.1 Public Waterfront Park Design Area

4.2 North Waterfront Design Area

4.3 South Waterfront Design Area

4.4 East of Front Street Area



(fig. 4.1) Map of the 4 CRA Design Areas and Public Right of Way (ROW) resources.

4.1 PUBLIC WATERFRONT PARK DESIGN AREA (WATER LOTS 1, 25-34)

Punctuated by a few landscape elements such as trees, several small buildings, and a privately run restaurant located dockside, this design area must support active maritime activities which range from boat docks and related services such as fueling stations and adhoc boat repair areas to open public spaces for daily use and seasonal events, as well as parking for cars, trucks, boat trailers and other vehicles (fig. 4.2). Due to the public nature of this area, it provides a panoramic view of the water. All additions to this area, from fences to buildings, must be carefully considered in terms of placement and degree of transparency as they affect view of the water and the city.

General

1. Retain designation as an Industrial Waterfront Land Use area.
2. Conserve panoramic views of the River.
3. Guarantee public pedestrian access to the River.
4. Support marina functions, daily public use, and special events.

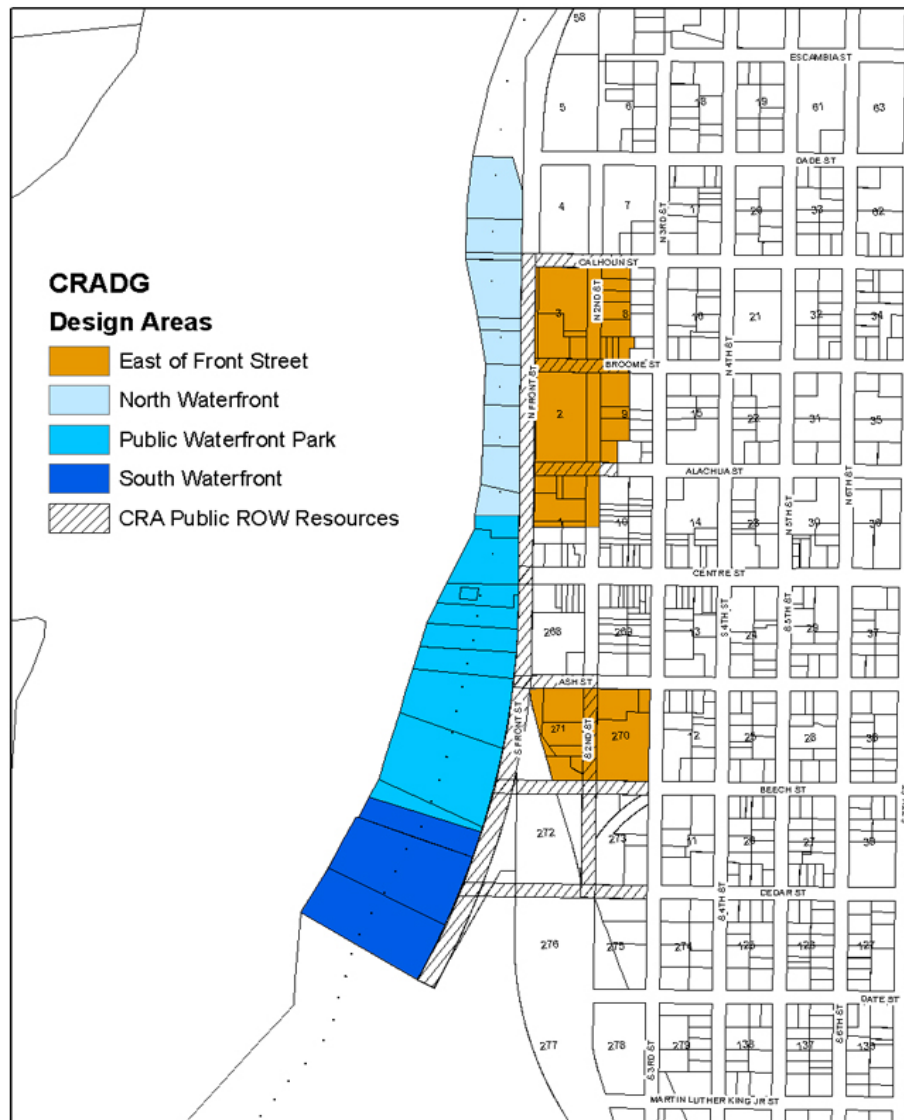


(fig. 4.2). View of the Marina looking North across an area of marsh grass.

View Corridors

Guidelines

1. 30 foot view corridors that align with existing east-west rights of way at Centre, Ash, and Beech shall be maintained.
2. View corridors shall remain open to the sky and shall not include any permanent parking areas, accessory structures, or mechanical equipment. Parking for loading and unloading is allowed within these areas as called for in the Park Master Plan.
3. All surfaces within this Design Area (fig. 4.3) shall be pervious.
4. Trees and other vegetation are allowed in these corridors to provide shade and to frame views of the water and the city, provided that they do not completely block views of the water.



(fig. 4.3) Public Waterfront Design Area (medium blue).

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Note:

Existing structures which are deemed non-conforming are protected by Section 10.01.00 of the Land Development Code. This includes structures that encroach into the required view corridors. The Structures may be maintained and continued subject to non-conforming allowances provided in Section 4.03.03 of the LDC. (figs. 4.4, 4.5)



(fig. 4.4). Existing Structure in View Corridor at Front and Ash.



(fig. 4.5) Existing monument in View Corridor at Front and Centre.

Waterfront Public Space

The Public Waterfront Design Area contains one of the most significant but underdeveloped public spaces on Amelia Island. Its success as a space essential to residents and visitors is dependent on how it supports a multitude of functions under many seasonal conditions. Waterfront programming and design of park elements should provide protection from the radical changes of weather that occur on the Island during the course of the seasons. Waterfronts that can thrive in year-round conditions will reap the benefits of greater economic activity and higher attendance at public facilities.

The waterfront park should be viewed not as a static, self-contained destination, but as an important connection to other places in the city such as the Historic District, Central Park, Main Beach, and the Egan's Creek Greenway. This design area is connected to the most important public space of Fernandina- the Amelia River and the Intracoastal Waterway. All planning, design, and management efforts should reinforce connections to the water and the city to strengthen community identity.

Recommendations

1. Strive for ongoing public involvement in the evolution of the waterfront through continued design workshops conducted by experts.
2. Insure multiple pedestrian connections to the water and the city.
3. Provide more shade and shelter from the elements to improve all-season use.
4. Avoid "light pollution" during the evening which interferes with enjoyment of the waterside.
5. "Manage, manage, manage"- constant attention to maintenance and adherence to guidelines is required.



(fig. 4.6) Plan for lots C and D of the Public Waterfront Design Area.

Provide more shade

Savannah Bean, middle school recipient of the “If I were Mayor for a Day” contest (April 2007) declared: “What’s an Island without Shade”- an appropriate design guideline for the Waterfront park.

Recommendations

1. More shade shall be provided in the Waterfront Park Plan.
2. Use of landscape elements such as canopy trees and artificial canopies within the park will create “islands of shade” which naturally attract people and lower reflected heat levels (figs. 4.7, 4.8). These elements can also be designed to provide shelter during seasonal storms.



(fig. 4.7) Natural wood and stainless steel covered walkway.



(fig. 4.8) “Artificial trees” in a public space in Spain.

Accessory Park Structures

The park may eventually contain additional small structures, which include but are not limited to bathrooms, kiosks, pavilions, pergolas, and storage buildings and required railings. The following guidelines apply to new or existing accessory structures that will be replaced.

Guidelines

1. Structures shall be appropriately scaled and strategically located to define public space and support the Waterfront Park Master plan and the CRADG requirements.
2. Structures shall respond to the maritime and industrial history of the waterfront area in terms of style, materials, and detail.



(fig. 4.9) Park pavilion with exposed structural system.



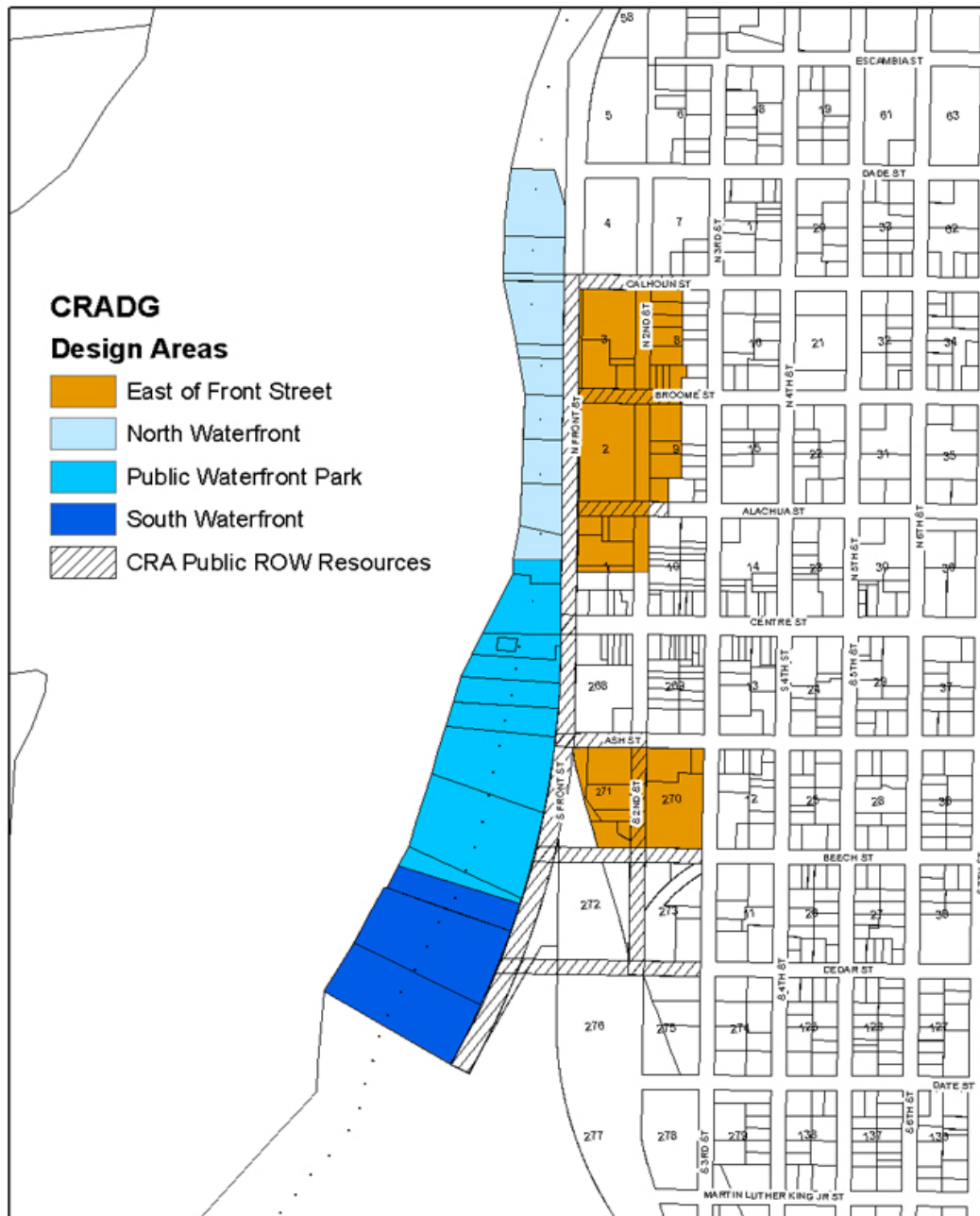
(fig. 4.10) Garden pavilion with trellis.



(fig. 4.11) "Cable rail" style railings that provide minimal view interruption and maintains nautical waterfront theme.

4.2 NORTH WATERFRONT DESIGN AREA (WATER LOTS 2-9)

All guidelines in this section stress the importance of retaining views of the river and views of the city from the waterside. In order to preserve view corridors and pedestrian access to the Amelia River, three types of view corridors are introduced. Designers are encouraged to develop creative ways of meeting or exceeding pedestrian access requirements to the water.



(fig. 4.12) North Waterfront Design Area (light blue).

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General

1. All construction is exempt from LDC Section 3.01.02(J), as well as the required 50-foot buffer from a natural water body as established in LDC Section 3.03.03(B).
2. Properties that have obtained the Waterfront Mixed Use Future Land Use designation are eligible for land uses in addition to those permitted in the Waterfront Industrial zoning and are specified in LDC Tables sec. 2.03.02 and 2.03.03.
3. Floor area ratio shall not exceed 0.75. The floor area ratio shall be calculated based on the entire platted lot including portions of the site which remain submerged.
4. Residential units are permitted only if the property has a FLUM category of WMU and the units are located above a non-residential use. Stand alone residential units are prohibited.

View Corridor Types

View corridors are defined as a three dimensional area extending out from a viewpoint. Historically, regardless of the degree of public access, the waterfront has been an important visual, cultural, and economic component of the city and the region, hence new construction must provide these corridors.

1. Side yard setbacks (required)
2. Mid-block corridors (required but flexible)
3. Pedestrian accessways (required but flexible)
4. Front and Rear setbacks (not required)

Public Access to all View Corridors

Accessways may be dedicated to public use through easements or dedication of right-of-way, or they may be retained under private ownership as permissive routes.

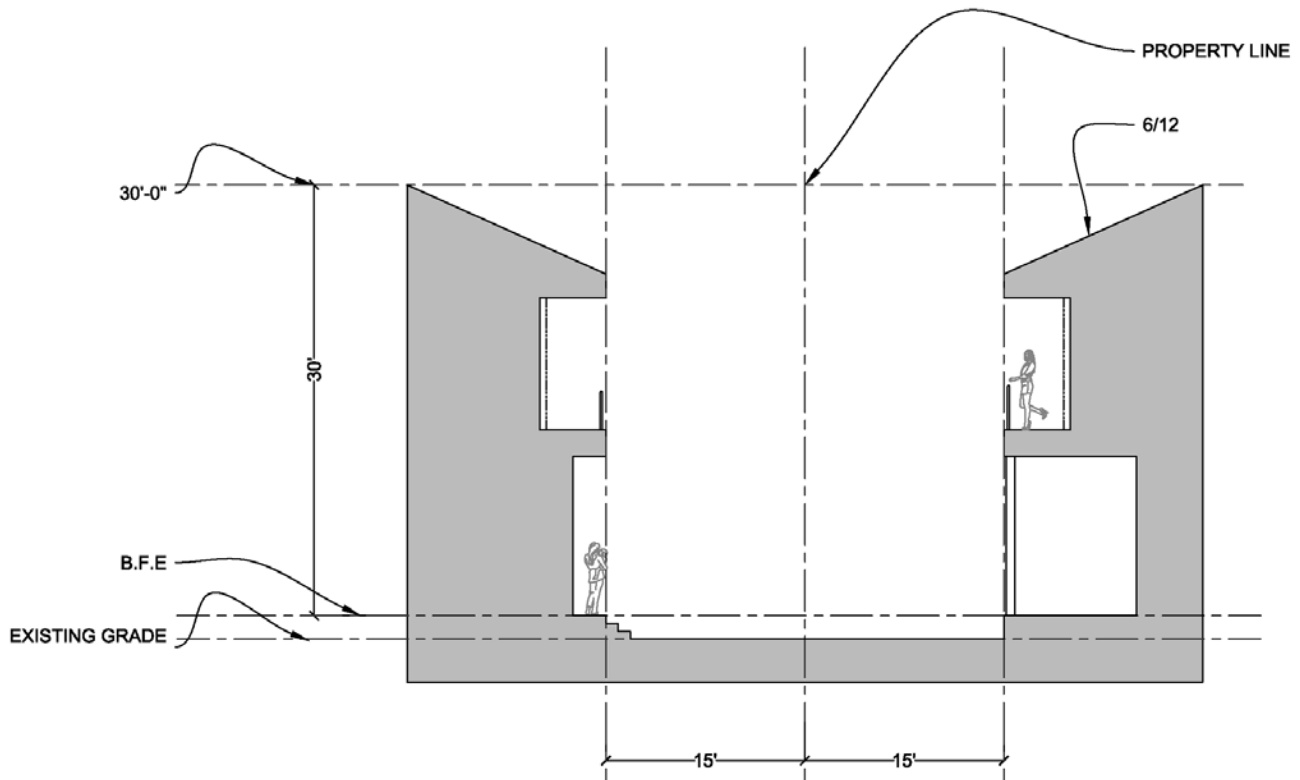
1. In either case, these accessways shall remain open to and accessible by the public.
2. If deemed necessary for security purposes, accessways closures may be permitted based on the posted operational hours of City beach access parking (exclusive of Main Beach or Seaside Parks).

Side Yard View Corridors

The Side Yard View Corridors are the principal public viewing spaces towards the water (and from the water to the city) in the North Waterfront Design Area. Side yard view corridors are setbacks from plat lines between two or more properties and shall be required in all cases, i.e., properties owned by a single entity and containing multiple platted lots shall provide view corridors between each platted lot.

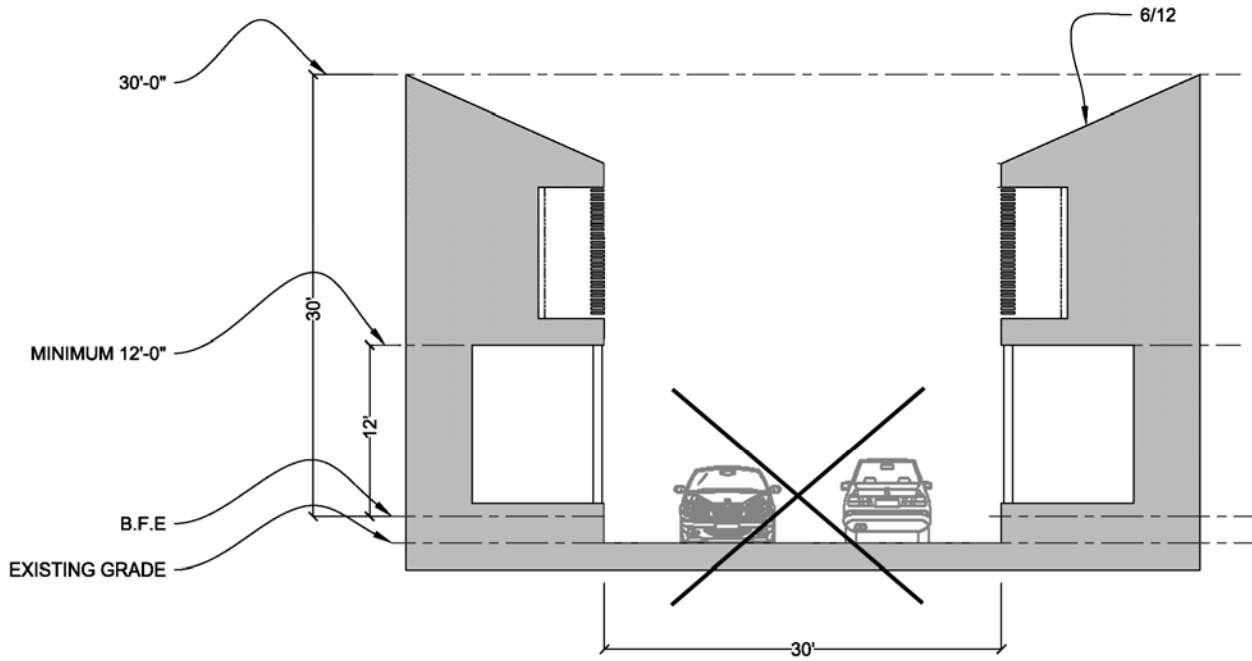
Guidelines

1. 15-foot side yard setback on each side yard of a platted lot shall be maintained for water lots located to the north of Centre Street (water lots 1 through 9). These locations provide for alignment with existing east-west rights-of-ways at Alachua, Broome, and Calhoun Streets. (fig. 4.13)
2. Side yard corridors shall remain open to the sky and shall not include any parking areas, accessory structures, or mechanical equipment. (fig. 4.14)
3. Allowable encroachments such as sills, belt courses, cornices, buttresses, ornamental features, chimneys, eaves, balconies and porches may project into the side yard up to 24 inches (LDC Sec. 4.03.03.D.5.A-Requires Amendment). (fig. 4.15)

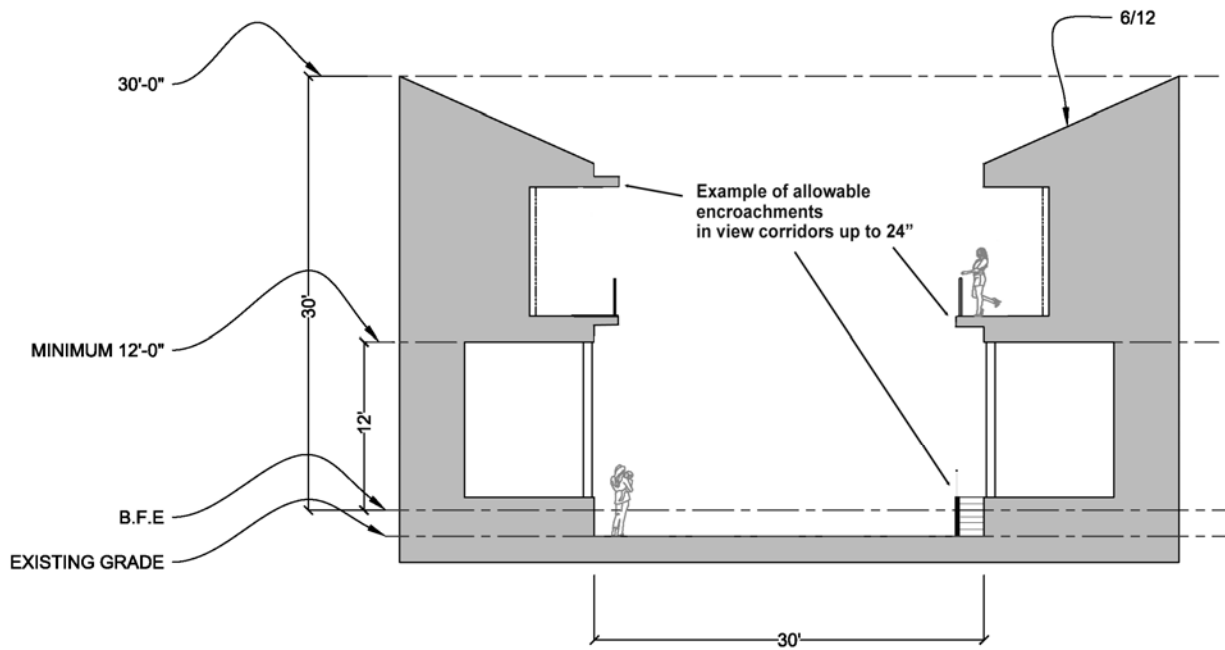


(fig. 4.13) Side Yard Setback dimensions.

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(fig. 4.14) Side Yard Setback restrictions.



(fig. 4.15) Side Yard Setback allowable encroachments.

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Limited Exceptions

1. Existing structures which are deemed non-conforming are protected by Section 10.01.00 of the Land Development Code. This includes structures that encroach into the required view corridors. The structures may be maintained and continued subject to non-conforming allowances provided in Section 4.03.03 of the LDC. (fig. 4.16).
2. Waterfront property dimensions which are too small to prevent access corridors from being applied (i.e. application of View Corridor rules renders the property unusable) may receive an exception or waiver of these requirements. These exceptions or waivers are considered unique and are not to set a precedent for future waivers.



(fig. 4.16) Existing Structures in View Corridor at Front and Beech (looking from Second Street).

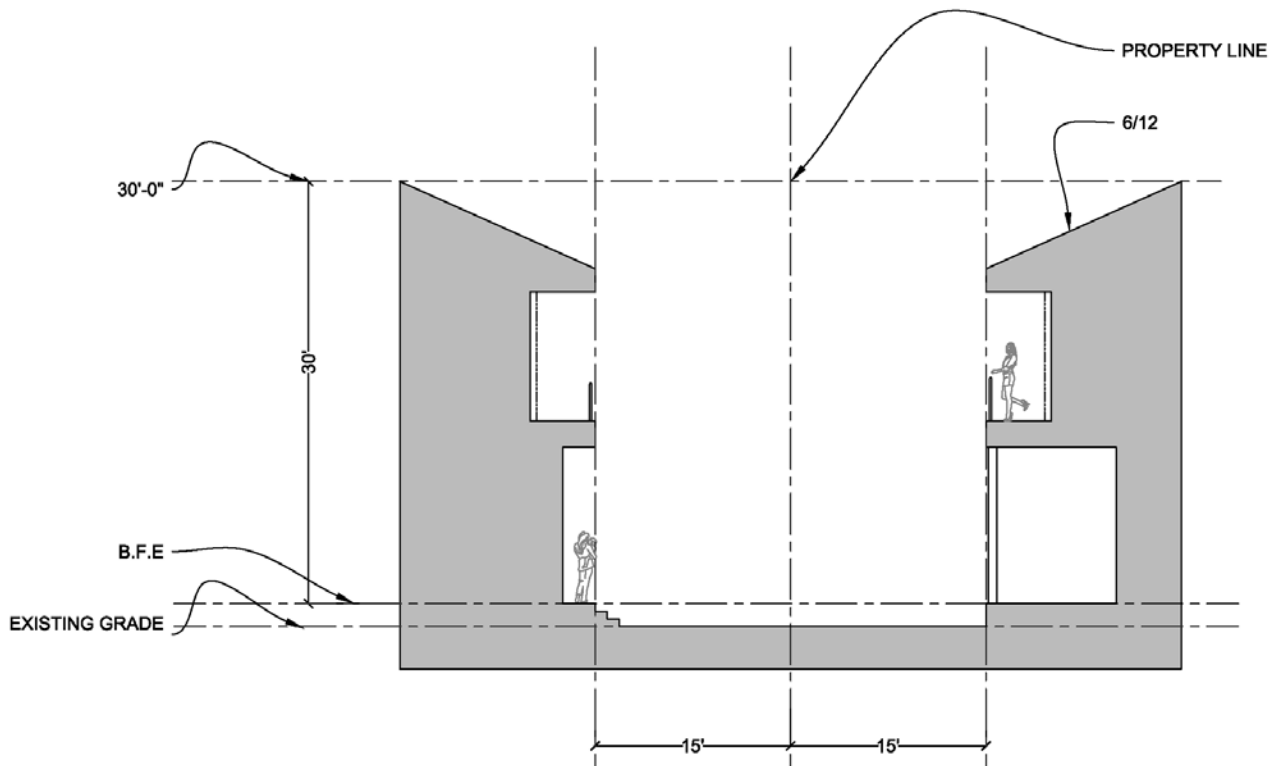
Mid-Block Corridors

30 foot mid-block corridors are required for any project on contiguous properties that span the width of entire city block along Front Street. The mid-block corridors may be shifted up to twenty (20) feet in either direction as may be warranted by the project design. Mid-block corridors shall not include any parking areas, accessory structures, or mechanical equipment.

Guidelines

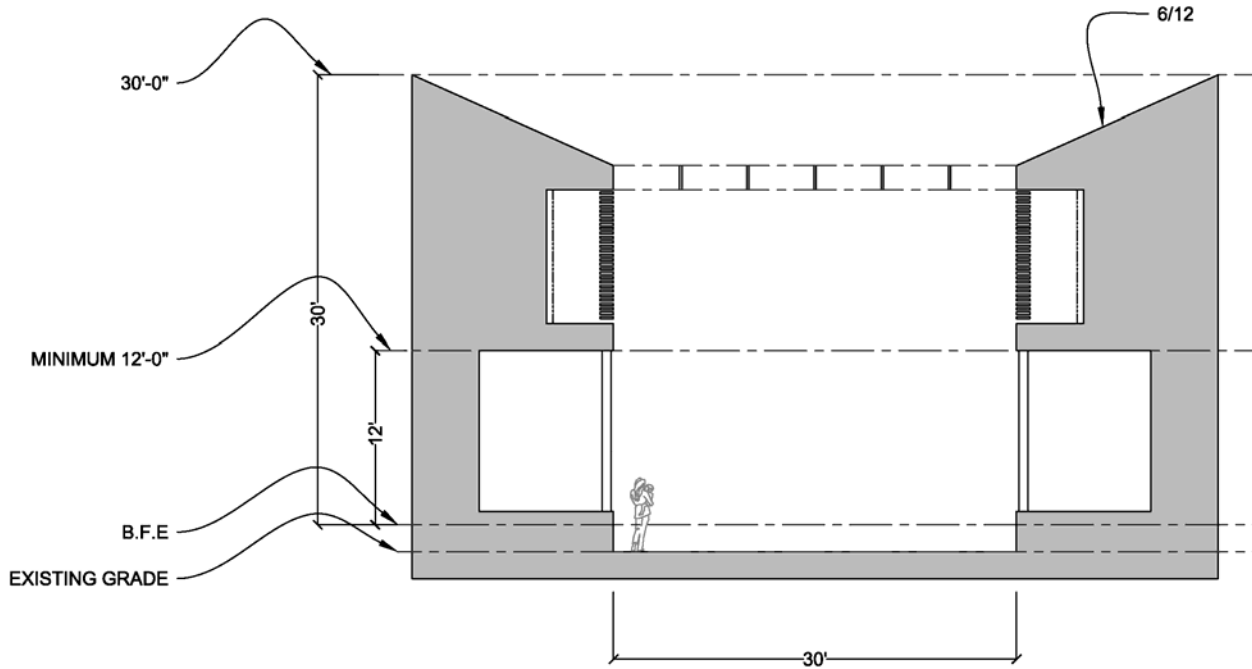
Three design approaches to the Mid-Block Corridors are illustrated below. The first example, corridors that are open to the sky, is preferred.

1. Open to the Sky (fig. 4.17) No parking areas, accessory structures or mechanical equipment. (fig. 4.20)
2. Covered with an awning, trellis or similar shading structure (temporary or permanent construction). (fig. 4.18)
3. A Bridge Element which establishes a circulation link between the two sides. The bridge element may be covered with a trellis or solid roof but shall be naturally ventilated. Railings must allow view and airflow to pass through (fig. 4.19).
4. Allowable encroachments such as sills, belt courses, cornices, buttresses, ornamental features, chimneys, eaves, balconies, and porches may project into the side yard up to 24 inches (LDC Sec. 4.03.03.D.5.A-Requires Amendment). (fig. 4.21)

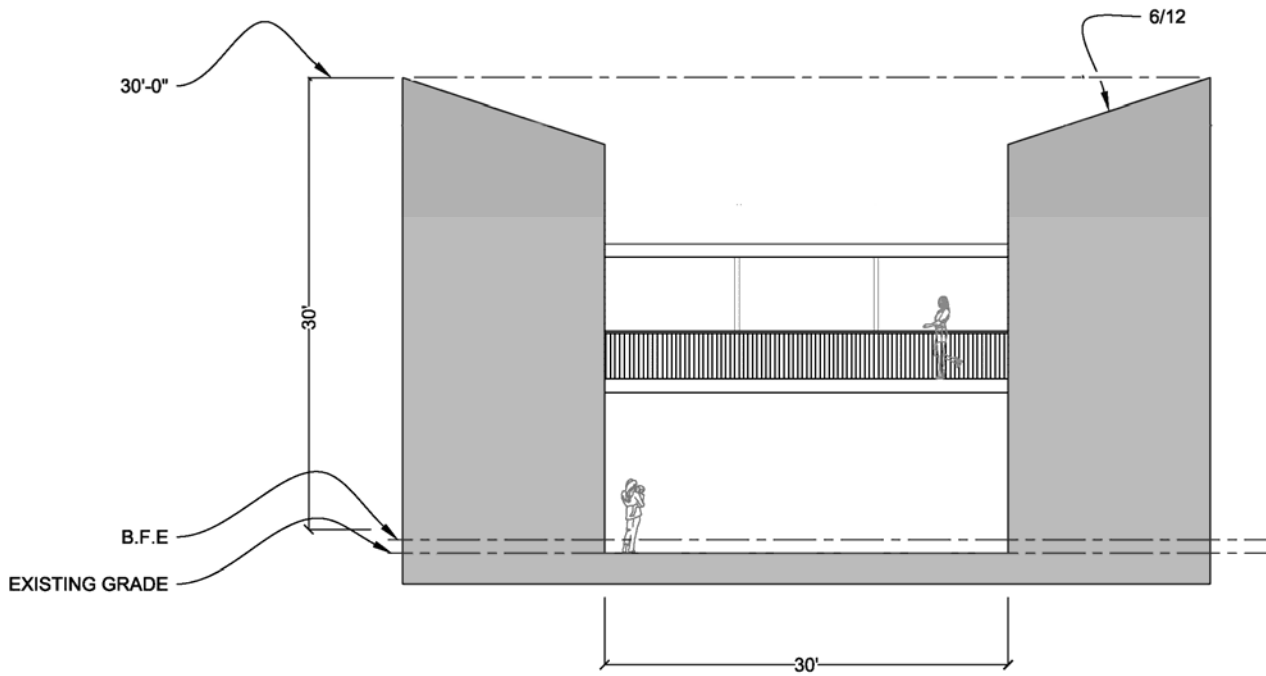


(fig. 4.17) Mid Block Corridor open to the sky.

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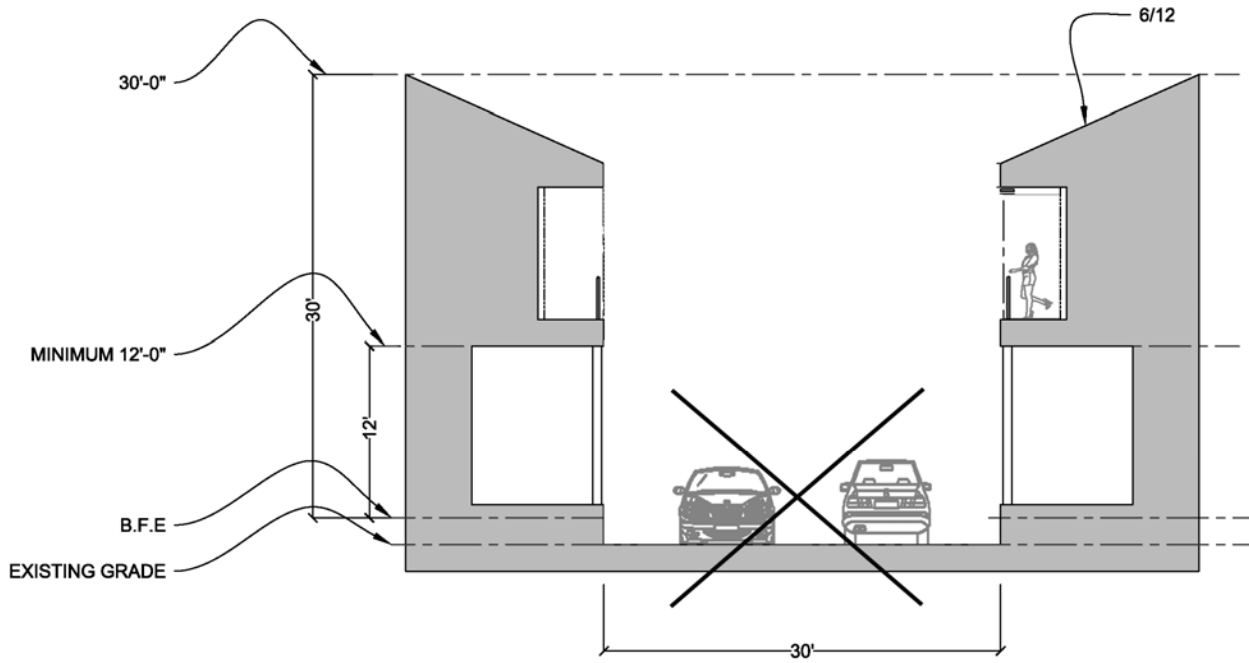


(fig. 4.18) Mid Block Corridor with trellis above.

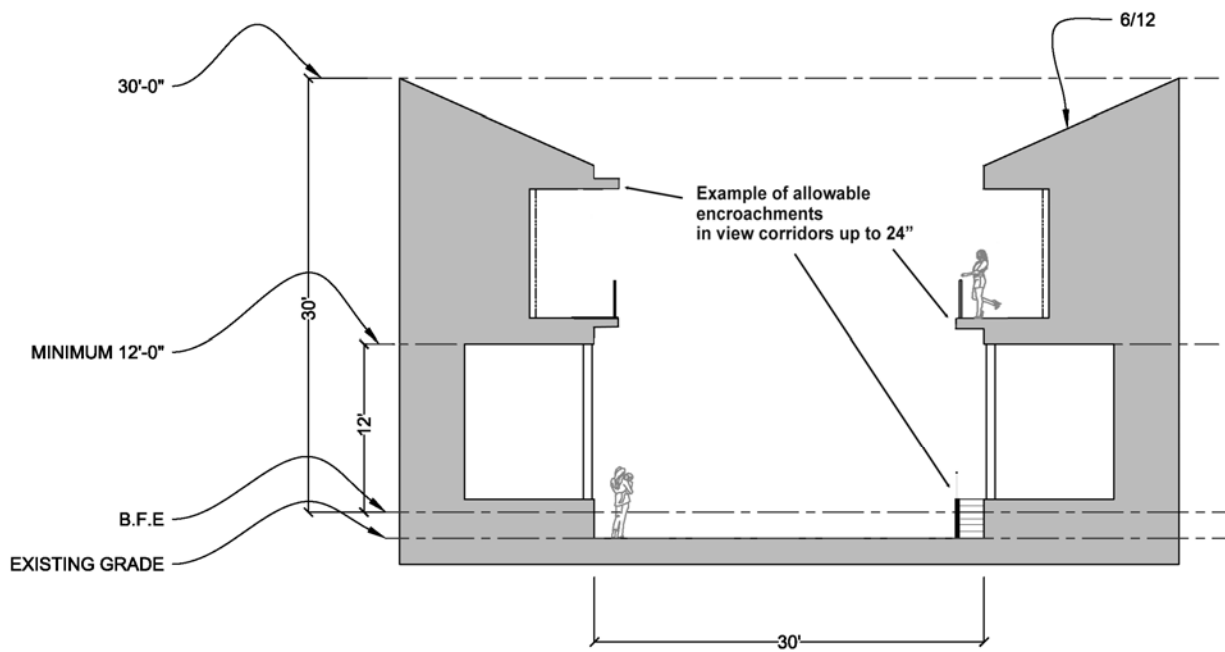


(fig. 4.19) Mid-Block Corridor with open bridge.

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(fig. 4.20) Mid-Block Corridor restrictions.



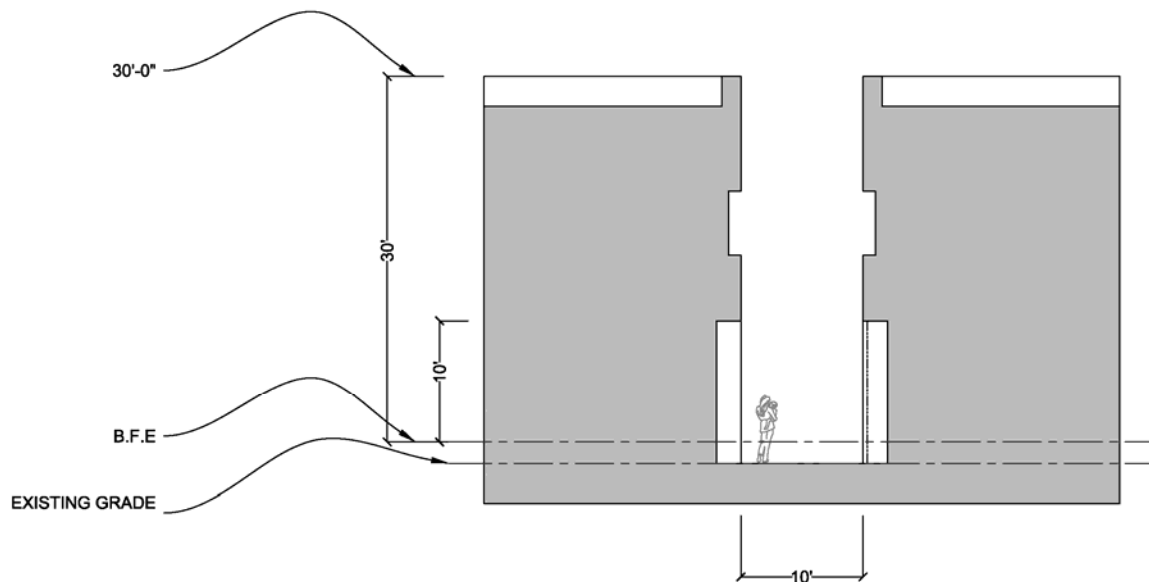
(fig. 4.21) Mid-Block Corridor allowable encroachments.

Pedestrian Accessways

In addition to the Side yard set backs and 30 feet Mid Block view corridors, publicly accessible pedestrian access to the water shall be integrated into the project's site design.

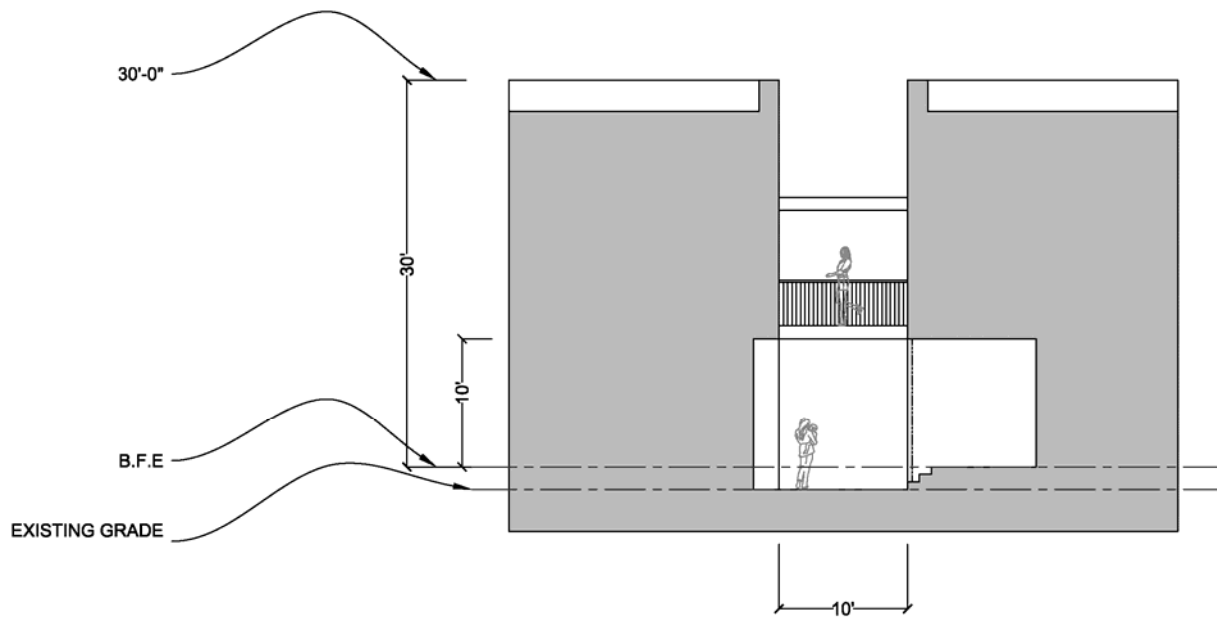
Guidelines

1. Provide a minimum width of 10 feet and a minimum height of 10 feet to occur at recommended intervals of 100 feet (plus or minus up to 10 feet) as measured along Front Street.
2. Accessways may vary in configuration, degree of enclosure, and detail as necessary to complement the overall project design (figs. 4.22, 4.23, 4.24).
3. Landscape and architectural elements such as appropriately scaled vegetation, seating, planters, balconies, eaves, awnings, and trellises may project into the accessways provided that safe and convenient circulation is not impeded (see section 5.0 General Standards for additional information).

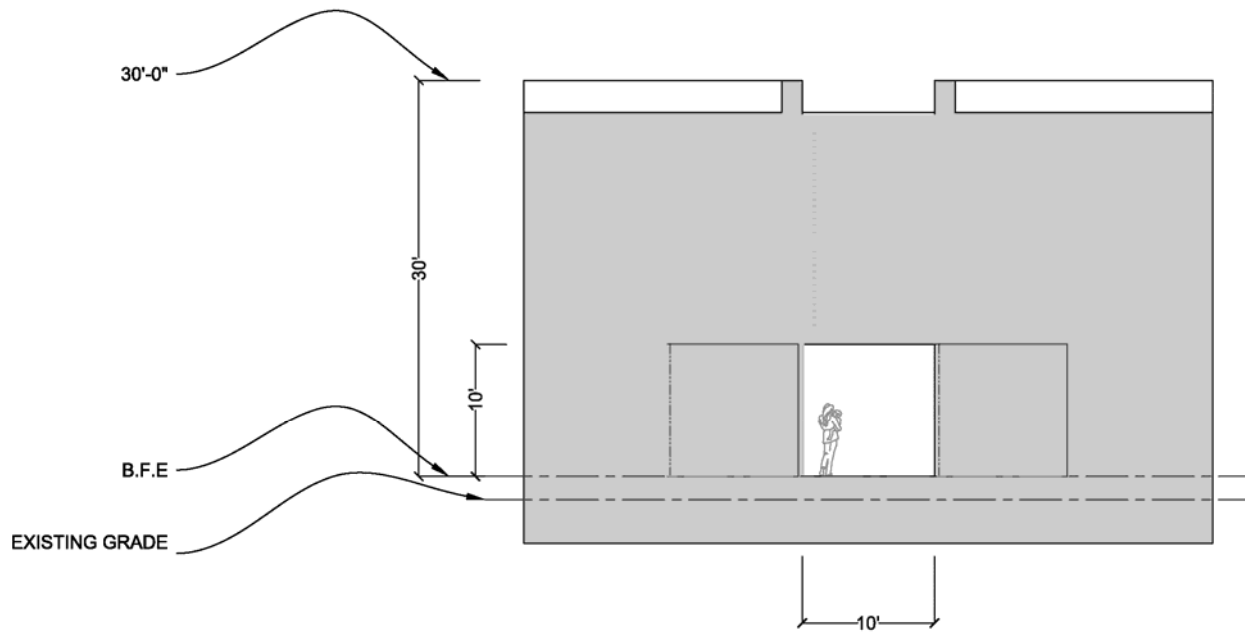


(fig. 4.22) Pedestrian Accessway open to sky.

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(fig. 4.23) Pedestrian Accessway with open bridge.



(fig. 4.24) Pedestrian Accessway with minimal passageway.

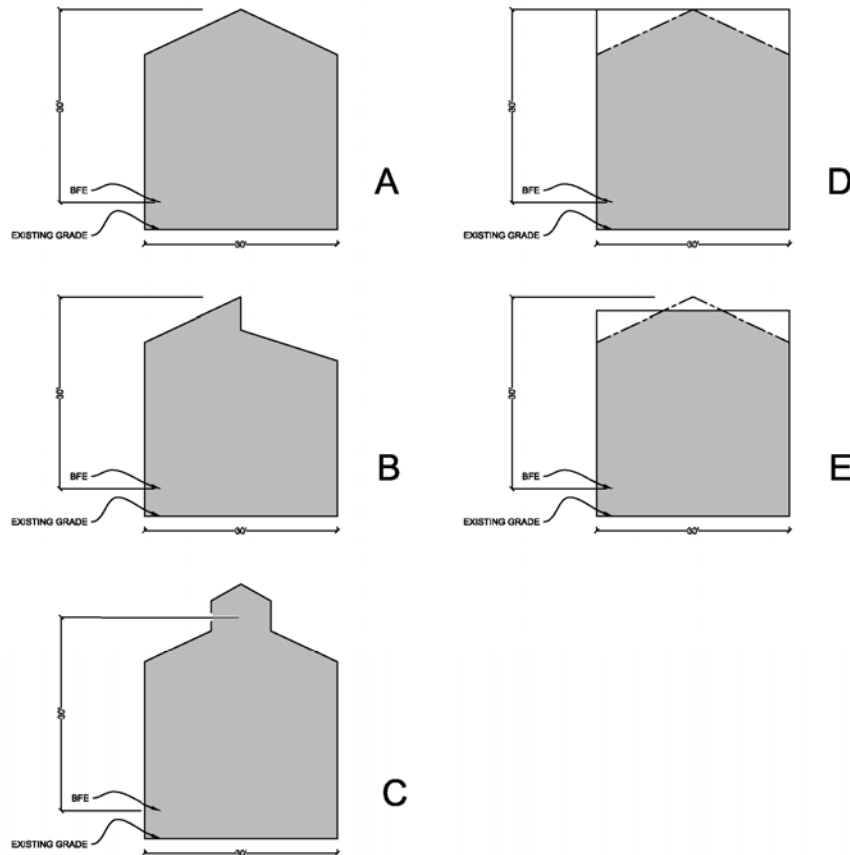
Building Height

Building height shall be measured from the Base Flood Elevation (BFE) to the top of the roof, rather than from the finished grade (see LDC Sec. 4.03.03.D.2). The maximum height of all structures shall not exceed 30 feet in height above the BFE. Building height means the vertical distance from the BFE to the highest finished roof surface, such as the ridge level of the highest roof having a pitch exclusive of chimneys, mechanical equipment coverings, elevator and stairwell structural coverings or other building accessories or ornamental features.

- The height of a **monitor type roof** is based on the projected height of the peak of the gable roof component as it terminates within the monitor (Diagram C).
- For buildings with a **composite type roof**, i.e., those using both parapet and pitched roof elements, building height shall be determined by that roof element yielding the greatest vertical distance above the BFE. A parapet or railing around the edge of a roof deck on a composite type may extend up to 42 inches higher than the 30 feet height restriction. (Diagram D)

The five roof type diagrams shown below are based on a 30' x 30' square simply for clarity.

- A** Simple gable/pitch
- B** Shed type
- C** Gable/pitched with monitor
- D** Composite type (flat roof deck with gable/pitched roof behind dotted lines)
- E** Gable/pitched with dormers



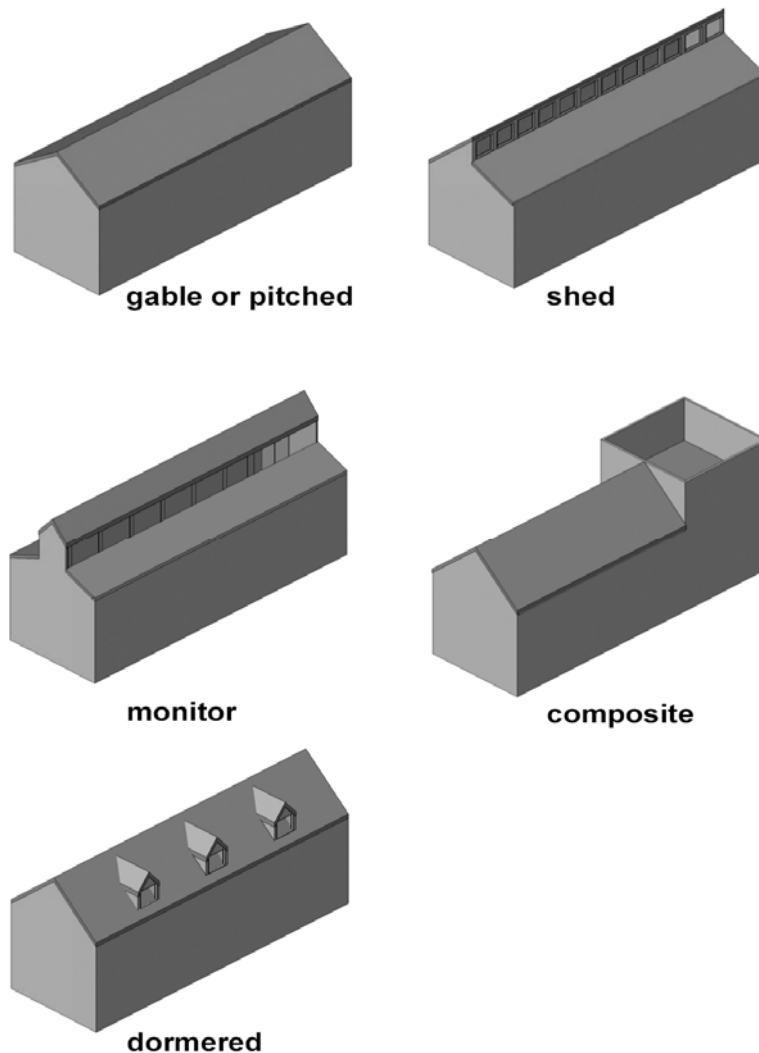
(fig. 4.25) Building Height calculation for recommended roof forms.

Roof Forms

Complex combinations can be produced from the combination of simple forms (fig. 4.26). The architectural precedents for these roof forms are derived from studies of industrial buildings that were prevalent along the waterfront in Fernandina and other seacoast communities in the South.

1. Roof forms shall be designed in gabled/pitched, shed, or composite configurations.
2. Accessible roof decks enclosed by a parapet or railing may be used in combination with gabled or pitched form, provided the deck area does not exceed 1/3 the total surface of the roof area in plan. Roof decks may not contain mechanical equipment.
3. Gabled roof pitches shall be at least 6/12.
4. Pitched roof configurations may contain dormers, monitors, widow's walks, and skylights appropriate to the design of the project.

Note: If a building or building element of a design is square in plan, a pyramidal shaped roof form with recommended pitch should be used.



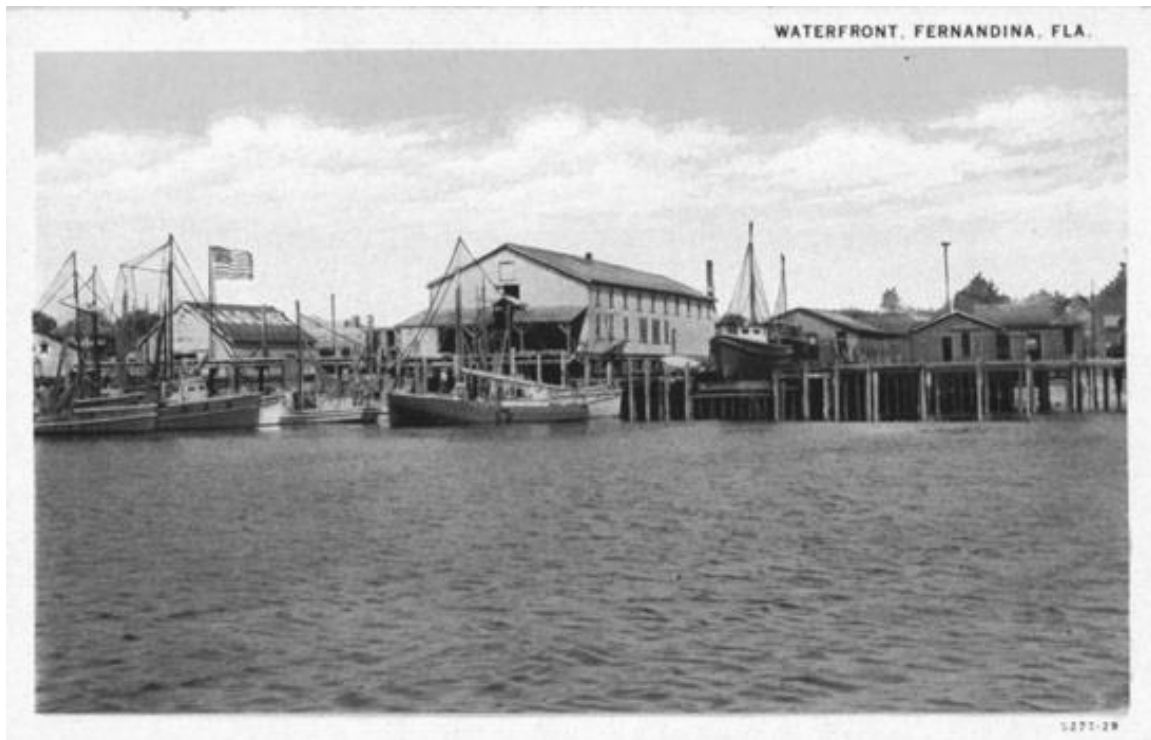
(fig. 4.26) Diagram of Roof Forms.

Building Style

The **Industrial Vernacular** style shall be used as a basis for design decisions in this design area. Although the evidence of these types of structures in Fernandina comes principally from archival records, waterfronts the world over demonstrate the functionality, economy, and aesthetic delight of this manner of building which, like all vernacular design, emerges from the necessity and delight of working with what is at hand. The reliance on structural frame construction, for example, expressed in terms of piles, columns, beams, trusses and exposed connections, is an outgrowth of building at the water's edge on infill ground. The direct, almost primal form of the storage building, warehouse, ice packing house, and boatbuilding shed has universal appeal. This style, or "process" of design, is easily adapted to new uses and creative design approaches, while simultaneously recalling the history of Fernandina's connection to the sea.

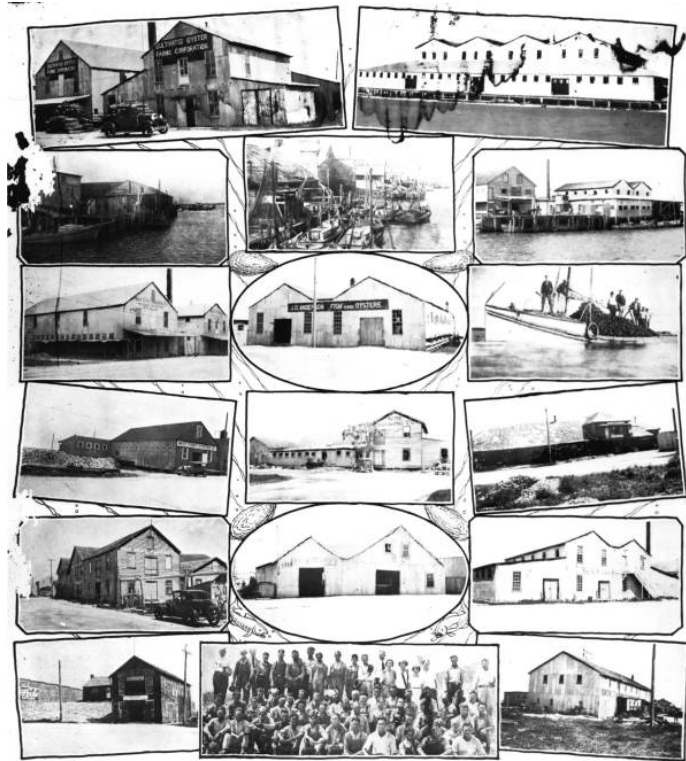
The Industrial Vernacular is characterized by the use of:

1. Simple geometric forms and simple plans (fig. 4.27)
2. Complexity achieved by composition of simple shapes (fig. 4.28, 4.29)
3. Reliance on frame construction of wood, steel, or concrete, or combinations (fig. 4.30)
4. Expression of construction through exposed connections (fig. 4.31)
5. Building envelope and surfaces of wood, corrugated metal or combinations (figs. 4.32, 4.33)
6. Variety of simple roof forms: gable, shed, hipped, monitor, composite



(fig. 4.27) Examples of historic Industrial Vernacular structures along Fernandina waterfront at the base of Centre Street (courtesy of Rosanna Oliver).

Complexity achieved by composition of simple shapes



(fig. 4.28) Historic Florida Fish and Oyster packing houses.



(fig. 4.29) Complexity achieved by assembly of simple shapes in new construction (Lake-Flato Architects).

Reliance on frame construction



(fig. 4.30) Frame construction of wood with steel connections- roof monitor also shown (Lake-Flato Architects).

Expression of construction through exposed connections



*(fig. 4.31) Expression of construction through simple exposed connections
(Steel chain rain drip detail - Georgia Environmental Center).*

Building envelope and surfaces of wood, metal siding or combinations

1. Exterior materials evocative of the Industrial Vernacular waterfront style shall be utilized, such as wood, corrugated metal siding, or combinations (fig. 4.32).
2. Detailing should be simple and direct, emphasizing structural connections and careful juxtaposition of different materials (fig. 4.33).



(fig. 4.32) Stained wooden sun screens with steel brackets (Atlantic Center for the Arts, New Smyrna Beach).



(fig. 4.33) Wooden lap siding detail (Machado+Silvetti).

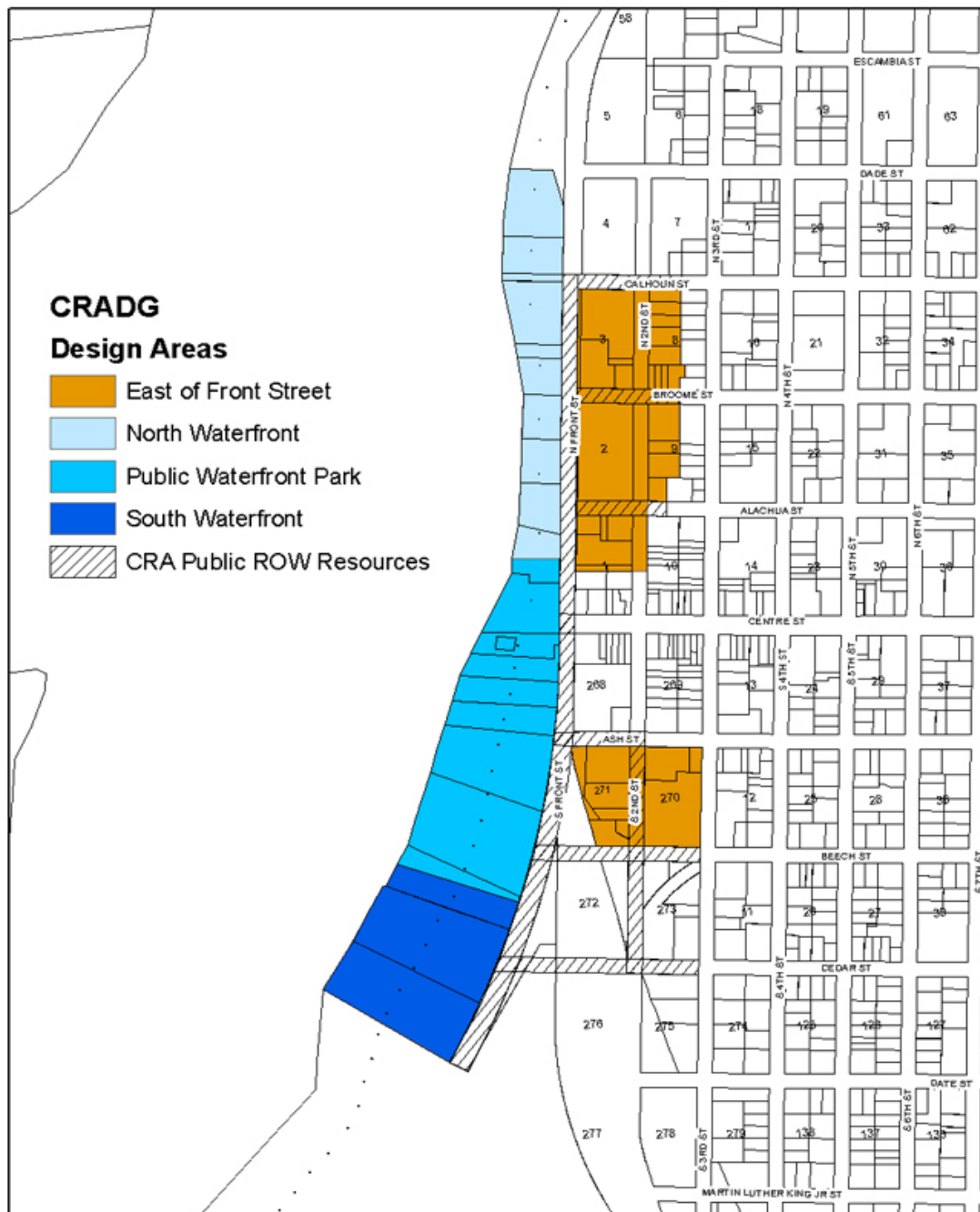
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Parking (see Section 5, General Standards, for additional guidelines on parking design.)

1. Developers of Office, Commercial, and/or Waterfront Industrial uses may pay a fee in lieu of providing the required parking, as established in LDC Table 7.01.04A.
2. The fee shall be set annually by the City Commission and shall be based on the average cost of constructing a parking space in the City. The fee shall be a onetime payment, to be placed in a trust fund for downtown parking improvements which serve the CRA properties. Developers of residential uses must provide 2.0 spaces per dwelling unit per site and are generally not eligible to apply for this fee.

4.3 SOUTH WATERFRONT DESIGN AREA (WATER LOTS 25- 40)

The South Waterfront Design Area emphasizes the importance of retaining views of the river and views of the city from the waterside, but due to its shifted relationship to the city grid, greater flexibility in locating view corridors is allowed. As in the North Waterfront Design Area, three types of view corridors are introduced. Designers are encouraged to develop creative ways of meeting or exceeding pedestrian access requirements to the water.



(fig.4.34) South Waterfront Design Area (dark blue).

General

1. All construction is exempt from LDC Section 3.01.02(J), as well as the required 50-foot buffer from a natural water body as established in LDC Section 3.03.03(B).
2. Properties that have obtained the Waterfront Mixed Use Future Land Use designation are eligible for land uses in addition to those permitted in the Waterfront Industrial zoning and are specified in LDC Tables sec. 2.03.02 and 2.03.03.
3. Floor area ratio shall not exceed 0.75. The floor area ratio shall be calculated based on the entire platted lot including portions of the site which remain submerged.
4. Residential units are permitted only if the property has a FLUM category of WMU and the units are located above a non-residential use. Stand alone residential units are prohibited.

View Corridors

1. Side yard setbacks (required)
2. Mid-block corridors (required but need not be directly on axis with east-west grid due to curvature of Front Street)
3. Pedestrian accessways (required but flexible in location)
4. Front and Rear setbacks (not required)

Public Access to all View Corridors

Accessways may be dedicated to public use through easements or dedication of right-of-way, or they may be retained under private ownership as permissive routes.

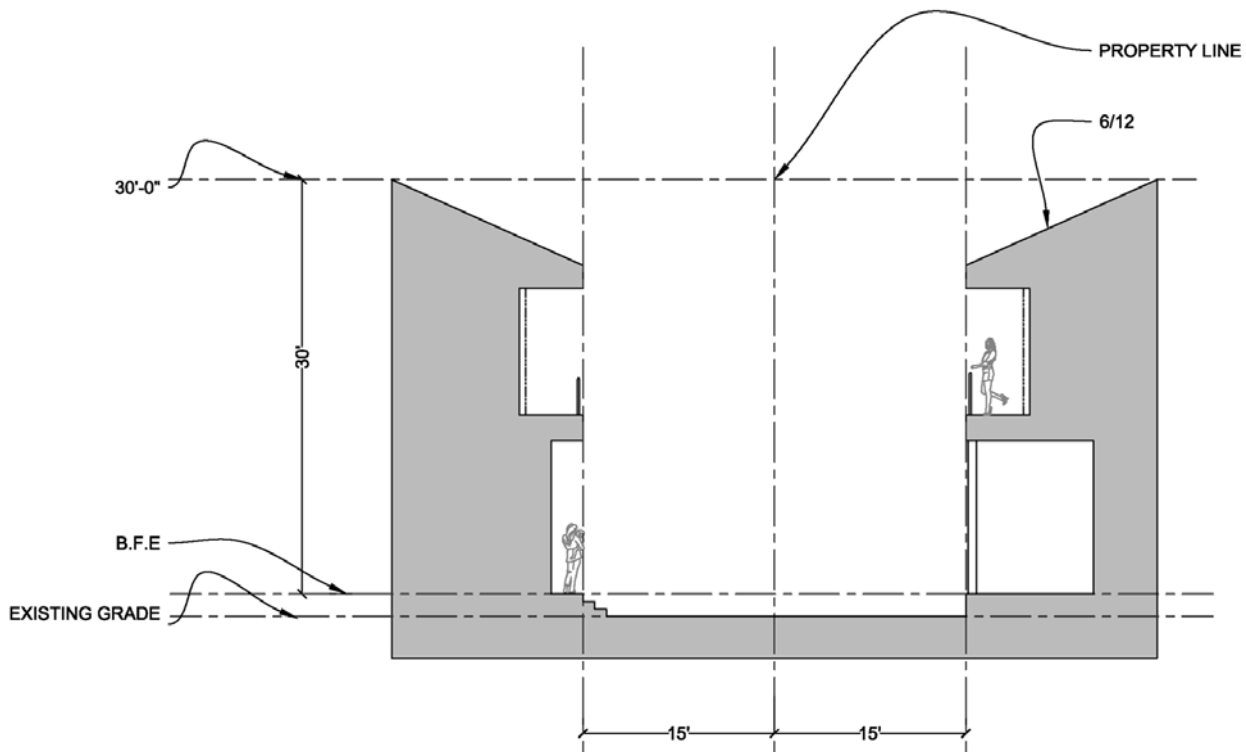
1. In either case, these accessways shall remain open to and accessible by the public.
2. If deemed necessary for security purposes, accessway closures may be permitted based on the posted operational hours of City beach access parking (exclusive of Main Beach or Seaside Parks).

Side Yard View Corridors

The Side Yard View Corridors are the principle public viewing spaces towards the water (and from the water to the city) in the North Waterfront Design Area. Side yard view corridors are setbacks from plat lines between two or more properties and shall be required in all cases, i.e., properties owned by a single entity and containing multiple platted lots shall provide view corridors between each platted lot.

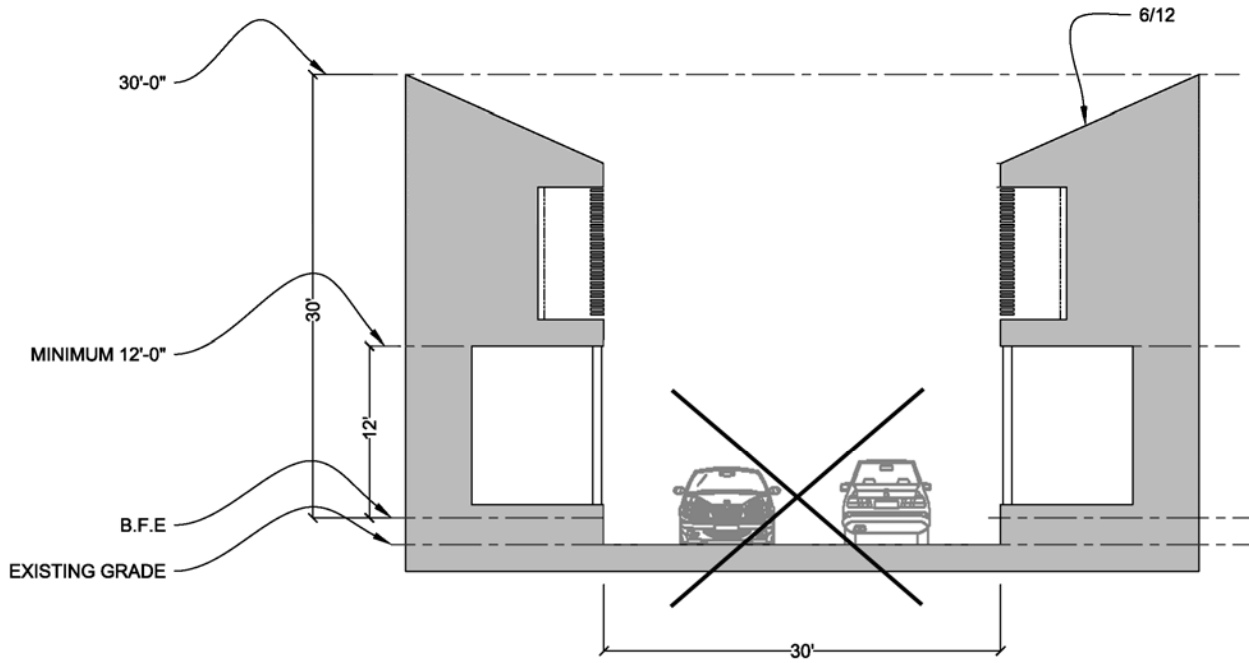
Guidelines

1. 15-foot side yard setback on each side yard of a platted lot shall be maintained for water lots located to the north of Centre Street (water lots 1 through 9). These locations provide for alignment with existing east-west rights-of-ways at Alachua, Broome, and Calhoun Streets (see fig. 4.35).
2. Side yard corridors shall remain open to the sky and shall not include any parking areas, accessory structures or mechanical equipment (fig. 4.36).
3. Allowable encroachments such as sills, belt courses, cornices, buttresses, ornamental features, chimneys, eaves, balconies and porches may project into the side yard up to 24 inches (LDC Sec. 4.03.03.D.5.A-Requires Amendment) (fig. 4.37).

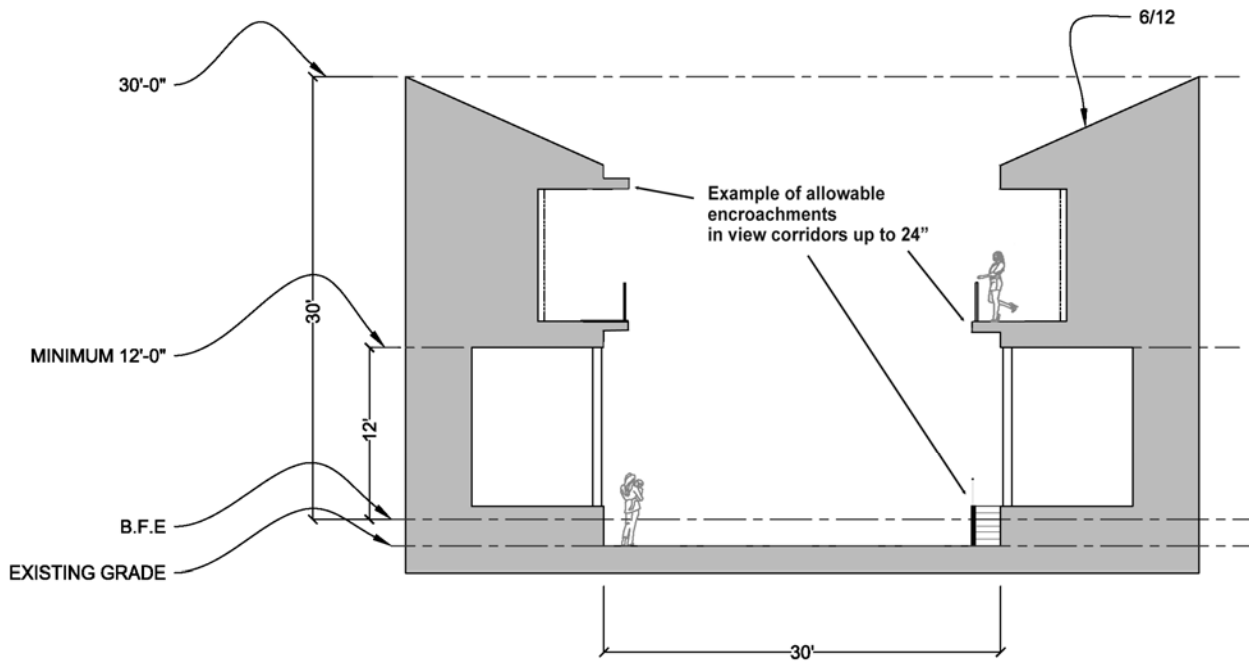


(fig. 4.35) Side Yard Setback dimensions.

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(fig. 4.36) Side Yard Setback restrictions.



(fig. 4.37) Side Yard Setback allowable encroachments.

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Limited Exceptions

1. Existing structures which maybe deemed non-conforming are protected by Section 10.01.00 of the Land Development Code. This includes structures which may encroach into the required view corridors. The structures may be maintained and continued subject to non-conforming allowances provided in LDC Section 10.01.00 (see Fig. 4.38).
2. Waterfront property dimensions which are too small to prevent access corridors from being applied (i.e. application of View Corridor rules renders the property unusable) may receive an exception or waiver of these requirements. These exceptions or waivers are considered unique and are not to set a precedent for future waivers.



(fig. 4.38) Existing Structures in View Corridor at Front and Beech (looking from Second Street).

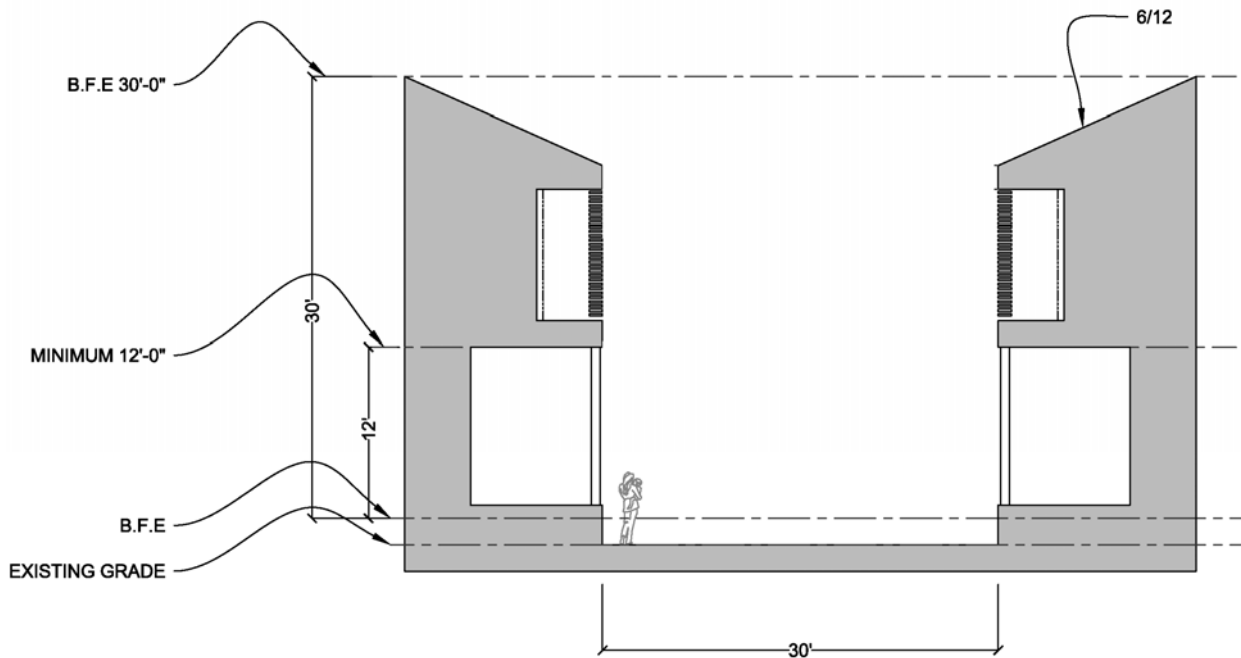
Mid-Block Corridors

30 foot mid-block corridors are required for any project on contiguous properties that span the width of entire city block along Front Street. The mid-block corridors may be shifted up to 20 feet in either direction as may be warranted by the project design. Mid-block corridors shall not include any parking areas, accessory structures, or mechanical equipment.

Guidelines

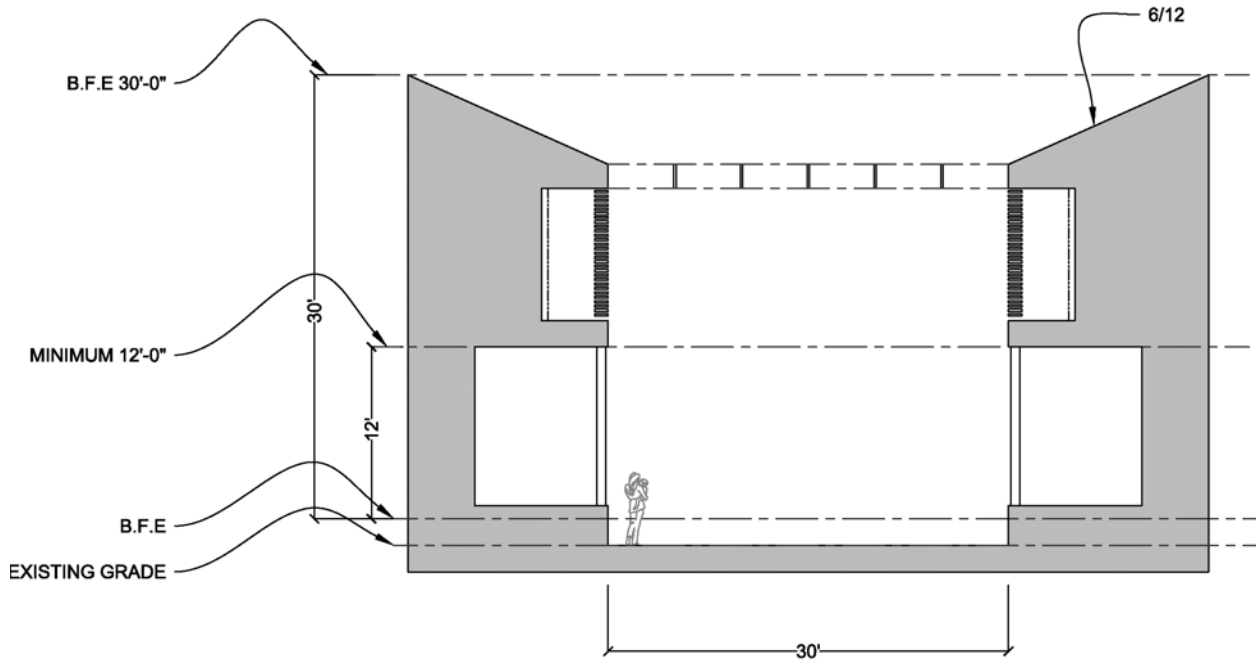
Three design approaches to the Mid-Block Corridors are illustrated below. The first example, corridors that are open to the sky, is preferred.

1. Open to the sky (fig. 4.39).
2. Covered with an awning or similar shading structure (temporary or permanent construction). (fig. 4.40)
3. A bridge element which establishes a circulation link between the two sides. The bridge element may be covered with a trellis or solid roof, but shall be naturally ventilated. Railings must allow view and airflow to pass through (fig. 4.41).
4. Allowable encroachments such as sills, belt courses, cornices, buttresses, ornamental features, chimneys, eaves, balconies, and porches may project into the side yard up to 24 inches (LDC Sec. 4.03.03.D.5.A-Requires Amendment) (fig. 4.42).

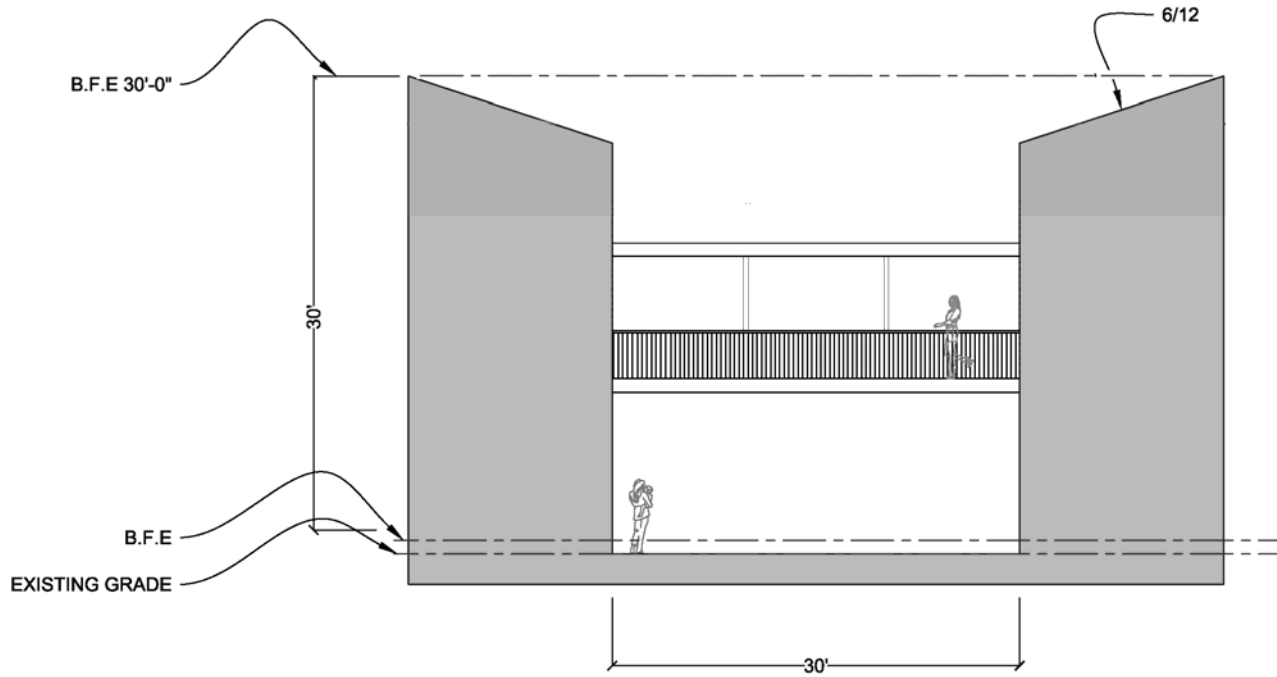


(fig. 4.39) Mid Block Corridor open to the sky.

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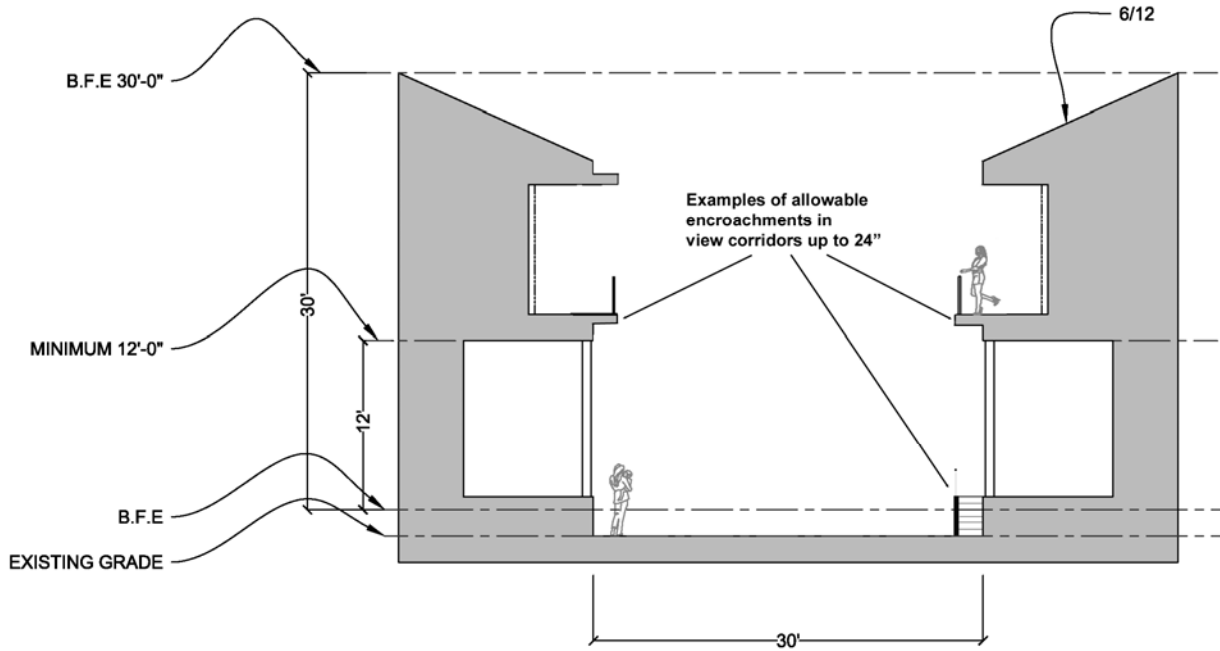


(fig. 4.40) Mid-Block Corridor with trellis above.



(fig. 4.41) Mid-Block Corridor with open bridge.

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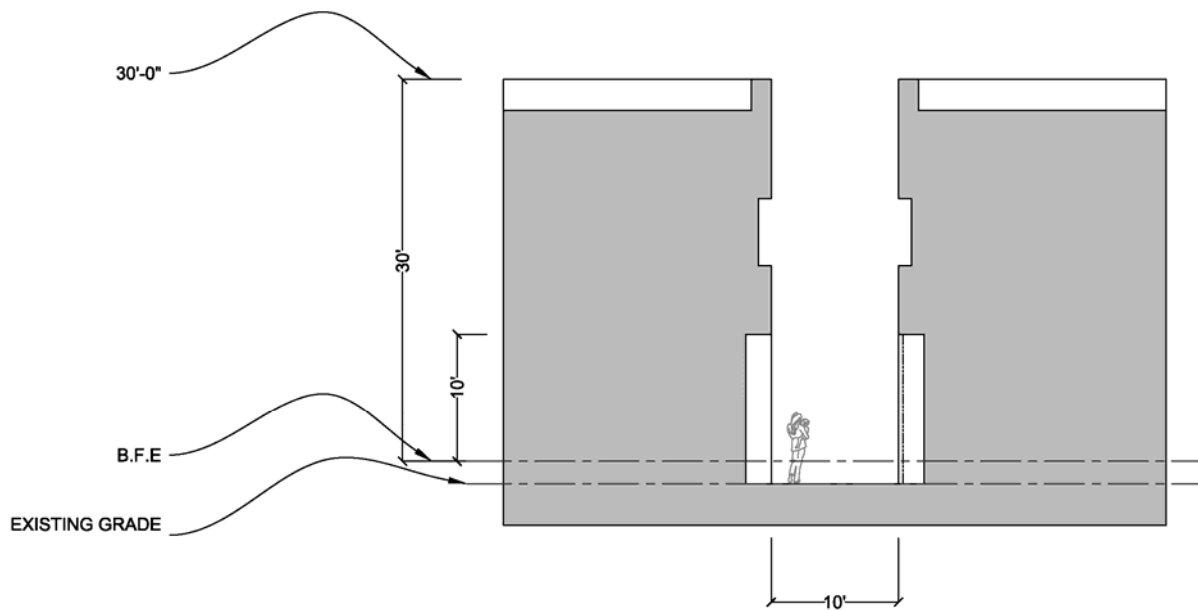
(fig. 4.42) Side Yard Setback allowable encroachments.

Pedestrian Accessways

In addition to the Side Yard Setbacks and 30 feet Mid Block view corridors, publicly accessible pedestrian accessways to the water shall be integrated into the project's site design.

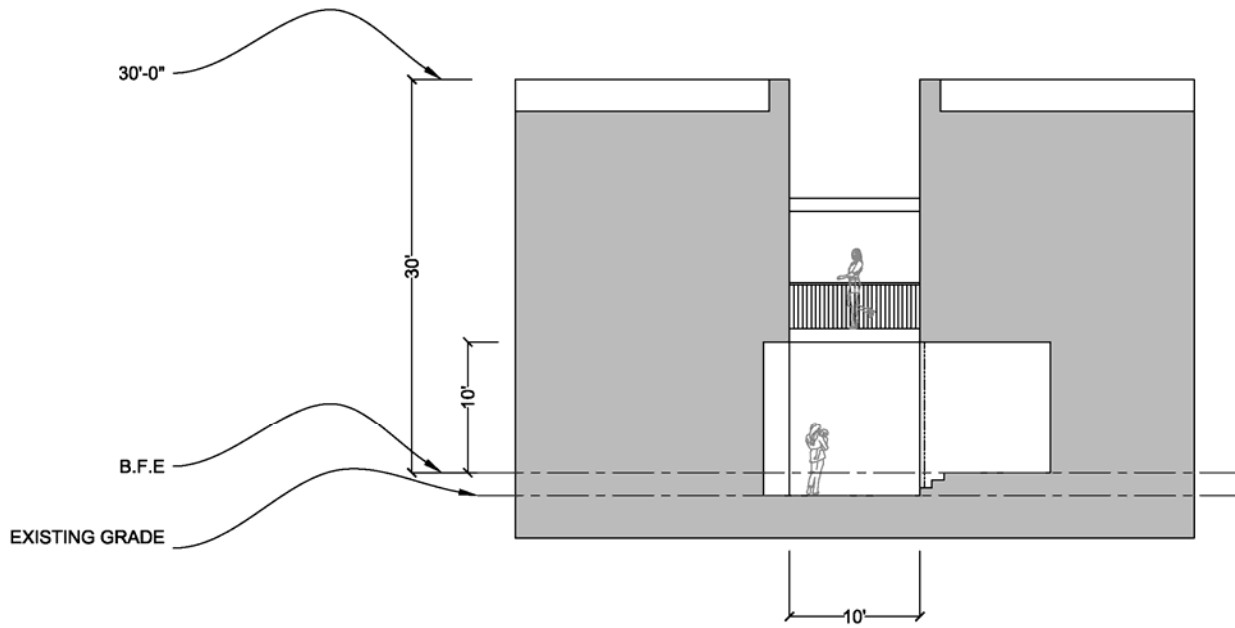
Guidelines

1. Provide a minimum width of 10 feet and a minimum height of 10 feet to occur at recommended intervals of 100 feet (plus or minus up to 10 feet) as measured along Front Street.
2. Accessways may vary in configuration, degree of enclosure and detail as necessary to complement the overall project design (figs 4.43, 4.44).
3. Landscape and architectural elements such as appropriately scaled vegetation, seating, planters, balconies, eaves, awnings, and trellises may project into the accessways as long as they do not interfere with safe and convenient passage (see section 5.0 General Standards for additional information).

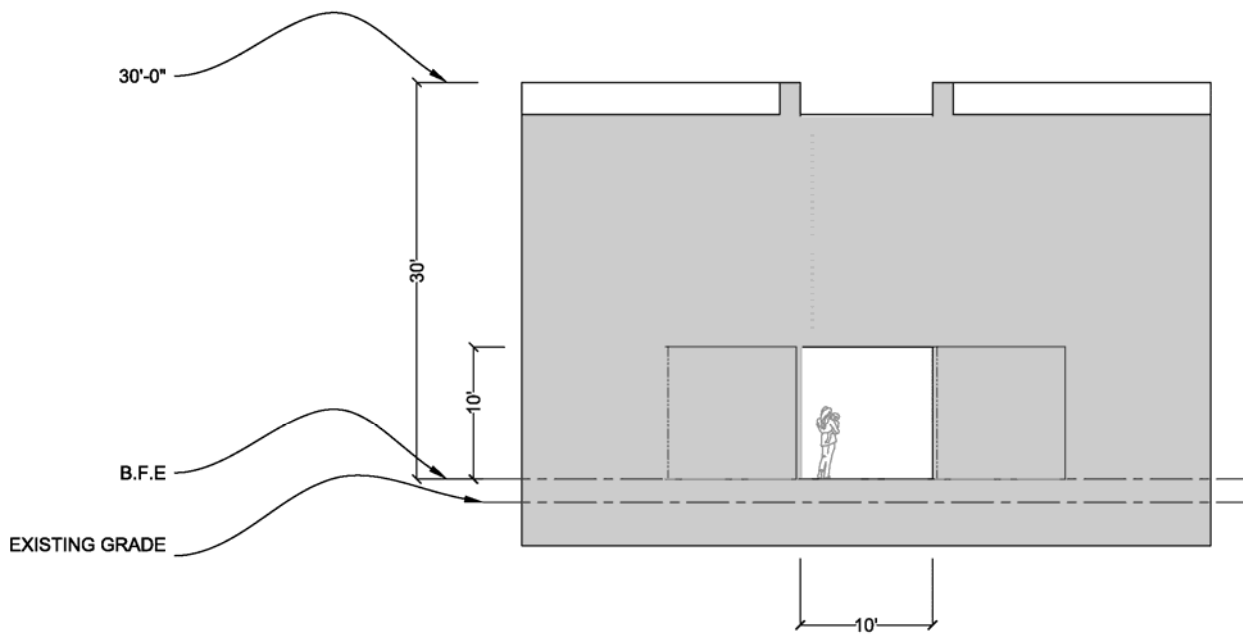


(fig. 4.43) Pedestrian Accessway open to sky.

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(fig. 4.44) *Pedestrian Accessway with open bridge.*



(fig. 4.45) Pedestrian Accessway with minimal passageway.

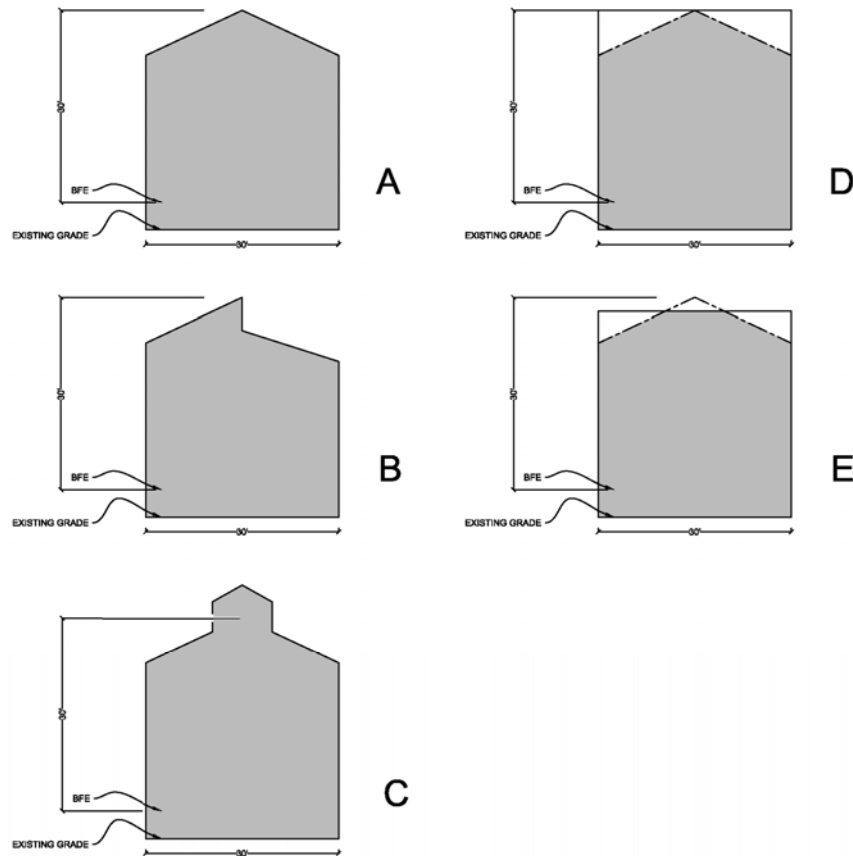
Building Height

Building height shall be measured from the Base Flood Elevation (BFE) to the top of the roof, rather than from the finished grade (see LDC Sec. 4.03.03.D.2). The maximum height of all structures shall not exceed 30 feet in height above the BFE. Building height means the vertical distance from the BFE to the highest finished roof surface, such as the ridge level of the highest roof having a pitch exclusive of chimneys, mechanical equipment coverings, elevator and stairwell structural coverings or other building accessories or ornamental features.

- The height of a **monitor type roof** is based on the projected height of the peak of the gable roof component as it terminates within the monitor (Diagram C).
- For buildings with a **composite type roof** i.e., those using both parapet and pitched roof elements, building height shall be determined by that roof element yielding the greatest vertical distance above the BFE. A parapet or railing around the edge of a roof deck on a composite type may extend up to 42 inches higher than the 30 feet height restriction. (Diagram D)

The five roof type diagrams shown below are based on a 30' x 30' square simply for clarity.

- A** Simple gable/pitch
- B** Shed type
- C** Gable/pitched with monitor
- D** Composite type (flat roof deck with gable/pitched roof behind dotted lines)
- E** Gable/pitched with dormers



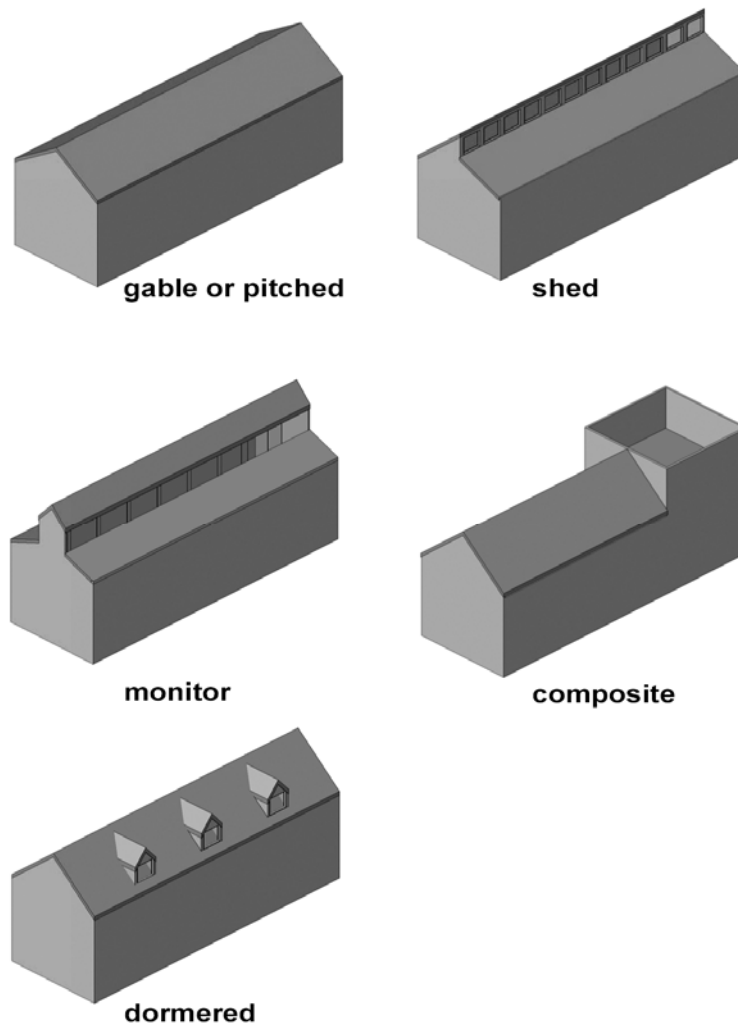
(fig. 4.46) Building Height calculation for recommended roof forms.

Roof Forms

Complex combinations can be produced from the combination of simple forms (fig 4.47). The architectural precedents for these roof forms are derived from studies of industrial buildings that were prevalent along the waterfront in Fernandina and other seacoast communities in the South.

1. Roof forms shall be designed in gabled/pitched, shed, or composite configurations.
2. Accessible roof decks enclosed by a parapet or railing may be used in combination with gabled or pitched form, provided the deck area does not exceed 1/3 the total surface of the roof area in plan. Roof decks may not contain mechanical equipment
3. Gabled roof pitches shall be at least 6/12.
4. Pitched roof configurations may contain dormers, monitors, widow's walks, and skylights appropriate to the design of the project.

Note: If a building or building element of a design is square in plan, a pyramidal shaped roof form with recommended pitch should be used.



(fig. 4.47) Diagram of recommended roof forms.

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Building style

The **Industrial Vernacular** style shall be used as a basis for design decisions in this area. This style is characterized by the use of:

1. Simple geometric forms and simple plans (fig. 4.48)
2. Complexity achieved by assembly of simple shapes (fig. 4.49)
3. Reliance on frame construction of wood, steel or concrete or combinations (fig. 4.50)
4. Expression of construction through simple exposed connections, often in the façade (fig. 4.51)
5. Building envelope and surfaces of wood, metal siding or combinations (fig. 4.52, 4.53)
6. Variety of simple roof forms: gable, shed, hipped, monitor, or composite



(fig. 4.48) Adapted historic structure (left) and new construction separated by pedestrian corridor in Charleston, SC.



(fig. 4.49) Complexity achieved by assembly of simple shapes.

Reliance on frame construction



(fig. 4.50) Frame construction of heavy timbers and exposed steel connections.

Expression of construction through simple exposed connections



(fig. 4.51) Bolted steel frame connecting a metal louvered opening and a stack-bond brick infill wall.

Building envelope and surfaces of wood, metal siding or combinations



(fig. 4.52) Steel balconies projecting from wood shiplap siding wall.



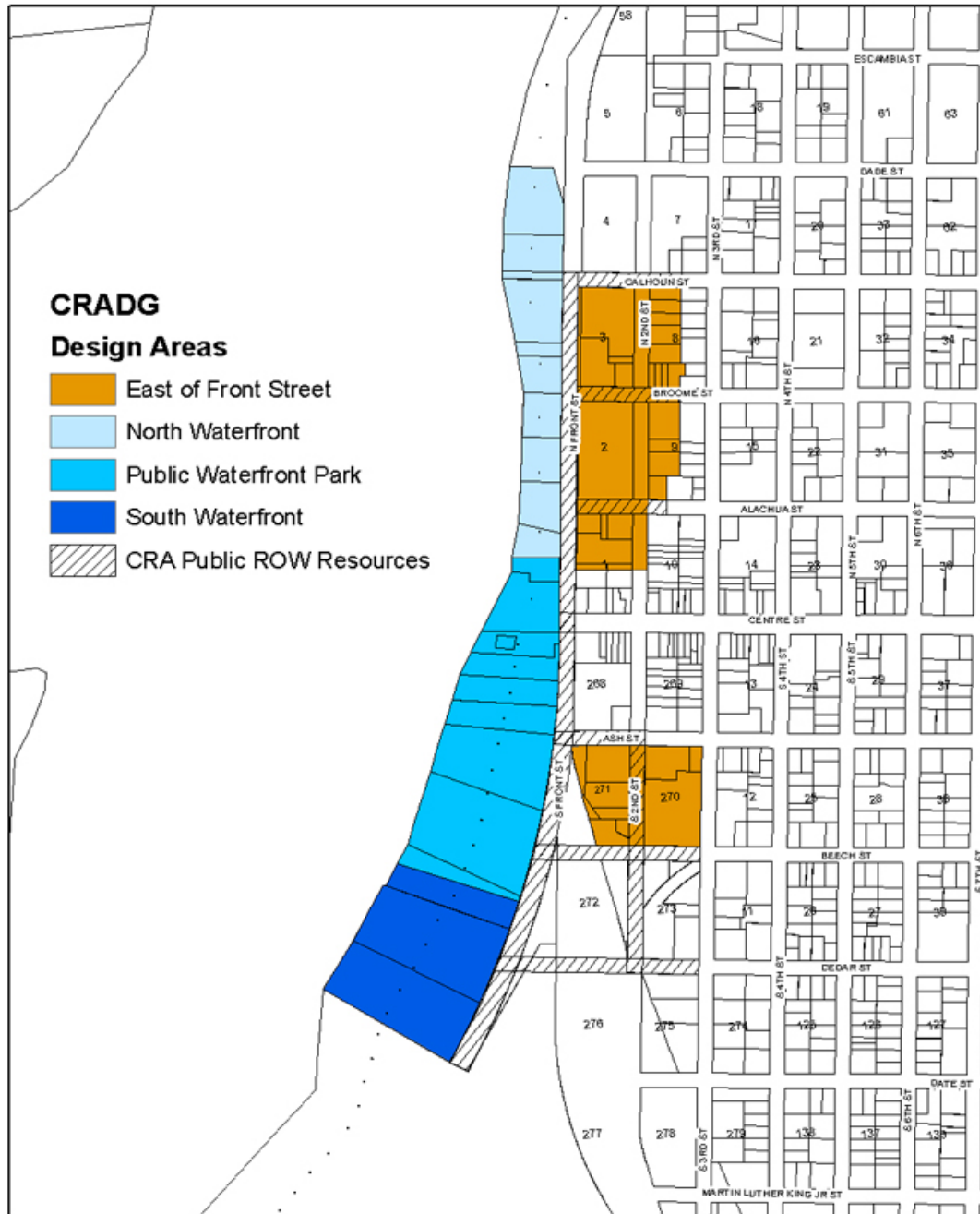
(fig. 4.53) Corrugated metal cladding system used in new construction in warehouse district of Petaluma, CA.

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Parking (see Section 5, General Standards, for additional guidelines on parking design.)

1. Developers of Office, Commercial, and/or Waterfront Industrial uses may pay a fee in lieu of providing the required parking, as established in LDC Table 7.01.04A.
2. The fee shall be set annually by the City Commission and shall be based on the average cost of constructing a parking space in the City. The fee shall be a onetime payment, to be placed in a trust fund for downtown parking improvements which serve the CRA properties. Developers of residential uses must provide 2.0 spaces per dwelling unit per site and are generally not eligible to apply for this fee.

4.4 EAST OF FRONT STREET DESIGN AREA



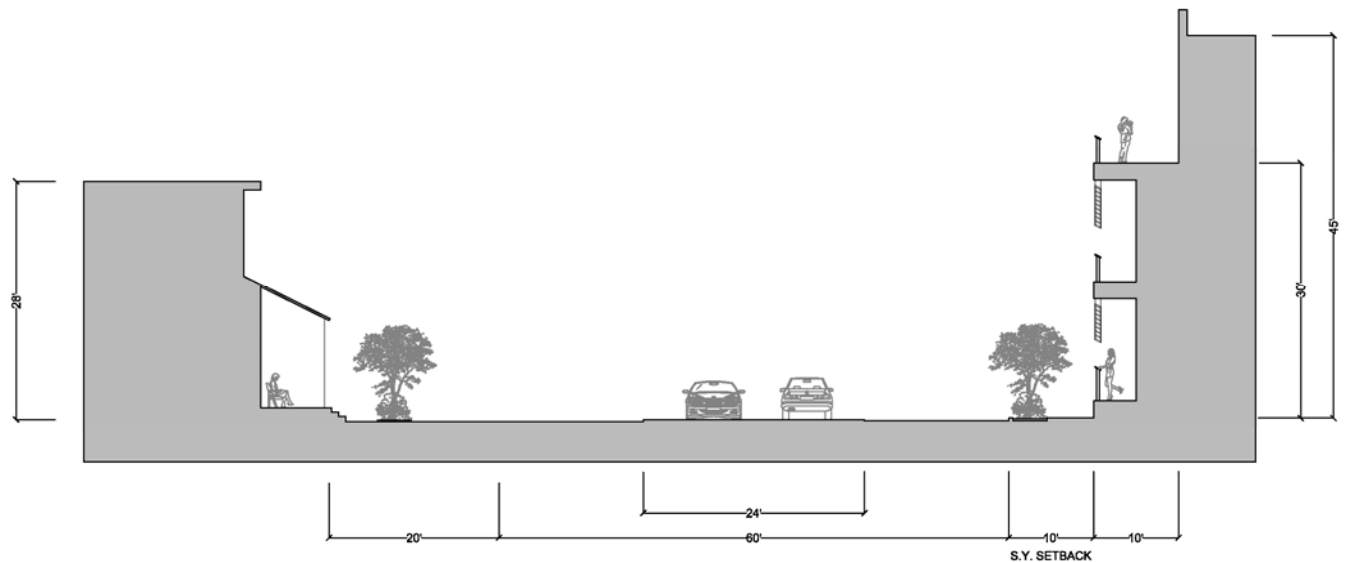
(fig. 4.54) East of Front Street Design Area (brown).

Building Heights and Setbacks

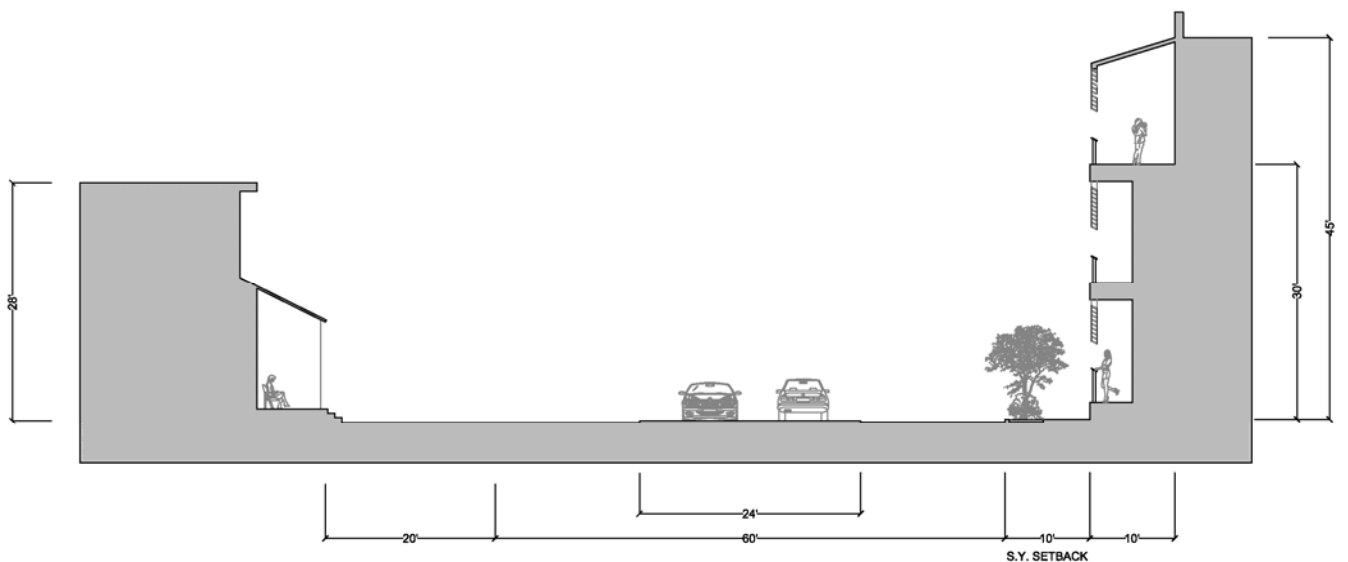
Properties located within the CRA east of Front Street are subject to the following standards:

Guidelines

1. Facades up to 30 feet in height shall have a maximum front yard setback of no more than 10 feet.
2. Facades up to 45 feet in height shall be recessed back from the first 30 feet of facade a minimum of 10 feet. Awnings, pergolas, or covered balconies may project into this setback, but shall not extend beyond the first 30 feet of the façade.



(fig. 4.55) New building height setbacks-open balcony.

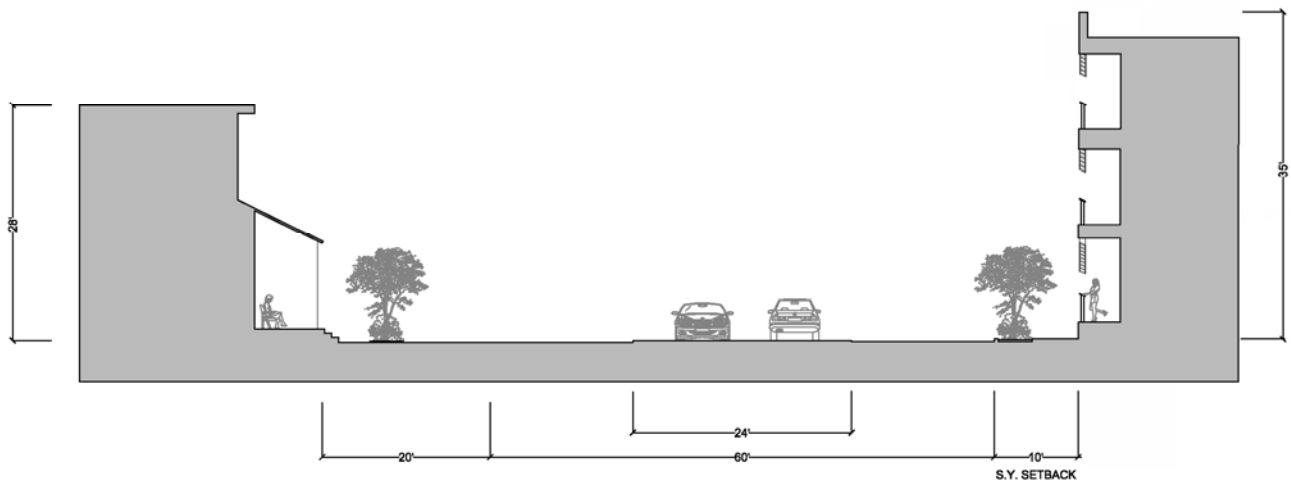


(fig. 4.56) New building height setbacks covered and screened by an awning and a louvered balcony.

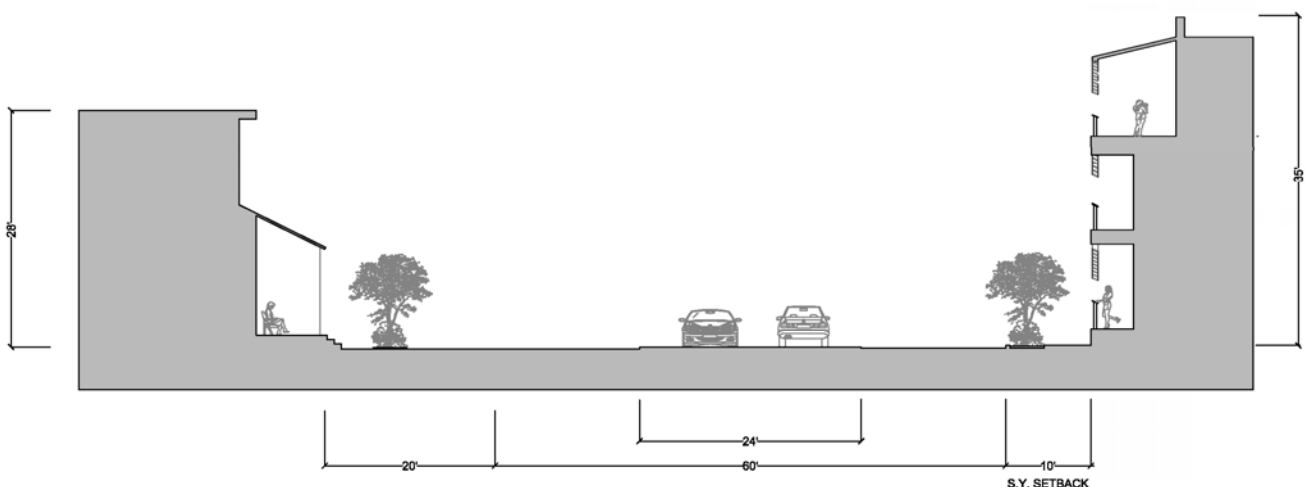
Properties adjacent to residential non-CRA properties

Properties located on the east side of North 2nd Street which share a property line with residentially zoned non-CRA properties shall meet the following standards:

1. Building height shall be limited to 35 feet, including the parapet for flat roofed structures.
2. Buildings shall provide a front yard setback of 10 feet. Side yard setbacks are not required (figs. 4.57, 4.58).
3. All projects shall maintain a 20 foot rear yard setback for principal structures.
4. Non-residential and mixed-use projects shall provide a buffer along the shared property line which meets the requirements of a Buffer Type C as provided in LDC Table 4.05.05(B).
5. All sides of the building shall be designed to be viewed.



(fig. 4.57) Street Section showing 35' building height to parapet across from a residential area.



(fig. 4.58) Street Section showing 35' building height to parapet with an upper story covered and screened by an awning and a louvered balcony.

Building Style

Building styles for this area shall be compatible with the historic commercial downtown, particularly along Second Street. Although the architectural styles vary, the area is characterized by the following patterns of building:

1. Simple geometric forms and simple plans with all sides of the building being designed (fig. 4.59)
2. Complexity achieved by assembly of simple shapes, modulating mass with insets or projections at entryways and corners or to denote entry and changes in function (fig. 4.60)
3. The body of the buildings defined with brick, stone, or stucco over block construction (fig. 4.61)
4. Expression of construction through careful masonry detailing, wood, metal or combination detailing around entries, openings in facades, and balconies (fig. 4.62, 4.63)
5. Simple roof forms, predominately flat and edged by a parapet, with breaks in the cornice line only to mark entryways, changes in function or important corners (fig. 4.64)
6. Street level commercial feature greater areas of glass making the building appear lighter and more transparent. Awnings of treated fabric or metal may cover pedestrian spaces (fig. 4.65)



(fig. 4.59) Simple geometric forms and simple plans- waterfront construction, Charleston, SC.

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(fig. 4.60) Complexity achieved by assembly of simple shapes, modulating mass with insets or projections at entryways and corners or to denote changes in function.



(fig. 4.61) The body of the buildings defined with brick, stone, or stucco over block construction.



(fig. 4.62) Expression of construction through careful masonry detailing, wood, metal or combination detailing around a window balcony.



(fig. 4.63) Expression of construction around a balcony.

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(fig. 4.64) Building façade in the Historic District along Second Street showing modulation of fenestration and depth of surface, as well as simple roof form.



(fig. 4.65) Street level commercial / retail with sidewalk activity. Buildings, awnings and trees make the street more walkable.

Awnings and Canopies

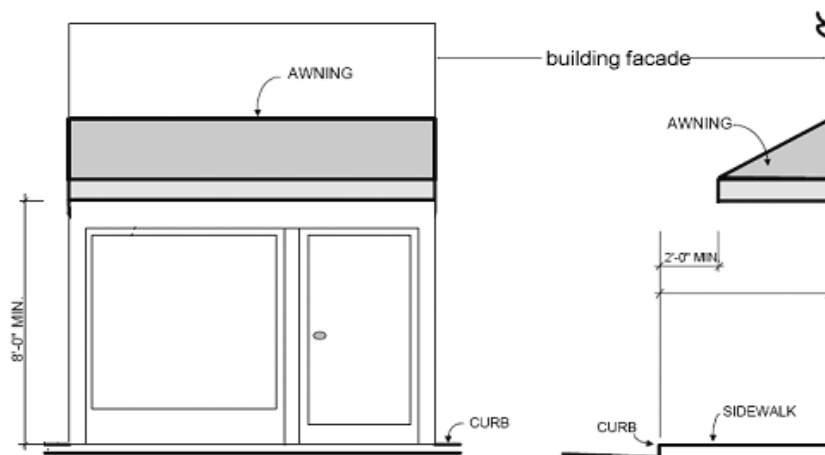
Historic photographs of Fernandina reveal that awnings were used where needed to protect shop interiors from the sun, mostly on the south side of the street. Flat-roofed fixed canopies and awnings can be decorative as well as functional, and should be designed to complement the architecture. Today, as in the past, their greatest value is energy conservation through protection of spaces from unwanted heat gain. Over the last 100 years several types of awnings and canopies, such as retractable fabric awnings which roll or fold back toward the façade, stationary fabric awnings on a fixed pipe system, fixed canopies with sloping roofs and, less extensively, fixed canopies with flat roofs and railings (like small balconies) have been utilized in Fernandina. These designs are still appropriate for new construction in this design area:

Guidelines

1. The scale of the awning, i.e., height, length, depth, and overall bulk shall be compatible with the building storefront.
2. Awnings should fit within the storefront space and not cover side piers, lintels, or other important architectural elements of the structure.
3. The color of awnings should complement facade colors; solid colors or stripes are historically appropriate.
4. Awnings should project no more than 4 to 6 feet from the façade (see fig. 4.66).
5. Awnings illuminated from behind are not acceptable as this illumination detracts from the overall character of the facade. Interior lighted awnings shall be permitted if the lighting system is encased or screened from view underneath.
6. Signage and graphics applied to awnings shall be reviewed for color, scale, and overall design compatibility. Large letter sizes and message areas shall not be permitted on awnings.

Avoid

- Awnings made of reflective, high-gloss, brightly colored materials.
- Awnings that cover distinctive architectural features of the building.
- Awnings with a curved profile (A curved form maybe acceptable if directly related to a key architectural element such as seen in the rounded corner awning in fig 4.60).



(fig. 4.66) Awning Diagram (adapted from Menlo Park, CA Guidelines).

Enclosing a setback space

Enclosing a setback space on the upper floor of a structure (see fig. 4.56 on p.43) is an acceptable option to allow for control of sun, wind, privacy, and to introduce visual variety along the street. These spaces are also referred to as “loggias” or “porches” (See definitions in Glossary).

Guidelines

1. These spaces shall be non-air-conditioned areas designed to adapt to the varying climatic conditions of Fernandina (figs. 4.67, 4.68).



(fig. 4.67) Covered porch in a setback area (residential area seen in background for scale comparison).



(fig. 4.68) Operable wooden louvers on these covered porches afford sun and privacy control without need for air conditioning.