



**AGENDA
HISTORIC DISTRICT COUNCIL
REGULAR MEETING
SEPTEMBER 21, 2023
5:00 PM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER / ROLL CALL / DETERMINATION OF QUORUM**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MEETING MINUTES**
 - 3.1 Review and approval of Meeting Minutes from August 17, 2023
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
 - 5.1 **HDC 2023-0095 - RICHARD . + DEBRA M. MCGEHEE, 1106 WHITE STREET**
Certificate of Approval (COA) to construct a 2-story single-family residence with a detached 2-story accessory dwelling. (*Quasi-Judicial*)
- 6. BOARD BUSINESS**
 - 6.1 August Staff Approvals
- 7. STAFF REPORT**
 - 7.1 Fernandina Beach Center Street 3-D Laser Scanning and Historic District Design Guidelines Update Project
- 8. PUBLIC COMMENT**
- 9. ADJOURNMENT**

THE NEXT HDC REGULAR MEETING IS SCHEDULED FOR THURSDAY, OCTOBER 19, 2023.

All members of the public are invited to be present and be heard. Persons with disabilities requiring accommodations in order to participate in this program or activity should contact the City Clerk at (904) 310-3115 or TTY/TDD 711 (for the hearing or speech impaired). All interested parties may appear at said meeting and be heard as to the advisability of any action, which may be considered with respect to such matter. For information regarding this matter, please contact the Planning Department (904) 310-3135.



**MINUTES
HISTORIC DISTRICT COUNCIL
REGULAR MEETING
AUGUST 17, 2023
5:00 PM
CITY HALL COMMISSION CHAMBERS**

1. CALL TO ORDER

ROLL CALL / DETERMINATION OF QUORUM

Members Present: Michael Spino (Chair), Arlene Filkoff (Alt 1), James Pozzetta, Froilan Esclusa (Vice-Chair), Tammi Kosack, Tim Poynter, Ron Norman (Alt 2)

Member Absent: None

Others Present: Salvatore Cumella, Preservation Planner
Tammi Bach, City Attorney
Sylvie McCann, Recording Secretary

2. PLEDGE OF ALLEGIANCE

Chair Spino announce that Member Pozzetta would recuse himself from case HDC 2023-0096 and that member Filkoff will be seated as a voting member for that case.

Chair Spino disclosed conversations with Harvey Ward regarding case HDC 2023-0094. No other members disclosed any ex parte communications.

Ms. Bach explained the quasi-judicial procedures.

Ms. McCann administered the oath to parties who would be providing testimonies.

3. APPROVAL OF MEETING MINUTES

3.1 Approval of Minutes from the Regular Meeting of July 20, 2023.

ACTION TAKEN: A motion was made by Member Kosack seconded by Member Esclusa to approve the Minutes from the Regular Meeting of July 20, 2023, as presented.

Vote upon passage of the motion was taken by ayes and nays being all ayes, carried.

4. OLD BUSINESS

4.1 HDC 2023-0090 - COTNER & ASSOCIATES, AGENT FOR MATTHEW + KATHARINE MEADE, 14 S. 6TH STREET

Certificate of Approval (COA) to construct rear and side additions. (*Quasi-Judicial*)

Mr. Cumella presented the Staff analysis report and recommended approval.

Chair Spino asked if a previous approval included conditions salvage material. Mr. Cumella answered in the affirmative stating siding was reused.

Ann Pittman, Cotner Architect, 15 N. 18th Street, welcomed any questions from the Board.

Vice-Chair Esclusa asked about the status of the removed existing windows, Ms. Pittman answered that 3 windows will be relocated on the south side of the structure. Member Kosack also asked about the protection of the existing siding.

Public Hearing was opened and then closed with no parties wishing to speak.

Board members had no further comments.

ACTION TAKEN: A motion was made by Member Kosack, seconded by Member Poynter, to approve HDC case 2023-0090 as presented; AND that the HDC make the following findings of fact and conclusions of law part of the record: that the After the Fact amendment to HDC case 2023-0090, as presented, is substantially compliant with the Comprehensive Plan, the Land Development Code, the Secretary of Interior Standards, and the Downtown Historic District Design Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

5. NEW BUSINESS

5.1 HDC 2023-0092 - COTNER ARCHITECTS LLC, AGENT FOR SPENCER + KRISTIN HAMILTON, 505 CEDAR STREET

Certificate of Approval (COA) to rehabilitate a 1-story single-family contributing structure and construct a 2-story accessory dwelling. (*Quasi-Judicial*)

Mr. Cumella presented the Staff analysis report, he provided a little history on the property and noted that this scope and design had already been approved as HDC 2018-0001 and 2020-0039 but that the COAs had expired. He added that the property now is under new ownership and that the owners are seeking approval with the same design. Mr. Cumella recommended approval with conditions: Salvage historic siding be used at the front elevation, while replacement, if necessary, occur at sides with siding of same material, profile, and exposure.

Member Kosack asked about the request to replace all windows back in 2016. Mr. Cumella noted the project had never been completed and that none of the windows are original windows.

Chair Spino clarified that these plans were approved back in 2018 and 2020. Mr. Cumella also pointed out that the original structure is non-conforming and on the west property line but that the addition will be built according to code at 3 ft from the side lot line.

Ann Pittman, Cotner Architect, 15 N. 18th Street, welcome any questions.

Member Kosack asked about salvaging materials. Ms. Pittman noted siding would be salvaged where possible and that additional siding needed would be replaced with wood siding.

Public Hearing was opened and closed with no parties wishing to speak.

Board members had no comments.

ACTION TAKEN: A motion was made by Member Esclusa, seconded by Member Poynter, to approve HDC case 2023-0092 as presented with the condition that Salvage historic siding be used at the front elevation, while replacement, if necessary occur at sides with siding of same material, profile, and exposure; AND that the HDC make the following findings of fact and conclusions of law part of the record: that HDC case 2023-0092, as presented, is substantially compliant with the Comprehensive Plan, the Land Development Code, the Secretary of Interior Standards, and the Downtown Historic District Design Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

5.2 HDC 2023-0093 - DESIGN, DRAFTING & PERMITS INC, AGENT FOR RACHRIDGE LLC, 115 CENTRE STREET

Certificate of Approval (COA) to construct a covered stage, and install a wood ramp, wood fence, metal picket fence, and overhead garage door. (*Quasi-Judicial*)

Mr. Cumella presented the Staff analysis report. He pointed out that this is an After the Fact case and that all fees have been paid, and recommended approval.

Member Kosack asked about how this case became an After the Fact case. Mr. Cumella answered that Code Enforcement reported these after the fact violations.

Member Pozetta inquired about lighting. Mr. Cumella stated that there was no lighting within the site plans.

Member Filkoff asked about the process of capturing such violations and commented that fines and penalties often don't measure up to the size of projects. Mr. Cumella noted that there is also an after-the-fact fee when applicants apply for permits.

Charlie Abaca, 113 S. 8th Street, agent for the owner, explained that he was hired after the fact and that the owner did not think he would need a permit for this project.

Member Kosack asked if they are currently able to use the facility. Mr. Abaca noted that an architect and a structural engineer have inspected the completed work and deemed it up to code and safe. He added that these findings were put into a letter to the Building Official. Mr. Abaca noted that the original contractor is no longer involved and responsible for this project and a new contractor was hired.

Chair Spino emphasized to the agent that any addition of exterior lighting or any additional work must require a permit.

Public Hearing was then opened and closed with no parties wishing to speak.

Board Members spoke of current insufficient penalty structure and discussed what other penalties could be established for contractors or applicants that keep on violating permitting requirements, either in unpermitted scope of work variations or the actual lack of permit. They also suggested possible educational outreach emphasizing the importance of permitting all projects in order to avoid the loss of the historical fabric of the Historic District. The consensus was to bring this discussion back during a future meeting Board Discussion.

Mr. Cumella brought up LDC Section 8.03.10 Enforcement, Penalties, Injunctive Relief.

ACTION TAKEN: A motion was made by Member Poynter, seconded by Member Pozzetta, to approve After the fact Case HDC case 2023-0093 as presented; AND that the HDC make the following findings of fact and conclusions of law part of the record: that the After the Fact HDC case 2023-0093, as presented, is substantially compliant with the Comprehensive Plan, the Land Development Code, the Secretary of Interior Standards, and the Downtown Historic District Design Guidelines to warrant After the Fact approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

5.3 HDC 2023-0094 - MIRANDA ARCHITECTS, AGENT FOR 101 CENTRE STREET LLC, 101 CENTRE STREET

CONCEPTUAL Certificate of Approval (COA) to construct a 2-story addition. (*Quasi-Judicial*)

Mr. Cumella presented the Staff analysis report. He noted that the rehabilitation of the building had already been approved through a previous COA. He recommended conceptual approval.

Jose Miranda, 309 ½ Centre Street, agent for the owner, explained the scope of the new project, and

spoke of the exterior material being mainly brick and stucco and also elaborated on the design and rebuilding of the roof to accommodate the stormwater system. He noted that the final review should hopefully be presented by December 2023 or January 2024.

Member Kosack asked about structural stability. Mr. Miranda explained the process of construction to protect the shell. Mr. Miranda stated that as the project moves into discovery there could be revisions to be presented to the Board regarding additional work. Members asked about the existing windows to which Mr. Miranda answered that all windows will be replaced as the existing windows are not original.

Member Filkoff asked about the space between Salty Pelican and the new building. Mr. Miranda confirmed that there would be an estimated 4 feet area between the 2 buildings, which is an abandoned easement, but that that area would not become a parking area. He also confirmed that there are a couple of doors that may be original but in very poor condition.

Al Waldis, 2929 Riverbend Drive, part owner of the Salty Pelican, voiced concern about the sewer use of the alley access for the Salty Pelican. Mr. Miranda addressed the usage of that area between properties during construction and noted that the sewer issue had been addressed during a TRC meeting.

ACTION TAKEN: A motion was made by Member Pozzetta, seconded by Member Esclusa, to approve HDC case 2023-0094 as presented; AND that the HDC make the following findings of fact and conclusions of law part of the record: that HDC case 2023-0094, as presented, is substantially compliant with the Comprehensive Plan, the Land Development Code, the Secretary of Interior Standards, and the Downtown Historic District Design Guidelines to warrant conceptual approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

At this point Member Pozzetta recused himself from the next case.

5.4 HDC 2023-0096 - BRADLEY EVANS, 1015 SOMERUELUS STREET

Certificate of Approval (COA) to construct a 2-story primary structure with detached accessory structure. (*Quasi-Judicial*)

Mr. Cumella presented the Staff analysis report and recommended approval as this was already approved previously with no changes to the design, but that the previous COA had expired.

James Pozzetta, 103 S. 18th Street, architect, agent for the owner, commented on why the previous Certificates of Approval keep on expiring, stating that changes of ownership have been a big factor. He noted that this is the exact same project as previously submitted.

Member Kosack inquired about one tree that may be removed because of poor condition. Mr. Cumella noted that the possible removal will be addressed during the permitting process.

Public Hearing was opened and then closed with no parties wishing to speak.

ACTION TAKEN: A motion was made by Member Esclusa, seconded by Member Kosack, to approve HDC case 2023-0096 as presented; AND that the HDC make the following findings of fact and conclusions of law part of the record: that the After the Fact amendment to HDC case 2023-0096, as presented, is substantially compliant with the Comprehensive Plan, the Land Development Code, the Secretary of Interior Standards, and the Fernandina Beach Old Town Preservation and Development Guidelines to warrant approval at this time.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

6. BOARD BUSINESS

HISTORIC STREETScape ELEMENTS - ORDINANCE 2023- ESTABLISHES CITY POLICY CONCERNING THE PROTECTION, MAINTENANCE, AND PRESERVATION OF HISTORIC STREETScape ELEMENTS Synopsis: Recognizes the value of the City's historic streetscape to the character of Fernandina Beach as well as establishes a requirement for the city to keep an inventory of these resources; create an annual inspection/ maintenance plan; require budgeting for maintenance during the annual budget; and requiring the coordination of all relevant city departments and outside agencies in support of the preservation of the City's historic streetscape elements.

Ms. Bach suggested that the ordinance should be part of the Land Development Code. Mr. Cumella noted that it could be included in the Municipal Code. Ms. Bach noted that the Restoration Foundation showed interest in managing the maintenance of streetscape elements. The consensus was that it should be at least codified.

Chair Spino spoke of a letter to the Interim City Manager emphasizing the importance of maintaining historic streetscape elements.

ACTION TAKEN: A motion was made by Member Poynter, seconded by Member Kosack, to approve this ordinance relating to the preservation of City's historic streetscape elements, with the condition that it should be codified.

Vote upon passage of the motion was taken by ayes and nays and being all ayes, carried.

6.1 CODE ENFORCEMENT UPDATE: Pepper's Parking Lot Lighting *(Placed on the agenda at the request of Chair Spino)*

Members spoke of this code enforcement issue. It was mentioned that this violation was presented in front of the Code Enforcement Board and that corrective suggestions were made. Mr. Cumella will communicate any update.

6.2 OCEAN HIGHWAY PORT AUTHORITY UPDATE (Tammi Kosack)

Member Kosack spoke of the recent decision from OHPA to sell 3 parcels. She also mentioned OHPA's welcome discussion regarding possible exchanges options with the City along with addition of deed restrictions to the lots. She noted an upcoming community meeting, to be noticed, taking place on Monday August 28, 2023 from 5:00 PM to 7:00 PM, and would include OHPA Commissioners, residents and any interested parties. Board members are encouraged to attend. Lastly, Member Kosack noted that on August 31, 2023 OHPA would announce who the broker would be regarding the sale of the properties.

7. STAFF REPORT

7.1 HDC STUDENT MEMBER

Mr. Cumella asked members if they would be interested in welcoming a non-voting Student member. All members welcome the idea. Mr. Cumella will approach the Youth Advisory Council and see if anyone would be interested in joining.

Member Filkoff asked Chair Spino if he had updates on the Downtown Revitalization Plan. Chair Spino answered that he spoke to the Interim City Manager and was assured by him that he would have a robust stakeholder engagement process. Member Filkoff reiterated her concern on how every year the history of the City is being thrown away one budget cut at a time.

8. PUBLIC COMMENT

Chip Ross, 210 N. 3rd Street, commented on the changing of the Building Department's authority on shutting down projects, naming recent changes in Building Officials, the perception of that authority with citizen and builders, and the reduction in Building fees. He also spoke of the maintenance of the streetscape elements, the needed budget to serve that need, and the option to put a plan in place as soon as possible.

9. ADJOURNMENT 6:51 PM

Sylvie McCann, Recording Secretary

Salvatore Cumella, Chair



HISTORIC DISTRICT COUNCIL STAFF REPORT
HDC 2023-0095
SEPTEMBER 21, 2023

Owner/Applicant:	Richard and Debra McGehee, owners
Property Address:	1106 White Street (Old Town)
Parcel ID#(s)	00-00-31-1580-0016-0090
Current zoning:	OT-1
FLUM land use category:	High Density Residential
Existing uses on the site:	Vacant
FL Master Site File #	N/A
Year Built:	N/A
Contributing Status:	N/A
Requested action:	Certificate of Approval (COA) to construct a 2-story single-family residence with a detached 2-story accessory dwelling. (Quasi-Judicial)

All required application materials have been received. All fees have been paid. All required notices have been made.



SUMMARY OF REQUEST AND BACKGROUND INFORMATION:

The applicant is seeking approval to construct a 2-story single-family residence and detached garage. The new single-family residence will be located on block 16, lot 5, on White Street in Old Town. The house was designed with a single large roof dormer with fish scale shingle accents. Front entry porch to be a full width covered wood deck over open framing with decorative railing.

APPLICABLE GUIDELINES:

[CITY OF FERNANDINA BEACH LAND DEVELOPMENT CODE](#)

[OLD TOWN FERNANDINA PRESERVATION AND DEVELOPMENT GUIDELINES](#)

[SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION](#)

ANALYSIS:

Staff finds that the home design is compatible with the Old Town in terms of materials, scale, proportions, roof forms, and orientation.

STAFF RECOMMENDATION:

Staff finds that the requested action, as presented, is consistent with the Comprehensive Plan, the Land Development Code, the Secretary of the Interior's Standards, and the Old Town Fernandina Preservation and Development Guidelines.

Staff recommends: Approval of HDC 2023-0095

MOTION TO CONSIDER:

I move to **approve or deny** case number HDC 2023-0095 **with or without** conditions;

AND I move that the HDC make the following findings of fact and conclusions of law part of the record:

That HDC case HDC 2023-0095, as presented, **is or is not** substantially compliant with the Comprehensive Plan, Land Development Code, the Secretary of the Interior's Standards, and the Old Town Preservation and Development Guidelines to warrant approval at this time.

LIST OF EXHIBITS:

EXHIBIT 1 HDC 2023-0095 Application & Backup Materials with Plans and Elevations

Print

Historic District Council (HDC) Certificate of Approval (COA) Application - Submission #12103

Date Submitted: 8/10/2023

HISTORIC DISTRICT COUNCIL (HDC): CERTIFICATE OF APPROVAL (COA) APPLICATION

USE THIS FORM TO Apply for approval for projects in the Downtown or Old Town Historic District or the Community Redevelopment Area (CRA). Projects may require either a Board-level review or a Staff-level review.

Fees	
☐ Certificate of Approval (COA): Staff Review \$25	☐ Demolition of a Primary Structure – Contributing \$7,500
☒ Certificate of Approval (COA): Board Review - Residential Single Family) \$250	☐ After-the-Fact Certificate of Approval (COA): Staff Review \$100
☐ Certificate of Approval (COA): Board Review - Commercial/Multi-Family/2 or more Residential Units/Mixed Use \$400	☐ After-the-Fact Certificate of Approval (COA): Board Review \$1,500
☐ Demolition of a Primary Structure – Non-Contributing \$1,500	☐ Amendment to Previously Approved COA - First Amendment Free, Subsequent Amendments = 1/2 cost of original fees

Basis for Review

All applications, whether Staff or Board review, are reviewed for consistency with the City of Fernandina Beach Comprehensive Plan, Land Development Code, and applicable guidelines such as the Downtown Historic District Design Guidelines, Old Town Fernandina Preservation and Development Guidelines, and the Community Redevelopment Area (CRA) Design Guidelines. Guidelines for the Historic Districts are based on the U.S. Secretary of the Interior's Standards for Rehabilitation.

2023 Submission Deadlines + Board Meetings Calendar



IMPORTANT NOTES

Conceptual Approvals

Conceptual approvals are provided by the HDC as a courtesy to the applicant in an effort to allow comment from the Historic District Council and citizens during the conceptual design process. The HDC will provide the applicant with feedback and guidance relating to the proposal and take a vote to indicate whether the board feels the proposal is adequately appropriate to proceed. In all cases, the applicant must return to the HDC to seek final approval of their projects. There is no additional fee for this review above the Certificate of Approval fee.

Pre-Application Meeting

To guide you through the process and to ensure that your application is properly processed, you'll need to meet with the Preservation Planner prior to submitting your application. This should be done at least 45 days prior to your anticipated submittal date to allow time for review. Staff approval applications are accepted on a rolling basis and are generally completed in 3-5 days. Please note that projects can only begin after receiving a Certificate of Approval (COA) and a building, sign, or zoning permit (if required).

Application Requirements	
☒ A complete/ signed application;	☒ Photographs;
☒ Proof of Ownership (copy of deed or tax statement);	☒ Any additional backup materials, as necessary;
☒ A current survey of the property, for new construction and any change to existing footprint. (no older than two years);	☐ If applying as an agent, Owner's Authorization for Agent Representation form must be signed/ notarized and submitted as part of the application;
☒ Scaled elevations & plans;	☐ For window replacement, a Window Survey must be completed.

Please see the Land Development Code (LDC) for detailed information:
☐ Historic District Overlays – see LDC Section 8.01.01
☐ Specific Requirements within the OT-1 and OT-2 Zoning Districts – see LDC Section 8.01.01.02
☐ Amelia River Waterfront Community Redevelopment Area – see LDC Section 8.01.02
☐ Application Process for Certificate of Approval – see LDC Section 8.03.03
☐ Signage in the Historic Districts and Community Redevelopment Area – see LDC Section 8.01.03
☐ Requirements for Demolition Applications – see LDC Section 8.03.03.01
☐ Appeals - see LDC Section 8.03.09

The LDC is Available for Review at

www.bfl.us/LDC

Appeals

An applicant may appeal the HDC's decision for variances to a court of record as outlined in LDC Section 10.02.04(D). The petition shall be presented to within thirty (30) days after the decision of the HDC; otherwise the decision of the HDC will be final.

PROJECT TYPE* New Construction	APPROVAL TYPE* Board Approval: Final <i>See Certificate of Approval Matrix for details</i>
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Previously Approved Case #

Have you met with a planner for a pre-application meeting?*

Yes

What was the date of your pre-application meeting?*

7/18/2023

Please apply for a required pre-application meeting using the following link:

[HDC Pre-Application Meeting Request](#)

PROPERTY INFORMATION

Property information can be found at the [Nassau County Property Appraiser's website](#) → [Map Search](#)

Historic District*

Old Town

Site Address*

1106 White Street

City*

Fernandina Beach

State*

FL

Zip Code*

32034

Parcel ID #(s)*

00-00-31-1580-0016-0090

OWNER OF RECORD

As recorded with the Nassau County Property Appraiser

First Name*

Richard & Debra

Last Name*

McGehee

Mailing Address*

2629 Pemberton Ave

City*

Tupelo

State*

MS

Zip Code*

38801

Telephone Number*

662-213-5915

E-mail Address*

dsmmgehee@gmail.com

OWNER'S AGENT

If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included

Is there an agent other than the owner representing this project?*

No

First Name*Last Name*

Company (if applicable)

Street Address

CityStateZip

Telephone NumberE-mail Address

Project Description*

This 1,585 square foot single-family main house with three bedrooms and two and a half baths is designed in keeping with the vernacular coastal character found in Old Town. The single car detached garage off the easement at the rear of the property includes a 453 square foot grandparents suite with one bed and a bath as well as a small living space. The two structures are connected via a raised walkway with pergola overhead. Project details include deep usable porch spaces, double hung windows with operable shutters, and simple vernacular columns set on brick piers.

Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Design Vision Statement*

included in above statement

For New Construction: Please write a brief design statement explaining the architectural style of your project; what its design draws inspiration from; and how it is architecturally compatible with the surrounding historic neighborhood.

Requirements for Demolition Applications

Per LDC 8.03.03.01

1. Does the structure or site meet national, state, or local criteria for designation?

2. Is the structure or site a contributing structure or site to a locally designated or National Register historic district?

3. Would the loss of the structure or site deteriorate the quality or continuity of the historic district, or the surrounding neighborhood?

4. Is the structure or site of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense?

5. Is the structure or site one of the last remaining examples of its kind in the neighborhood, county or region, or is a distinctive example of an architectural or design style which contributes to the character of the district?

6. Would the removal of the structure or site destroy the historic relationship between structures or open space?

7. Would retention of the structure or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture, and design, or by developing an understanding of the importance and value of a particular culture and heritage?

8. Have the applicants made good faith efforts to pursue alternatives to demolition?

9. Will the applicant be denied a reasonable return on his or her investment

10. Is there an economic hardship for the applicant as demonstrated by requirements in Section 8.03.06?

11. Has the Code Enforcement and Appeals Board has recommended demolition of the structure?

MATERIALS

List all proposed materials and colors, as applicable

EXTERIOR FABRIC

Manufacturer	Product Description	Color
Hardie	horizontal lap siding smooth 6.25" or 7.25"	SW 0029 Acanthus (Name/Number)

DOORS

Manufacturer	Product Description	Color
Rogue Valley & Thermo Tru	wood/glass FL37889.1 front, & fiberglass FL20461 Include FL Product Approval # for Windows and Doors	minwax stain honeymeade (Name/Number)

WINDOWS

Manufacturer	Product Description	Color
Pella	lifestyle double hung FL12952 front, & 250 series FL16813 Include FL Product Approval # for Windows and Doors	white (Name/Number)

ROOFING

Manufacturer	Product Description	Color
?Millennium Metals	metal 5V crimp 26 gauge	galvalume (Name/Number)

FASCIA/TRIM

Manufacturer	Product Description	Color
Hardie	1x4. and 1x6	SW 0008 Alabaster (Name/Number)

FOUNDATION

Manufacturer	Product Description	Color
Top Quality Concrete	slab with stem wall	SW 7008 Alabaster (Name/Number)

SHUTTERS

Manufacturer	Product Description	Color
Southern Shutter	fiberglass composite louver	SW 0032 Needlepoint Navy (Name/Number)

PORCH/DECK

Manufacturer	Product Description	Color
severe weather	pressure treated decking	 (Name/Number)

FENCING

Manufacturer	Product Description	Color
		 (Name/Number)

DRIVEWAYS/SIDEWALKS

Manufacturer	Product Description	Color
Coquina	crushed shell drive	 (Name/Number)

SIGNAGE

Manufacturer	Product Description	Color
		 (Name/Number)

OTHER

Manufacturer	Product Description	Color
		 (Name/Number)

Please upload supplemental documentation and all product brochures, paint color samples, etc.

Upload 1 IMG.jpg	Upload 2 2023-08-09 McGehee Architectural Design Review Set.pdf	Upload 3 McGEHEE (C1-SD8) 8-8-23.pdf	Upload 4 image3.jpeg
Upload 5 image4.jpeg	Upload 6 20230807110630.pdf	Upload 7 Choose File No fi...osen	Upload 8 Choose File No fi...osen

Certification*

☒

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.

☒

I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s) and legal description(s) is (are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the Department of Planning & Conservation to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report will be available on the City's website approximately one week before the Historic District Council meeting.
5. I/We understand that the Historic District Council meetings are conducted in a quasi-judicial hearing and as such, ex-parte communications are prohibited (Communication about your project with a Historic District Council member).
6. I/We understand that the approval of this application by the Historic District Council or staff in no way constitutes approval of a Building Permit for construction from the City of Fernandina Beach Building Department.
7. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the HDC before work commences on those changes. There will be no charge for a revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and/or additional fees/penalties.
8. I/We understand that any decision of the HDC may be appealed to the City Commission, with the exception of variances, which may be appealed to a court of record as outlined in Section 10.02.04(D) of the Land Development Code. Petitions to appeal shall be presented within thirty (30) days after the decision of the HDC; otherwise the decision of the HDC will be final.
9. I/We understand that Certificates of Approval are only valid for one (1) year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
10. I/We understand that the City Staff will install a Notice of Hearing sign on the property 14 days before the scheduled hearing and that the sign must only be removed after the hearing by City Staff, unless, the applicant or property owner brings the Notice of Hearing back to City Hall.

Applicant First Name*

Applicant Last Name*

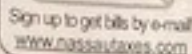
Debbie and Richard

McGehee

Today's Date*

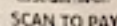
8/9/2023





www.nassautaxes.com

Notice of Ad Valorem and Non-Ad Valorem Assessments



5

Property Address and Legal Description:

BLOCK 16 LOT 9 IN OR 2182/1919 OLD TOWN

\$1,541.98

RETAIN FOR YOUR RECORDS

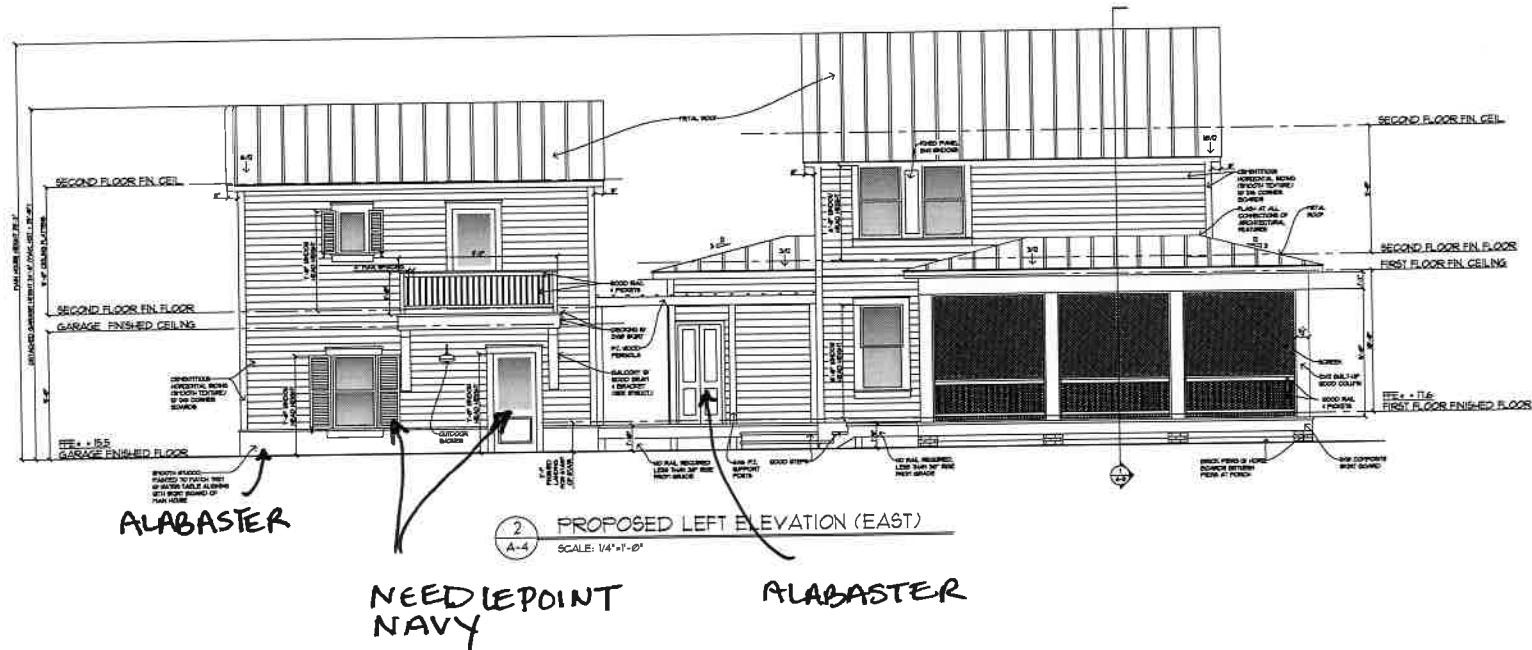




HOUSE & GARAGE SIDING - ACANTHUS

TRIM, WOOD RAIL and PICKETS, BRACKETS, HORIZONTAL BOARDS BETWEEN PIERS - ALABASTER
SHUTTERS, GARAGE ENTRY DOOR - NEEDLEPOINT NAVY

CORNER BOARDS & ATTIC VENTS - ALABASTER



Sherwin Williams
NEEDLEPOINT NAVY

PREMIUM COMPOSITE SHUTTERS LOUVERED • paneled • BOARD & BATTEN



Southern Shutter is excited to announce the introduction of our line of Premium PVC Composite Shutters.

We have teamed up with Weather Pro Trim, a division of Clearview Architectural to develop a smooth-finished cellular PVC shutter that is maintenance free, extremely durable, and fully functional. Our PVC components are formulated with heat-dissipating stabilizers that allow the shutter to thrive in the harshest summer conditions, while at the same time allowing the ultimate protection against rot and insects. Utilizing an authentic chemically-welded mortise and tenon, our stile and rail construction allows the shutter to be placed on hinges and be fully operational. Factory priming is included on all composite shutters allowing for high quality latex paint to be applied on the job site, or shutters can be ordered factory-finished with a water born urethane acrylic finish and ready to install. Southern Shutter has spent years developing and extensively testing this product line, and we are proud to announce that the product has exceeded all of our expectations.

We are looking forward to meeting your Premium Composite Shutter needs.

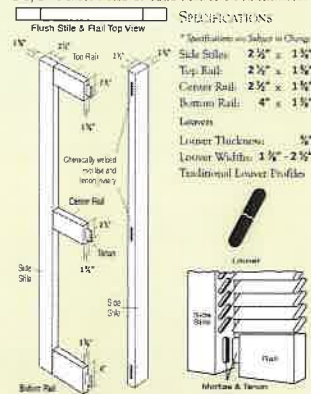
Please Email query requests to sales@southernshutter.com or call (334) 264-6158 for a custom quote.

PREMIUM COMPOSITE FIXED LOUVER SHUTTERS



Variable Fixed Louvers

1 3/8" FLUSH STILE & RAIL FRAME CONSTRUCTION



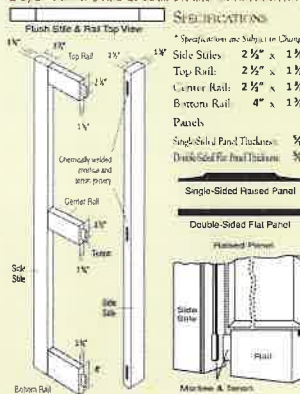
Bahama/Spandrel Style construction available.

PREMIUM COMPOSITE PANELED SHUTTERS



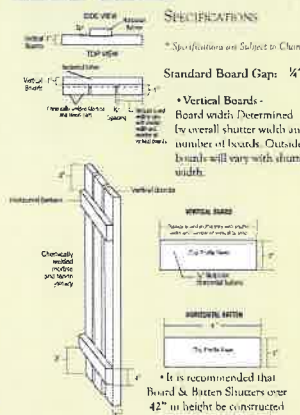
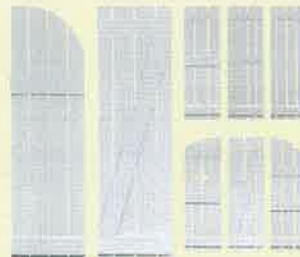
Variable Panels

1 3/8" FLUSH STILE & RAIL FRAME CONSTRUCTION



Bahama/Spandrel Style construction available.

PREMIUM COMPOSITE BOARD & BATTEN SHUTTERS



It is recommended that Board & Batten Shutters over 42" in height be constructed with 3 horizontal boards



SOUTHERN SHUTTER COMPANY

EXTERIOR WOOD PRODUCTS
Shutters • Ventilators • Shutter Hardware

(334) 264-6158

www.southernshutter.com

sales@southernshutter.com

Since 1964 Southern Shutter Company has grown into one of the nation's leading wholesale manufacturers of functional exterior and interior shutters.

Southern Shutter recently upgraded our production capabilities with the latest manufacturing technology to produce shutters that will last a lifetime with proper maintenance. These enhanced capabilities allow almost unlimited custom options for customers to design and add a personal touch to their shutters. No other company offers as many shutter styles, custom options, wood species or composite to supply our customers with the finest quality shutters.

Email: sales@southernshutter.com

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McGEHEE RESIDENCE

1106 WHITE STREET, FERNANDINA BEACH, FLORIDA 32034

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APPLICABLE BUILDING CODES

FLORIDA BUILDING CODE (FBC), 7TH EDITION (2020) INCLUDING:

- FBC, BUILDING
- FBC, PLUMBING
- FBC, MECHANICAL
- FBC, FUEL GAS
- FBC, RESIDENTIAL
- FBC, ENERGY CONSERVATION
- FBC, ACCESSIBILITY
- FBC, TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONES
- FBC ADOPTED NATIONAL ELECTRICAL CODE

SCOPE OF WORK

THIS SINGLE-FAMILY HOUSE WITH THREE BEDROOMS AND TWO AND A HALF BATHS IS DESIGNED IN KEEPING WITH THE VERNACULAR COASTAL CHARACTER FOUND IN OLD TOWN. THE SINGLE-CAR DETACHED GARAGE OFF THE EASEMENT AT THE REAR OF THE PROPERTY INCLUDES A 453 SQUARE FOOT GRANDPARENTS SUITE WITH ONE BED, ONE BATH, AND A SMALL LIVING SPACE. THE TWO STRUCTURES ARE CONNECTED VIA A RAISED WALKWAY WITH PERGOLA OVERHEAD. PROJECT DETAILS INCLUDE DEEP USABLE PORCH SPACES, DOUBLE HUNG WINDOWS WITH OPERABLE SHUTTERS, AND SIMPLE VERNACULAR COLUMNS SET ON BRICK PIERS.

PROPOSED SQUARE FOOTAGES (HEATED & UNHEATED)

MAIN HOUSE:

FIRST FLOOR HEATED = 941 SF
SECOND FLOOR HEATED = 638 SF
TOTAL = 1585 SF

FIRST FLOOR UNHEATED (PORCHES) = 458 SF
SECOND FLOOR UNHEATED (PORCH) = 51 SF
TOTAL = 515 SF

GARAGE:

SECOND FLOOR HEATED = 453 SF

FIRST FLOOR UNHEATED = 500 SF
SECOND FLOOR UNHEATED BALCONY = 61 SF

NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, AND MECHANICAL.
- DO NOT SCALE DRAWINGS
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN, DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDER'S RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM THE ARCHITECT.
- IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF BRICK LEDGE OR FACE OF FRAMING.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/ OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS AND/OR ON SITE ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT.

ARCHITECT:

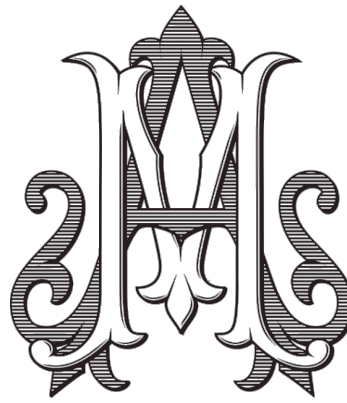
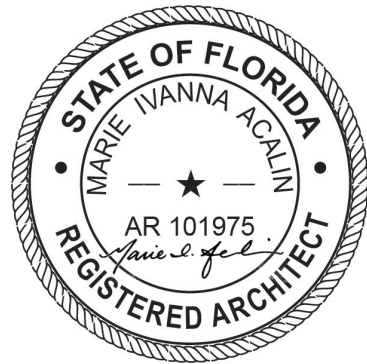
MARIE ACALIN, ARI01975
ACALIN ARCHITECTURAL SERVICES, LLC

ADDRESS: 18 PEACHTREE CIRCLE NE #2
ATLANTA, GEORGIA 30309

PHONE: 678-656-7057
EMAIL: MARIE@MARIEACALIN.COM

PROPERTY OWNER:

DEBBIE & RICHARD McGEHEE



ACALIN
ARCHITECTURAL
SERVICES, LLC

18 PEACHTREE CIRCLE NE #2
ATLANTA, GEORGIA
30309

678-656-7057

McGEHEE RESIDENCE

1106 WHITE STREET
FERNANDINA BEACH, FLORIDA 32034

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DRAWN BY: M.A.

DATE: 08-09-2023

SHEET NO:

C = 1

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF FERNANDINA BEACH, (FORMERLY NAMED FERNANDINA), COUNTY OF NASSAU, STATE OF FLORIDA AND BEING FURTHER DESCRIBED ACCORDING TO THE OFFICIAL MAP OR PLAT OF SAID CITY (AS LITHOGRAPHED AND ISSUED BY THE FLORIDA RAILROAD COMPANY IN 1857 AND ENLARGED, REVISED AND REISSUED BY THE FLORIDA TOWN IMPROVEMENT COMPANY IN 1887 AND 1901 AS:

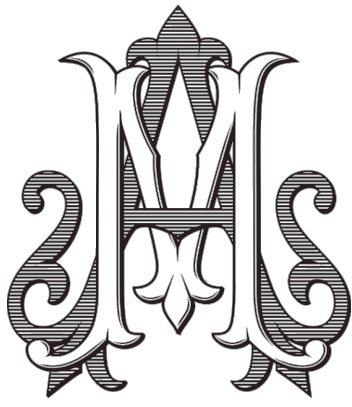
PREPARED FOR:
RICHARD C. MCGEHEE
DEBRA M. MCGEHEE

- 1) The "Legal Description" herein is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Lands shown herein were not obstructed by this office for easements, rights-of-way, ownership or other instruments of record.
- 4) Bearings based on S 82°28'00" E for the Southerly right of way line of White Street, of the Public Records of Nottawas County, Florida (ASSUMED).
- 5) Fence ownership, if applicable, has not been determined by this office. Fences are drawn out of scale in order to accommodate their relationship to property lines. Fences are not deemed to be encroachments unless ownership is apparent.
- 6) "Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid."
- 7) The property shown herein lies within flood zone "X" as per the Flood Insurance Rate Map, Panel 120890202292, Dated 08/02/2017.
- 8) Unless otherwise noted Measured angles and distances are the same as Plat or Deed angles and distances.
- 9) This survey has been performed according to the standard of S.C. to achieve the following accuracy for the following surveyed:
Surveyed Accuracy: 1 foot in 20,928 feet
Commercial / High risk linear accuracy: 1 foot in 10,000 feet
S.O. Rev. 55-7-05(3) (B) (15)
- 10) All elevations shown herein this survey are based on the North American Vertical Datum of 1988 (NAVD 88).

BY: ALAN FRANKLIN GLASS
ALAN FRANKLIN GLASS
FLORIDA REGISTERED SURVEYOR
MAPPER CERTIFICATE No. 5712

GLASS LAND SURVEYING, LLC
3731 WEST 5TH STREET, HILLIARD FLORIDA 32046
(904) 675-9241 * CELL (904) 370-0318
LICENSE BUSINESS NO. LB 8359

[illegible]DWG No. GLS 23-161



ACALIN
ARCHITECTURAL
SERVICES, LLC

18 PEACHTREE CIRCLE NE #2
ATLANTA, GEORGIA
30309

678-656-7057

McGEHEE RESIDENCE

1106 WHITE STREET
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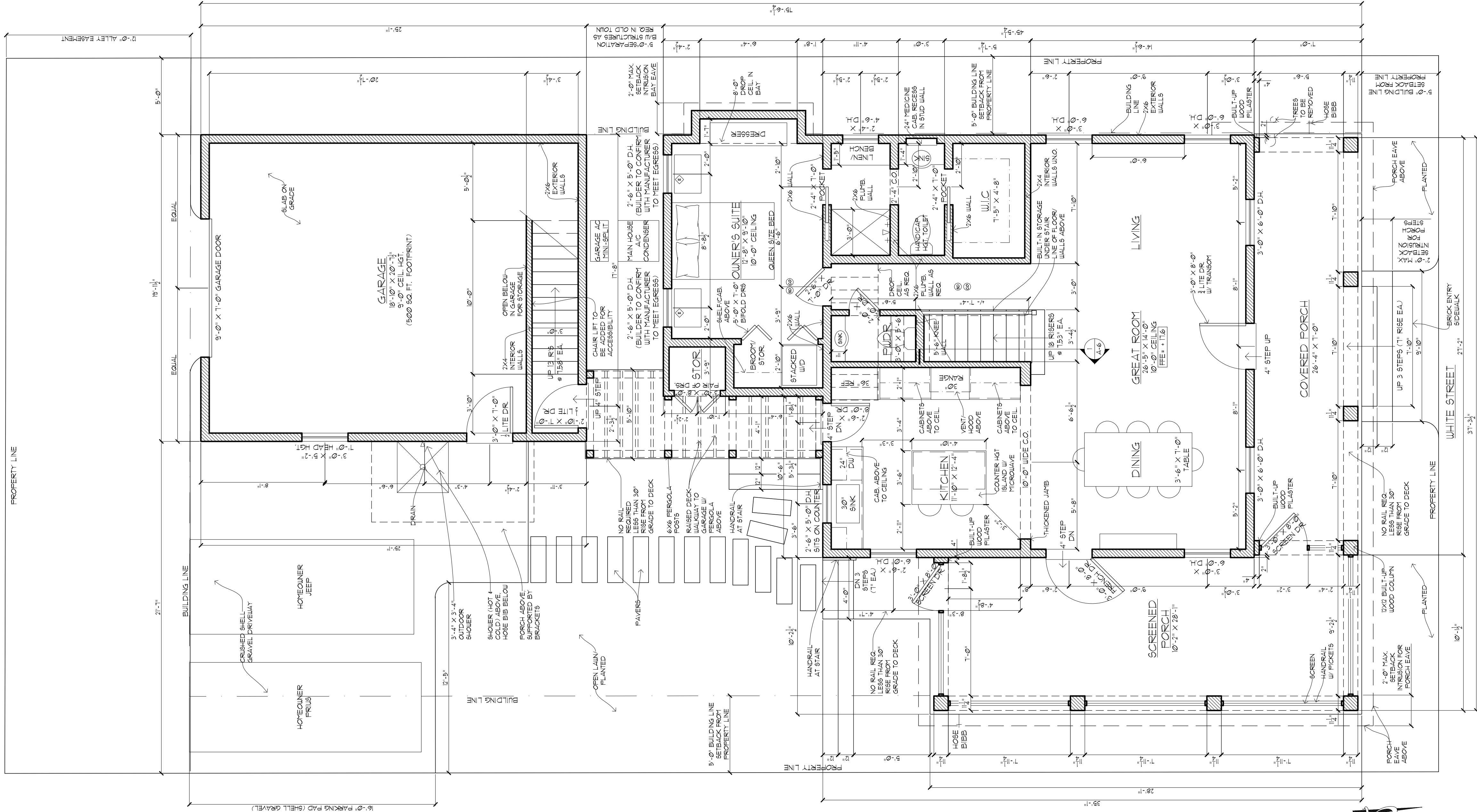
DRAWN BY: M.A.

DATE: 08-09-2023

SCALE: 1/4" = 1'-0"

SHEET NO:

A = 1



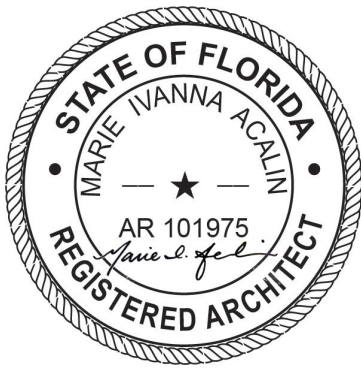
1
A-1
PROPOSED FIRST FLOOR/ SITE PLAN
SCALE: 1/4"=1'-0"

HEATED HOUSE: 941 SF
COVERED PORCHES: 458 SF
UNHEATED GARAGE: 500 SF

LOT COVERAGE: 941 SF MAIN HOUSE + 500 SF GARAGE =
1,441 TOTAL FOOTPRINT
1,441/ 4342.58 (SITE SF) = 33% COVERAGE

WALL LEGEND	
	EXISTING STUD WALL
	NEW STUD WALLS
	EXISTING TO BE REMOVED
	ABOVE

LIFE SAFETY CODE LEGEND	
	SMOKE DETECTOR - HARD WIRED
	CARBON DIOXIDE DETECTOR - HARD WIRED
	EGRESS WINDOW- TO BE VERIFIED BY WINDOW MANUFACTURER
	EXHAUST FAN REQUIRED- SEE SHEET L-1
	GROUND FAULT INTERRUPT REQUIRED- SEE SHEET L-1





18 PEACHTREE CIRCLE NE #2
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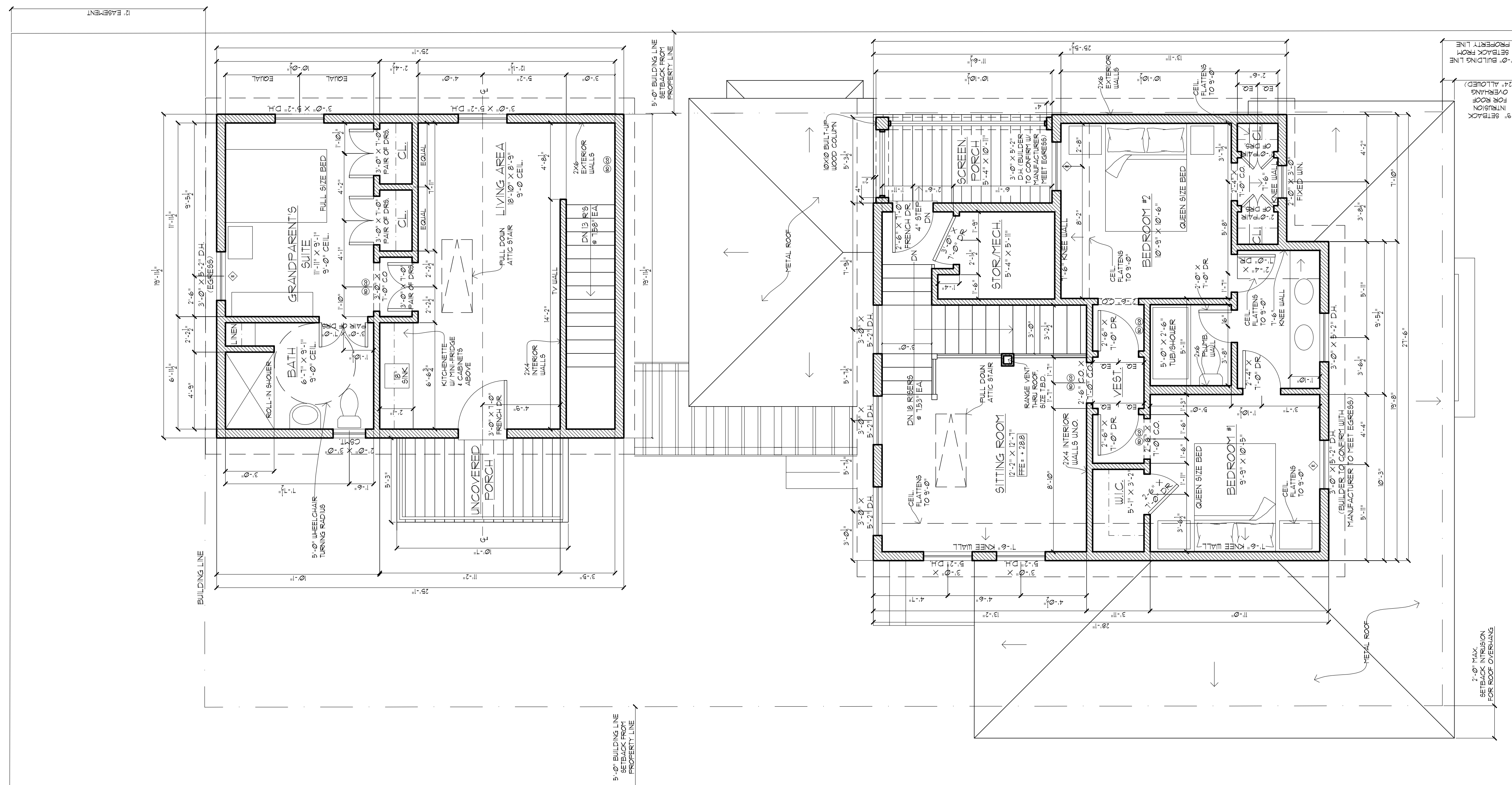
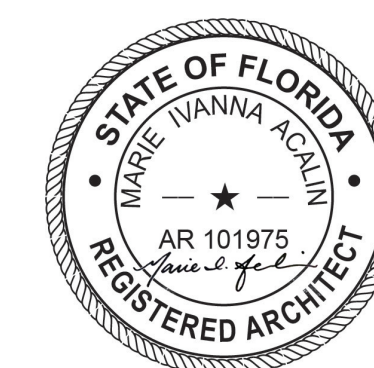
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DRAWN BY: M.A.

DATE: 08-09-2023

SCALE: 1/4" = 1'-0"

SHEET NO:

$$A = 2$$

$$\frac{1}{A-2}$$

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

HEATED HOUSE: 638 SF
COVERED PORCH: 51 SF
HEATED GARAGE: 453 SF
GARAGE PORCH: 61 SF

WALL LEGEND



EXISTING STUD WALL



NEW STUD WALLS



EXISTING TO BE REM



ABOVE

LIFE SAFETY CODE LEGEND

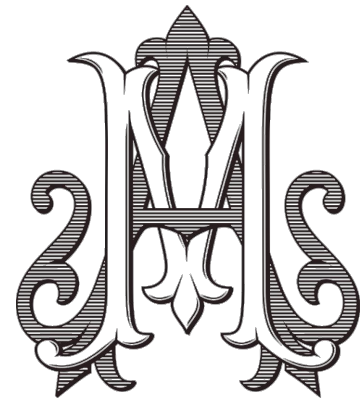
(SD) SMOKE DETECTOR - HARD WIRED

(CO) CARBON DIOXIDE DETECTOR - HARD WIRED

E EGRESS WINDOW- TO BE VERIFIED BY WINDOW MANUFACTURER

☐ F EXHAUST FAN REQUIRED- SEE SHEET L-1

☐ GFI GROUND FAULT INTERRUPT REQUIRED- SEE SHEET L-1



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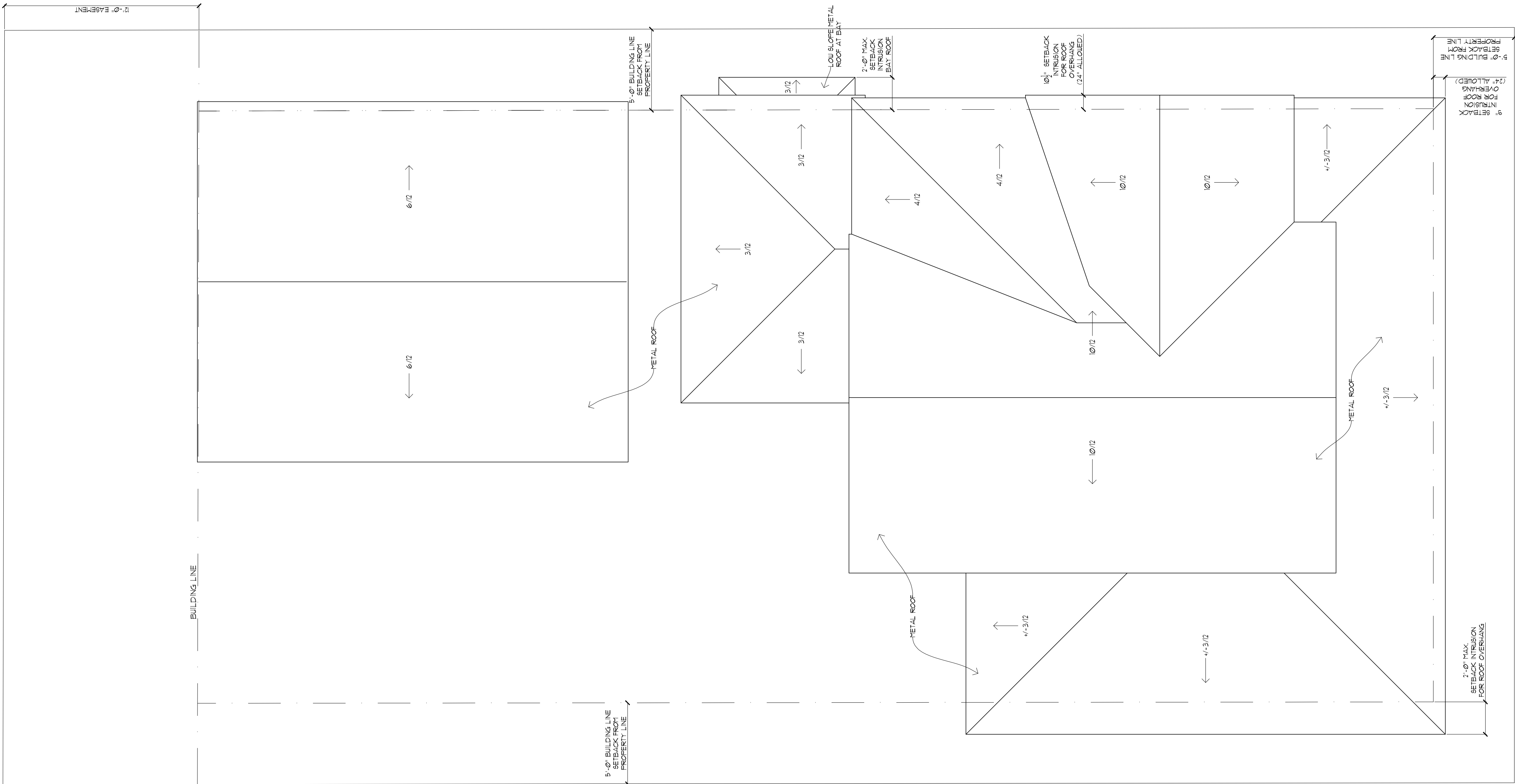
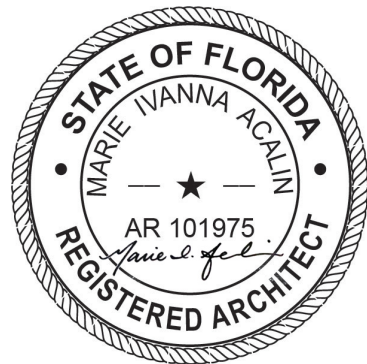
DRAWN BY: M.A.

DATE: 08-09-2023

SCALE: 1/4" = 1'-0"

SHEET NO:

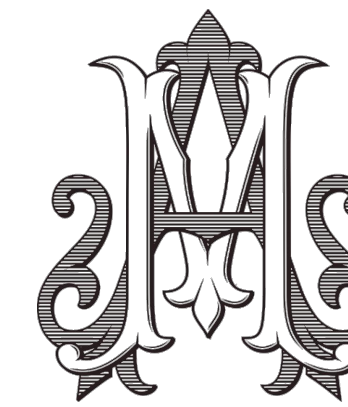
A=3



1
A-3

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



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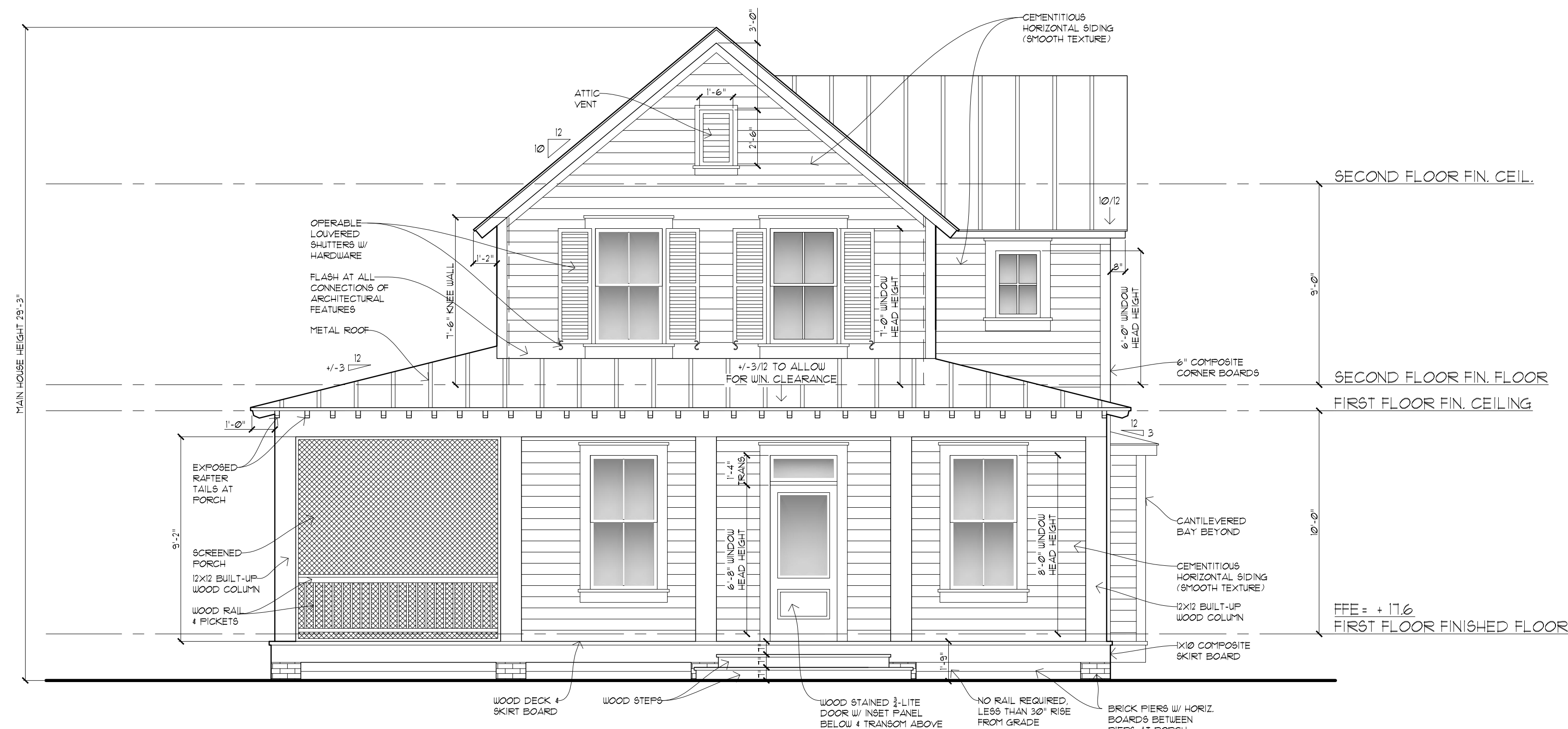
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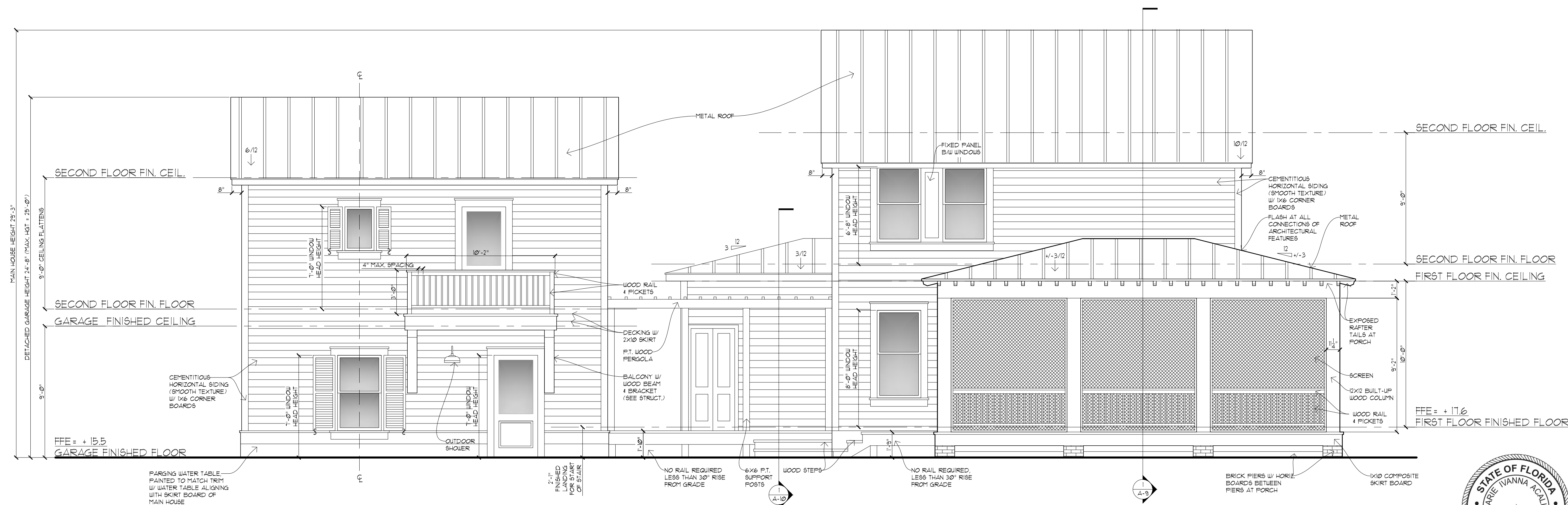
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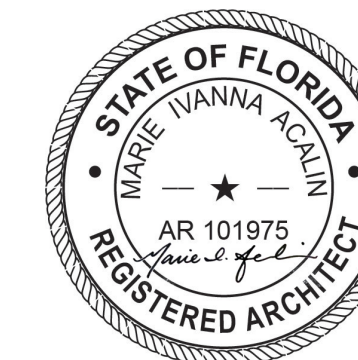
A = 4



1
A-4
PROPOSED FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



2
A-4
PROPOSED LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



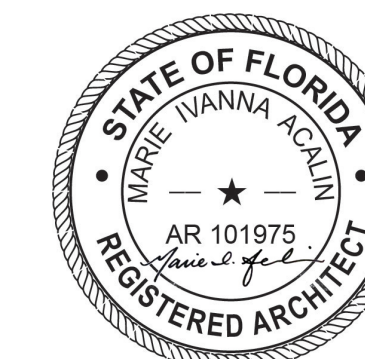


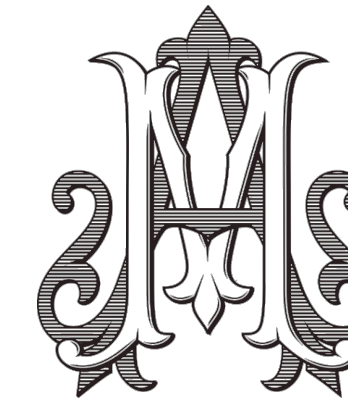
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SHEET NO:

$$\triangle = \begin{array}{c} \times \\ \diagup \quad \diagdown \\ \hline \hline \end{array} = \begin{array}{c} \diagup \quad \diagdown \\ \hline \hline \end{array}$$




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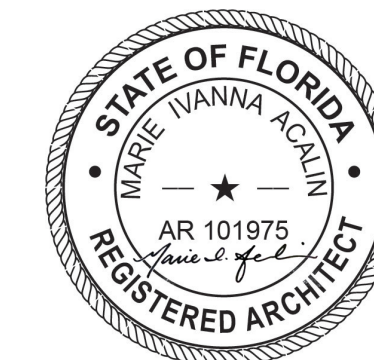
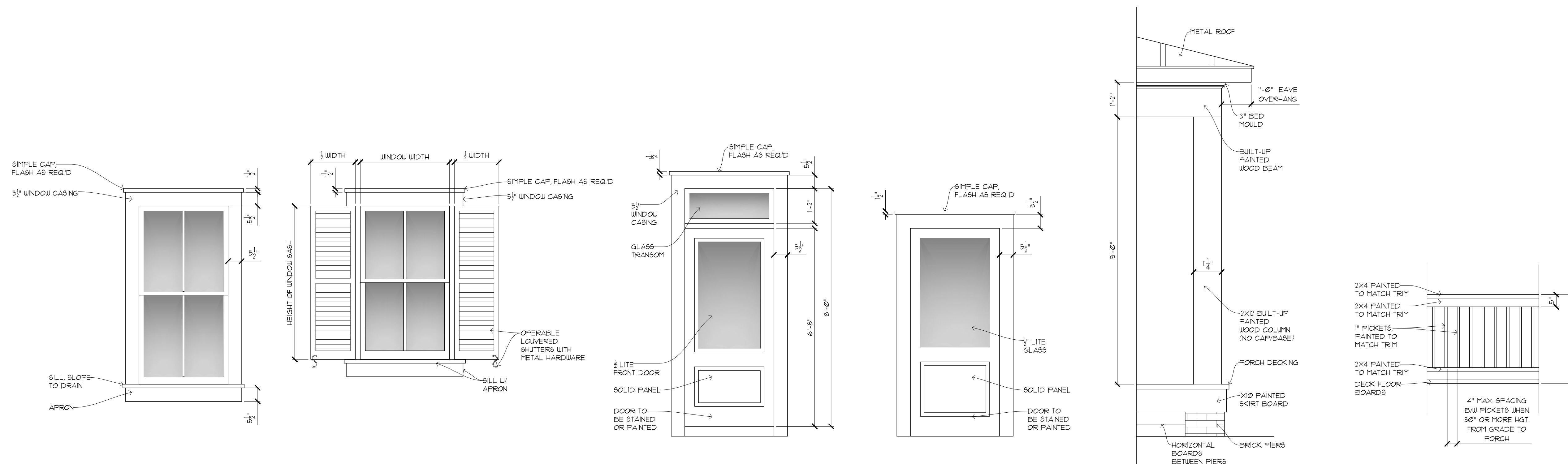
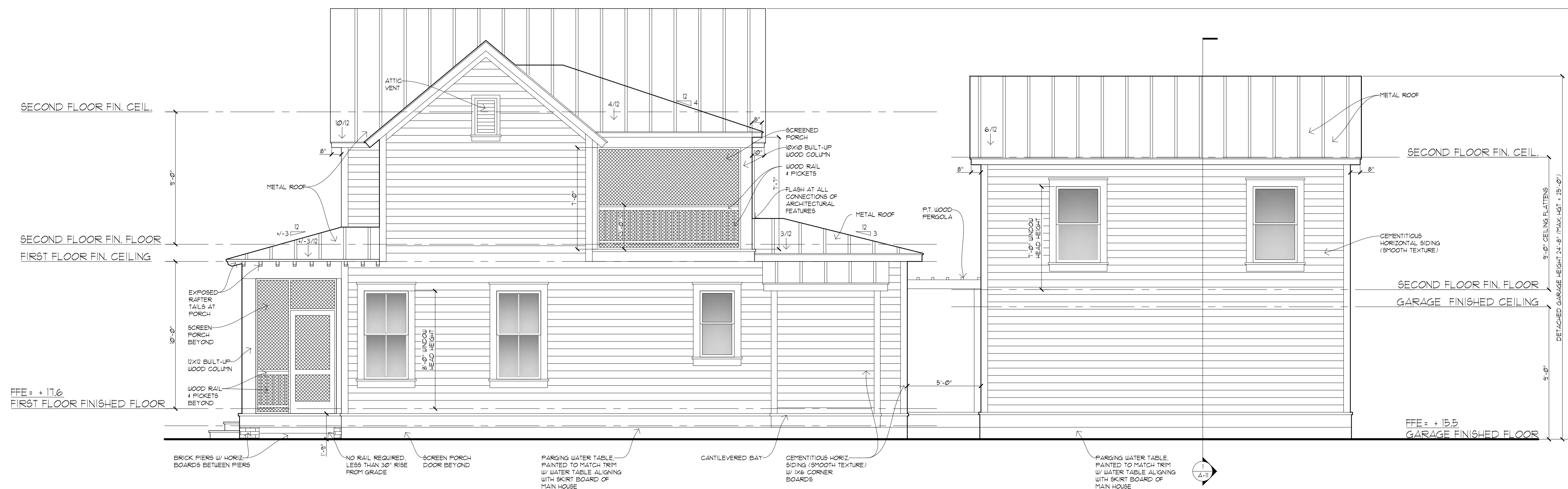
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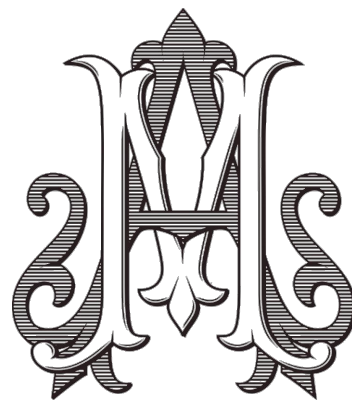
DATE: 08-09-2023

SCALE: VARIES

SHEET NO:

A-6





ACALIN
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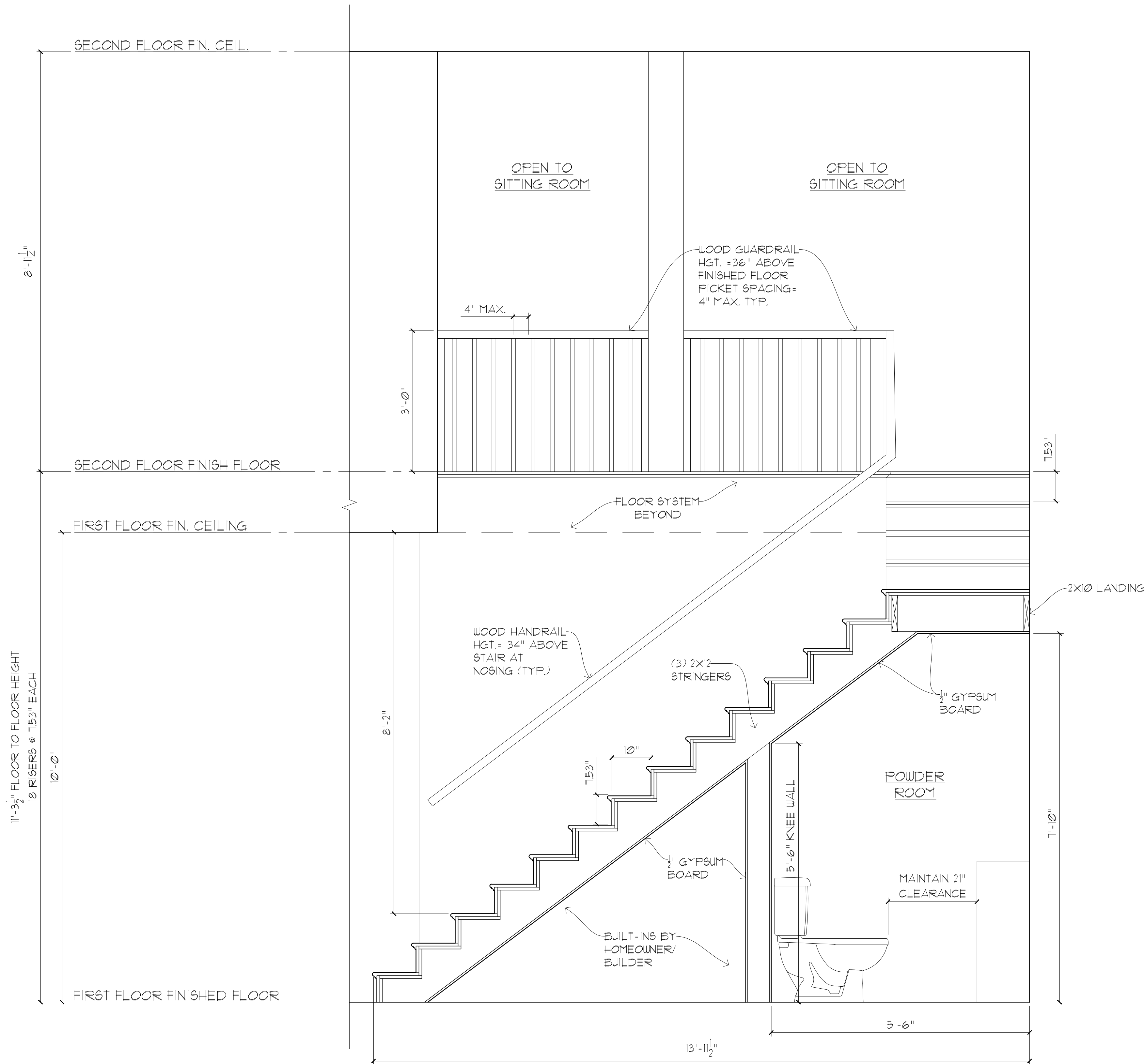
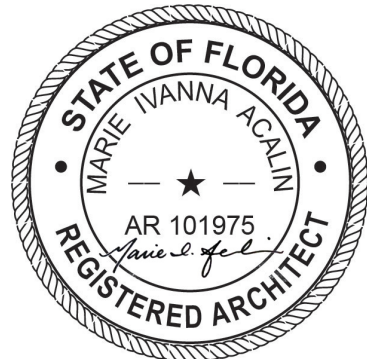
DRAWN BY: M.A.

DATE: 08-09-2023

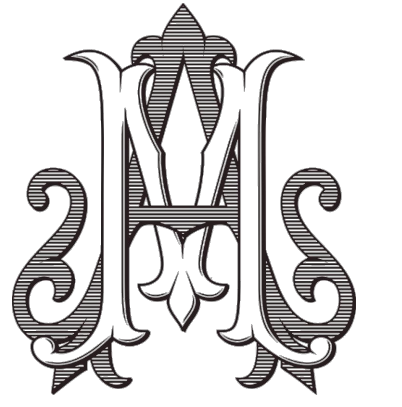
SCALE: 3/4" = 1'-0"

SHEET NO:

A-7



1
A-7
MAIN HOUSE STAIR SECTION
SCALE: 3/4" = 1'-0"



ACALIN
ARCHITECTURAL
SERVICES, LLC

18 PEACHTREE CIRCLE NE #2
ATLANTA, GEORGIA
30309

678-656-7057

MCGEHEE RESIDENCE

1106 WHITE STREET
FERNANDINA BEACH, FLORIDA 32034

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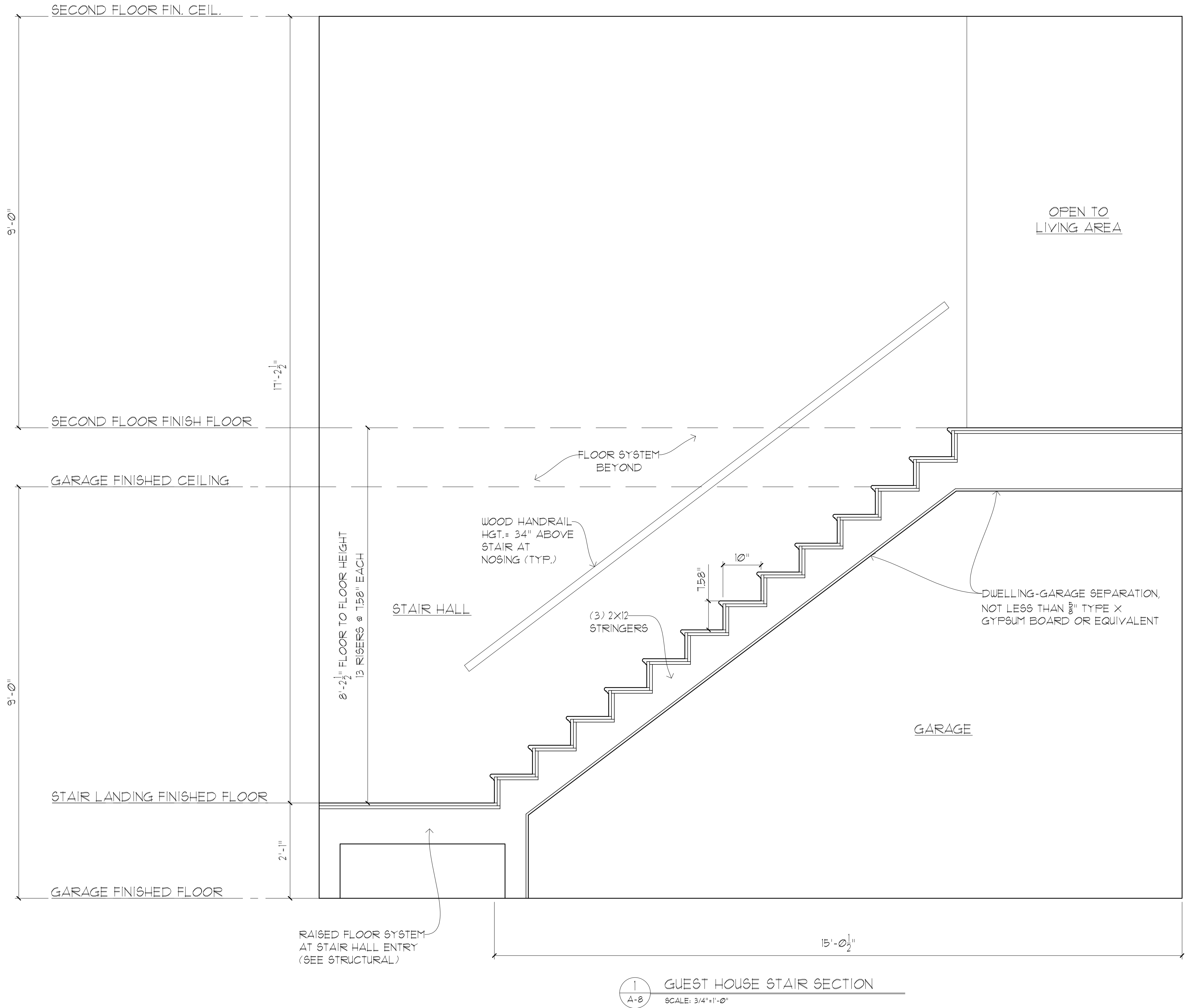
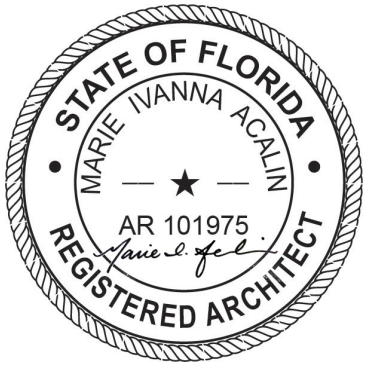
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SCALE: 3/4" = 1'-0"

SHEET NO:

A-8





18 PEACHTREE CIRCLE NE #2
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30309

678-656-7057

THE
UN-
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OF THE
HUMAN

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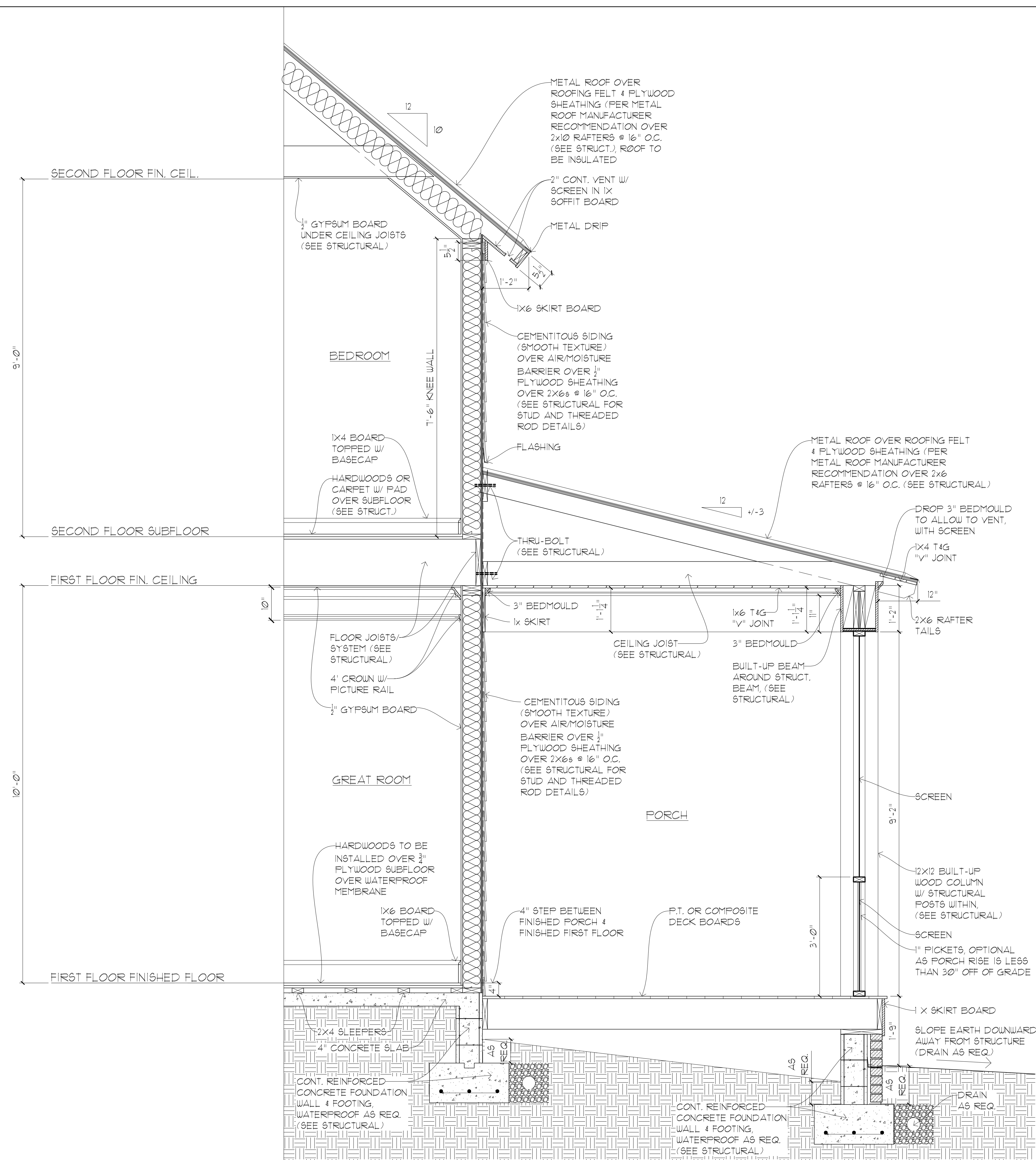
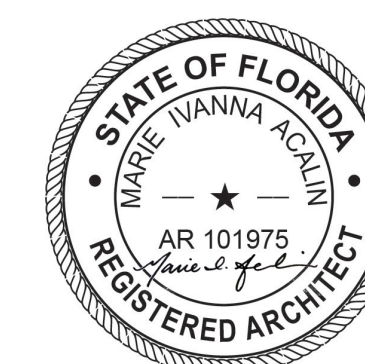
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DRAWN BY: M.A.

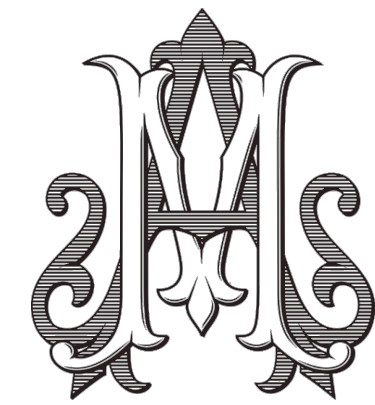
DATE: 08-09-2023

SCALE: 3/4" = 1'-0"

SHEET NO:

$$\triangle = 9$$


1
A-9 TYP. 2-STORY WALL/ PORCH SECTION
SCALE: 3/4"=1'-0"



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ATLANTA, GEORGIA
30309

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McGEHEE RESIDENCE

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FERNANDINA BEACH, FLORIDA 32034

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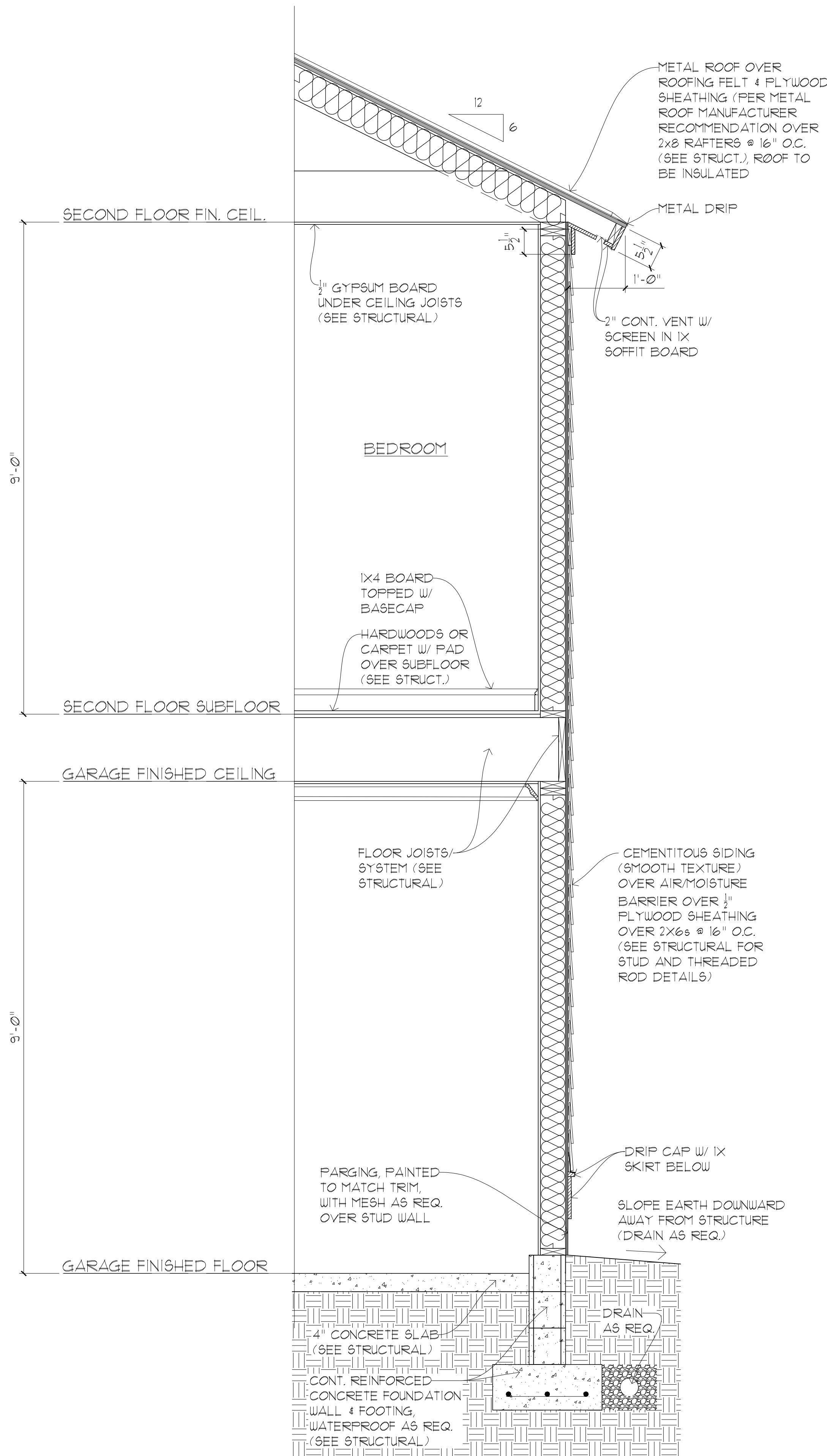
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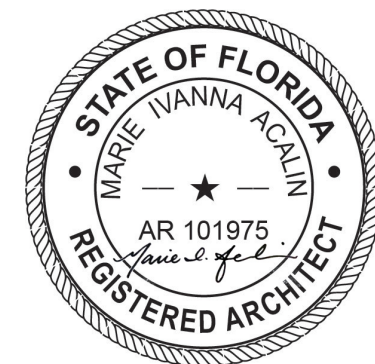
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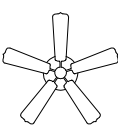
SHEET NO:

A = 10



1
A-10
TYPICAL GARAGE WALL SECTION
SCALE: 3/4" = 1'-0"



LIGHTING LEGEND	
	RECESSED FIXTURE
	CEILING MOUNTED / DECORATIVE LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	DIRECTIONAL LIGHT FIXTURE
	KEYLESS LIGHT FIXTURE
	RECESSED CEILING FAN
	RECESSED CEILING FANLIGHT
	FLUORESCENT FIXTURE
	FAN
	EXTERIOR FLOOD LIGHT
	CEILING HEATER (OPTIONAL)
WIRING IN CONDUIT RUN CONCEALED IN WALL/FLOOR/CEILING	

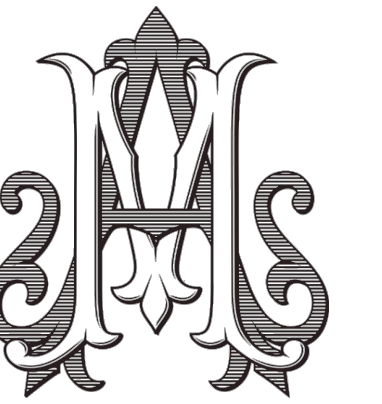
SWITCH LEGEND	
\$	SWITCH
$\frac{3}{\$}$	THREE WAY SWITCH
$\frac{4}{\$}$	FOUR WAY SWITCH
J	JAMB SWITCH

1
L-1

FIRST FLOOR LIGHTING/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

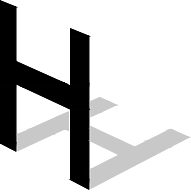
1
L-2 SECOND FLOOR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



DEBBIE McGEHEE

McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

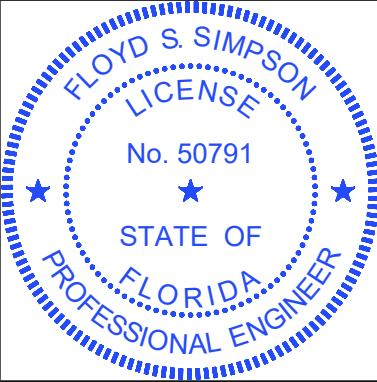
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JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846



FLOYD S. SIMPSON, PE STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE No. 50791

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CLIENT:
DEBBIE McGEHEE

PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER:	23-1203	COUNTY:	NASSAU
SCALE:	NTS (U.O.N.) DO NOT SCALE THIS DRAWING		
RELEASE DATE:	08-08-23		
REVISIONS:			
DRAWN BY: CMF			
CHECKED BY: FSS			
TITLE: COVER SHEET			
SHEET: C-1			

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DESIGN SPECIFICATIONS:

Project has been designed in accordance with the 7th Edition (2020) Florida Building Code, Residential, and the Florida Building Code, Existing Building (as applicable).

DESIGN CRITERIA:

Wind Design Method	ASCE 7-16
Basic Wind Speed:	130 mph
Building Risk Category:	II
Wind Exposure:	C (Enclosed Structure)
Building Classification:	Residential
Building Type:	Type V-B Construction
Wind-Borne Debris:	NOT located in the wind-borne debris region

Unless otherwise noted, project site considerations shall be the responsibility of the owner and/or contractor. Examples of such items include, but shall not be limited to, determination of grade elevations, drainage features, and special requirements associated with FEMA flood hazard and/or DEP zones.

DESIGN DEAD LOADS:

Floors:
The design floor dead load of 12 psf assumes a floor system utilizing wood decking or wood subflooring over wood truss, wood I-joist, or solid sawn lumber framing. The floor covering is assumed to be carpet, vinyl, wood or ceramic tile. The Engineer shall be notified if the floor coverings differ from the noted assumptions

Roofs:	
Metal or Shingle:	10 psf (Rafters) 7 psf (Wood Truss)
Concrete or Clay Tile:	15 psf
Refer to Architectural Plans for Roof Covering System	

DESIGN LIVE LOADS:

Floors:	
Exterior Balconies:	40 psf
Exterior Decks:	40 psf
Stairs:	40 psf (or 300 lb point load)
Garages:	50 psf (or 2000 lb point load)
All Other Areas:	40 psf

Attics:	
Without Storage:	10 psf
With Limited Storage:	20 psf
With Storage:	30 psf (fixed stair access)

Roofs:	
Less than 4:12 slope:	20 psf
4:12 slope or greater:	16 psf

DEFLECTION CRITERIA:

Walls:	
Wind loads with plaster or stucco finish:	L/360
Wind loads with other brittle finishes:	L/240
Wind loads with flexible finishes:	L/120 or L/180*

* L/180 for exterior walls with interior gypsum board finish.

Floors:	
Live Load:	L/480 *
Total Load:	L/240 *
* Increased floor stiffness may be required by floor covering manufacturer	

Roofs:	
Live Load:	L/240
Total Load:	L/180

GENERAL NOTES:

- The scope of these plans is limited to the structural requirements of this project. Architectural, civil (site), electrical, mechanical (plumbing and HVAC), waterproofing, and flashing requirements are not addressed in these plans.
- It is the intent of the Engineer of Record (Engineer) that this work be performed in conformance with all requirements of the authorities having jurisdiction over this type of construction and occupancy.
- The contractor is responsible for the means and methods of construction. It is the contractor's sole responsibility to determine the procedure, sequence, and temporary bracing as to insure the safety of the building and its component parts during construction.
- The contractor shall verify all conditions and dimensions at the job site prior to commencing work.
- The contractor shall supply, locate, and build into the work all inserts, anchors, angles, plates, openings, sleeves, hangers, slab depressions, or other components as may be required to attach and accommodate other work.
- All details and sections shown on the structural drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where indicated otherwise.
- Refer to the structural drawings for all structural details and sections. The contractor shall contact the Engineer for clarification in cases of conflict between the structural drawings and any drawings prepared by others prior to commencing work.
- It is the owner's and/or contractor's responsibility to obtain a soils exploration report. The design of the project structure assumes an allowable soil bearing capacity of 2000 psf. The Engineer shall be notified if soil conditions encountered differ from the noted assumptions. All requirements for site preparation and soil compaction specified in the soils report shall be followed unless more stringent requirements are specified in these plans.

CONCRETE:

- All concrete work shall be in accordance with "Building Code Requirements for Structural Concrete," ACI 318-14, and "Specification for Structural Concrete," ACI 301-16.
- All concrete shall have the following minimum compressive strength at 28 days:

Slabs on grade, footings, and misc. concrete: f'c=2500psi

Structural slabs, walls, beams and columns: f'c=3000psi

Designated radon zones only - all concrete: f'c=3000psi
- Cement shall conform to "Specification for Portland Cement" (ASTM C150)
- Aggregate shall conform to "Specification for Concrete Aggregates" (ASTM C33)
- Water shall be clean and free of injurious amounts of oil, acids, alkalis, salts, organic material or other substances that are deleterious to concrete or steel reinforcement.
- Reinforcing steel shall be ASTM A615 Grade 40 unless otherwise noted on the structural drawings. All reinforcing details shall conform to "Details and Detailing of Concrete Reinforcement," ACI 315, unless detailed otherwise on the structural drawings.
- Tolerances for foundation and slab alignment as well as placement of reinforcement shall be in accordance with "Standard Tolerances for Concrete Construction and Materials," ACI 117. Footing or slab edges may be up to 1/2" inside of the sill plate.

- All concrete slabs on grade shall be the thickness as indicated on the drawings over minimum 6 mil. polyethylene (visqueen) vapor barrier. Slabs shall be reinforced with 6x6 W1.4x1.4 WWF lapped 8" at edges and ends in conformance with ASTM-A 185, or fibermesh reinforcement shall be used with a minimum fiber length of ½" to 2 ¼" complying with ASTM C 1116. The dosage amount shall be 0.75 to 3.0 pounds per cubic yard in accordance with manufacturer's recommendations.
- Slabs on grade shall bear on structural fill which shall be clean sand free of debris and other deleterious material. Structural fill shall be compacted to a density of at least 95% of the Modified Proctor Maximum Dry Density (ASTM D1557). Termite protection shall be provided in accordance with applicable code requirements. If soil treatment is used, the treatment shall be done after all excavation, backfilling, and compaction is completed.
- Footings may bear upon undisturbed soil or upon structural fill. Structural fill shall be compacted to a density of at least 95% of the Modified Proctor Maximum Dry Density (ASTM D1557) for a depth of at least two feet (2'-0") below the bottom of the footing.
- The following minimum concrete cover shall be provided for reinforcement:

3" Concrete cast against and permanently exposed to earth

2" Concrete exposed to earth or weather

1 ½" Concrete not exposed to earth or weather
- All continuous reinforcing steel in concrete shall be lap-spliced with the following minimum lengths:

#4 bars: Top steel 23" minimum, Bottom steel 17" minimum.

#5 bars: Top steel 28" minimum, Bottom steel 22" minimum.

#6 bars: Top steel 34" minimum, Bottom steel 26" minimum.
- Reinforcement in footings shall be bent around corners or corner bars shall be used.
- The contractor shall provide spacers, chairs, bolsters, etc., necessary to support reinforcing steel. Support items which bear on exposed concrete surfaces shall have ends which are plastic tipped or stainless steel.

MASONRY:

General:

- All masonry work shall be in accordance with "Building Code Requirements for Masonry Structures," TMS 402-2016, and Specifications for Masonry Structures," TMS 602-2016.
- Grout shall conform to ASTM C476 with minimum 28 day compressive strength of 3000 psi per ASTM C1019. Grout shall be mixed to provide a slump between 8" to 11".
- Mortar shall conform to ASTM C270 and be Type M or S. Type N mortar may be used in brick veneer.
- The contractor shall be responsible for the design and installation of all flashing.

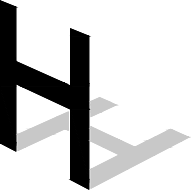
Concrete Masonry (CMU):

- Concrete masonry units (CMU) shall be ASTM C90-14, Hollow Load-Bearing Concrete Masonry Units, normal weight, with a minimum compressive strength of 2000 psi (f'm=2000 psi).
- All continuous reinforcing steel in masonry shall be lap-spliced with the following minimum lengths:

#4 bars: 20" minimum

#5 bars: 25" minimum

#6 bars: 30" minimum
- Grout all cells containing vertical reinforcement in 5'-4" maximum lifts.
- Provide cleanouts per TMS 602-2016 in the bottom course of masonry when the wall height exceeds 5'-4".
- Beam reinforcement shall be continuous across control joints.
- Reinforcing steel shall be ASTM A615 Grade 40 unless otherwise noted on the structural drawings.

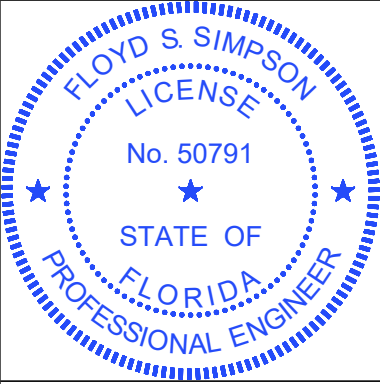


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CLIENT: DEBBIE McGEHEE	
PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: 1/8" = 1'-0" (U.O.N.) DO NOT SCALE THIS DRAWING	
RELEASE DATE: 08-08-23	
REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: GENERAL NOTES SHEET 1 of 2	
SHEET: S-1	

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Clay Masonry (Brick):

1. Brick shall conform to ASTM C62, C216, or C652 for Building Brick, Facing Brick, and Hollow Brick, respectively. Grade MW shall be used.
2. Brick veneer shall be anchored with approved ties spaced no more than 16" o.c. vertical and 16" o.c. horizontal. Additional ties shall be provided around all wall openings greater than 16" in either direction, and shall be spaced no more than 36" o.c. and placed within 12" of the openings.
3. Strand wire veneer ties shall not be less in thickness than No. 9 gage wire and shall have a hook embedded in the mortar joint. Sheet metal ties shall not be less than No. 22 gage by 7/8" corrugated and fastened with 1 ¼" galvanized roofing nails. Adjustable or strand wire veneer ties shall be used at CMU walls.
4. Unless otherwise noted on the plans, a steel angle L4x4x1/4 shall be used for supporting brick veneer over openings. This angle will not be required for arched windows where brick is self-supporting. If the length of the opening exceeds 6'-0" then the steel angle shall be attached to the wood framing with ¾" x 3" lag screws @ 12" o.c. or Simpson ¼" x 3" SDS screws @ 12"o.c.

WOOD FRAMING:

1. All wood framing has been designed in accordance with "National Design Specification (NDS) for Wood Construction," 2018 edition.
2. All wood members exposed to weather or in contact with masonry, concrete or soil shall be treated with an appropriate preservative suitable for the exposure conditions.
3. If ACQ treatment is used on any wood member, then all nailing shall require hot-dipped galvanized nails meeting ASTM A153, Class C, or ASTM B695, Class 50. If borate treatment is used then galvanizing is not required.
4. Prefabricated wood trusses shall comply with NDS and "National Design Standard for Metal Plate Connected Wood Truss Construction (TPI 1-2014)."
5. All trusses shall be designed by the Truss Manufacturer's registered Engineer.
6. The Truss Manufacturer shall submit shop drawings and design notes with a registered Engineer's seal for approval. Design notes shall include the rated load capacity of the truss to truss connectors, and the manufacturer's license to fabricate trusses utilizing the connector system proposed. The contractor shall approve fabrication and installation drawings showing size, shape and layout.
7. Jobsite handling and erection, including temporary bracing, during installation of trusses shall comply with TPI / WTCA BCSI 1.
8. All prefabricated wood trusses subjected to uplift conditions shall be securely fastened to their supporting walls or beams with metal connectors as noted in the Truss Connection Schedule.
9. All gable ends shall be balloon framed or braced in accordance with the applicable detail as shown in the structural drawings.
10. Guardrails, handrails, and guard in-fill components (Balusters and Panel Fillers) shall be provided by others.
11. Engineered lumber (LVL, Parallam or LSL) shall meet the following minimum material specifications:

LVL or Parallam

LSL

E=2,000,000 psi

E=1,550,000 psi

Fb=2,600 psi

Fb=2,325 psi

Fc =750 psi

Fc =900 psi

Fv=285 psi

Fv=310 psi
12. Fasten plies of 1 ¾" wide engineered lumber as follows:

2-ply beams with (3) rows of 0.131"x3 ¼" nails @ 12"o.c.

3-ply beams with (3) rows of 0.131"x3 ¼" nails @ 8"o.c. (each side)

4-ply beams with (2) rows of Simpson 6 ¾" long SDW screws @ 12" o.c.

STRUCTURAL STEEL:

1. Structural steel shall conform to AISC Specifications for Design and Fabrication and Erection of Structural Steel for Buildings (latest editions).

a. Welded Connections:

AWS D1.1

b. Structural Steel plates:

ASTM A36 (Fy=36 ksi) or ASTM A572 (Fy=50 ksi)

c. Structural Steel W-shapes:

ASTM A992 (Fy=50 ksi)

d. Structural Steel Angles and Channels:

ASTM A572 (Fy=50 ksi)

e. Structural Steel Rectangular HSS or Tubes:

ASTM A500 (Fy=50 ksi)

f. Structural Steel Round HSS or Pipe:

ASTM A500 (Fy=46 ksi) or ASTM A53 (Fy=35 ksi)
2. All structural steel connections and fabrications shall comply with AISC specifications.
3. Steel shop drawings shall be provided to the Engineer for approval prior to fabrication.
4. Holes required for bolted connections may be drilled or punched. Flame-cut holes shall not be used.
5. Bolts shall be installed to the "snug-tight" condition - u.o.n.
6. All structural steel shall be shop-painted with SSPC Paint 15 (red oxide) primer. Prior to painting, steelwork shall be cleaned per SSPC SP-6 "Commercial Blast Cleaning".
7. SSPC Paint 36 (polyurethane) shall be applied as the final coat to all structural steel surfaces exposed and visible to the exterior of the structure.
8. Field touch-up after installation where required to restore final finish.

HARDWARE AND ANCHORS:

1. All framing anchors and connectors shall be manufactured by Simpson Strong-Tie, MiTek, or Engineer approved equal.
2. All anchor bolts and threaded rods shall be in accordance with ASTM A307 or ASTM F1554, Grade 36.
3. All metal connectors and hardware which are exposed to the exterior or in contact with ACQ pressure treated lumber shall be Type 316 stainless steel or galvanized per ASTM A153, Class C, or ASTM B695, Class 50.
4. Anchor adhesives shall be either SET-3G by Simpson Strong-Tie or HIT-HY 200 by Hilti with Florida Product Approval and installed according to the manufacturer's instructions. Holes shall be cleaned of all debris and brushed out prior to installation of anchor adhesive.

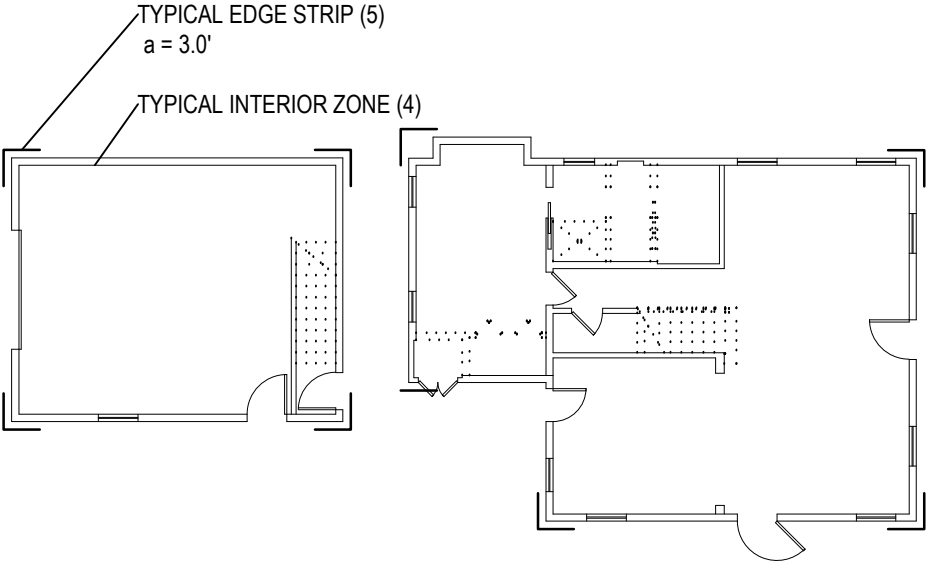
ROOF COVERING:

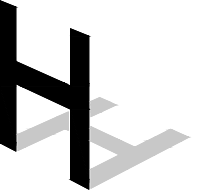
1. The contractor shall be responsible for the design and installation of the roof covering system.
2. Asphalt shingles shall comply with ASTM D3161 and be installed according to the manufacturer's requirements.
3. Clay and tile roofs shall be installed per the "Concrete and Clay Roof Tile Installation Manual," and the manufacturer's requirements.
4. Standing seam metal roofs shall comply with ASTM E1514 and be installed according to the manufacturer's requirements.
5. The contractor shall be responsible for the design and installation of all metal flashing and valley material.

WINDOW, DOOR AND SOFFIT PRESSURES:

1. All window, door and soffit assemblies shall be designed to withstand the design pressures indicated below and shall be installed in accordance with the manufacturer's requirements.

WIND PRESSURES ON WINDOWS, DOORS & SOFFITS (psf)				
AREA OF OPENING	EDGE STRIP (5)		INTERIOR ZONE (4)	
	Pos	Neg	Pos	Neg
0 to 20 sf	25.0	-33.5	25.0	-27.1
20.1 to 50 sf	24.0	-31.2	24.0	-26.1
50.1 to 100 sf	22.5	-28.2	22.5	-24.6
100.1 to 200 sf	21.2	-26.1	21.2	-23.3
200.1 to 500 sf	20.1	-23.7	20.1	-22.3
Soffit Design Pressure	25.0	-33.5	25.0	-27.1
Base Design Pressure	21.20		GCpi = ±0.18	



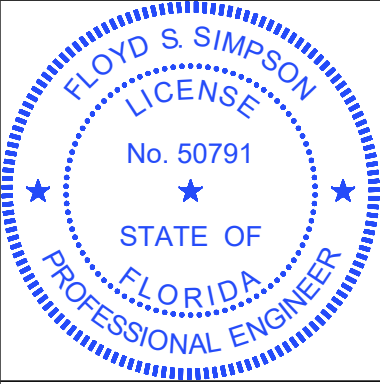


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PROJECT:

McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

JOB NUMBER:

23-1203

COUNTY:

NASSAU

SCALE:

1/8" = 1'-0" (U.O.N.)
DO NOT SCALE THIS DRAWING

RELEASE DATE:

08-08-23

REVISIONS:

DRAWN BY:

CMF

CHECKED BY:

FSS

TITLE:

GENERAL NOTES
SHEET 2 of 2

SHEET:

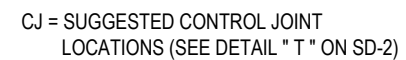
S-2

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Diagram illustrating the construction of a cantilevered concrete slab. The diagram shows a cross-section of the slab and its connection to a wall. The following components are labeled:

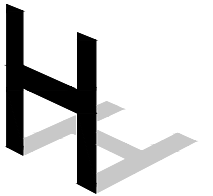
- WALL FRAMING
- $\frac{1}{4}'' \times 3 \frac{1}{4}''$ TAPCON SCREWS @ 24" O.C.
- SILL PLATE
- 6" CANTILEVERED CONCRETE SLAB
- #5 REINFORCEMENT @ 12" O.C. EACH WAY
- GRADE
- COMPACTED SOIL FOR FORMING CANTILEVERED SLAB MAY BE REMOVED AFTER SLAB CURES FOR MINIMUM (7) DAYS

A circular logo with a horizontal line. Above the line is the letter 'A' and below the line is the text 'S-2'.



 = DENOTES TWO STORY
FOOTING CONDITION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS
USING FINAL APPROVED FLOOR PLAN PRIOR
TO CONSTRUCTION

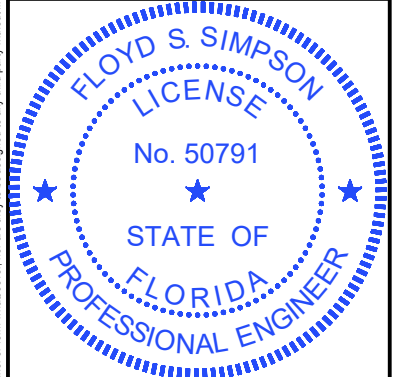


HULSBERG

ENGINEERING

12058 SAN JOSE BLVD, #1001
JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846



FLOYD S. SIMPSON, PE STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE No. 50791

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08-08-23 USING A DIGITAL SIGNATURE

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CLIENT: **DEBBIE McGEHEE**

PROJECT:
McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

JOB NUMBER: 23-1203	COUNTY: NASSAU
-------------------------------	--------------------------

SCALE: $\frac{1}{8}" = 1'-0"$ (U.O.N.)
DO NOT SCALE THIS DRAWING

RELEASE DATE:	08-08-23
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REVISIONS:

DRAWN BY: CMF

CHECKED BY: FSS

TITLE: **FOUNDATION PLAN**

SHEET: S-3

NOTE:
INSTALL SOLID BLOCKING BETWEEN FLOORS AT ALL SECOND FLOOR BUILT-UP POSTS

GARAGE DOOR NOTES

1. INSTALL (1) MSTA30 STRAP AT EACH END OF GARAGE DOOR HEADER. NAIL STRAP INTO HEADER AND JACKS BELOW
2. 9' GARAGE DOOR SHALL BE RATED FOR A MINIMUM DESIGN PRESSURE OF 23.9 psf ±

WALL FRAMING NOTES:

- 1) ALL FIRST FLOOR EXTERIOR WALLS SHALL BE CONSTRUCTED WITH **2x6** SPF No.2 STUDS @ 16"O.C. FOR PLATE HEIGHTS UP TO 10'-1 1/8" - U.O.N.
- 2) ALL FIRST FLOOR INTERIOR BEARING WALLS SHALL BE CONSTRUCTED WITH **2x4** SPF No.2 STUDS @ 16"O.C. FOR PLATE HEIGHTS UP TO 10'-1 1/8" - U.O.N.
- 3) THE FIRST FLOOR EXTERIOR WALL FINISH IS "FLEXIBLE" (SIDING) - U.O.N. NOTIFY ENGINEER OF ANY VARIATIONS.

NOTE:

EACH POST SHALL BE TREATED 4x4 POST ON ABU44-Z POST BASE STRAP POST TO EACH BEAM ABOVE WITH (1) H6-Z CLIP OR (1) MSTA24-Z TYPICAL ALL POSTS - (U.O.N.) SEE DETAIL "F" ON SHEET SD-7

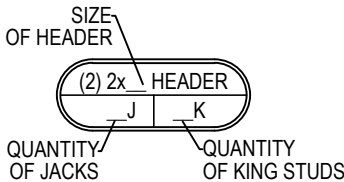
WALL LAYOUT - FIRST FLOOR

SHEARWALL LEGEND:

- = NON-BEARING WALL
- ===== = BEARING WALL
- SW-6 = SHEARWALLS FASTENED WITH 8d COM (0.131"x 2 1/2") NAILS @ 6"O.C. ON EDGES AND 12"O.C. ON INTERMEDIATE SUPPORTS.
- SW-3 = SHEARWALLS FASTENED WITH 8d COM (0.131"x 2 1/2") NAILS @ 3"O.C. ON EDGES AND 12"O.C. ON INTERMEDIATE SUPPORTS.
- SBS = SHEATH BOTH SIDES OF WALL AT INDICATED SHEARWALL

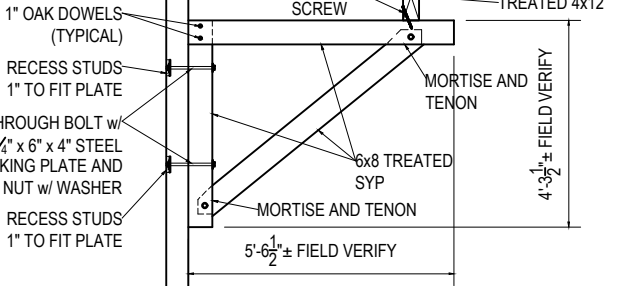
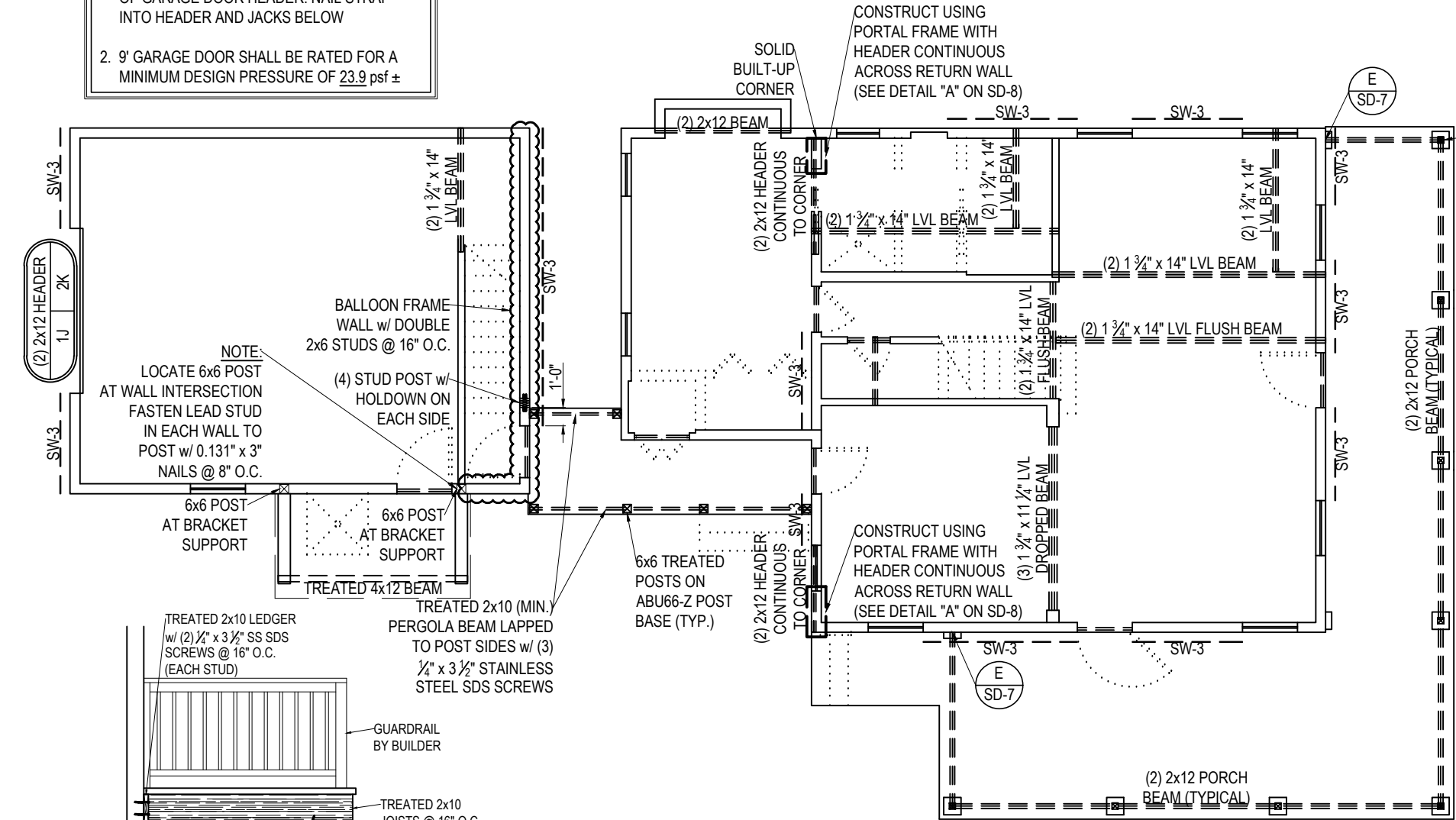
NOTE: ALL EXTERIOR WALLS SHALL BE "SW-6" U.O.N.

WOOD FRAMED HEADER LEGEND:



NOTE:

ALL WOOD FRAMED LOAD BEARING HEADERS SHALL BE MINIMUM (2) 2x6 No.2 OR BETTER SYP. INSTALL MINIMUM (1) JACK AND (1) KING STUD AT EACH HEADER (U.O.N.)



A
S-4
BRACKET DETAIL

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JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846

FLOYD S. SIMPSON
LICENSE
No. 50791
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

FLOYD S. SIMPSON, PE STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE No. 50791

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CLIENT:
DEBBIE McGEHEE

PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
1/8" = 1'-0" (U.O.N.)
DO NOT SCALE THIS DRAWING

RELEASE DATE:
08-08-23

REVISIONS:

DRAWN BY:
CMF

CHECKED BY:
FSS

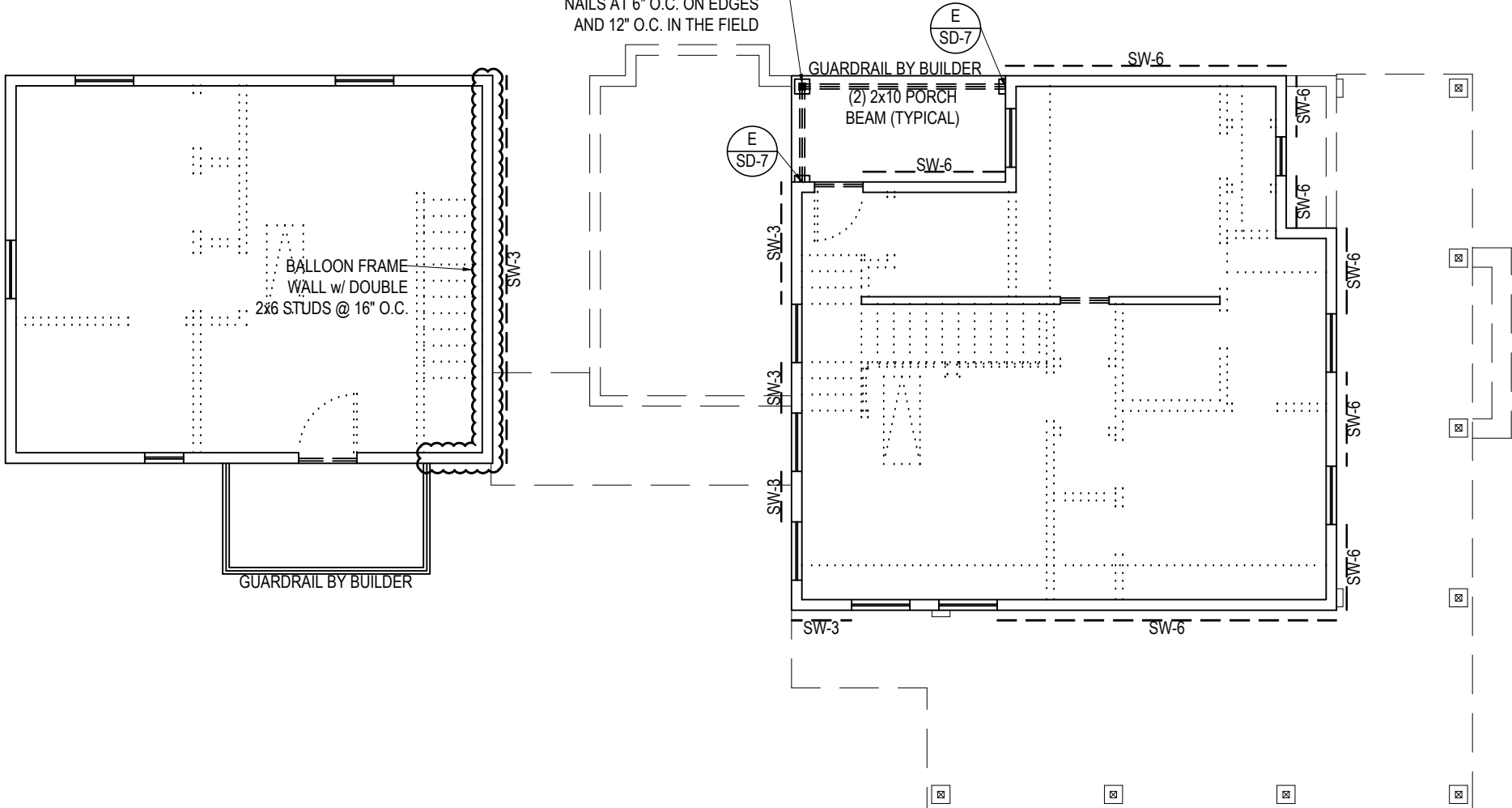
TITLE:
**WALL LAYOUT
FIRST FLOOR**

SHEET:
S-4

NOTE:
INSTALL SOLID BLOCKING BETWEEN
FLOORS AT ALL SECOND FLOOR
BUILT-UP POSTS

NOTE:
EACH BALCONY POST SHALL BE
TREATED 4x4 POST STRAPPED TO
FRAMING BELOW WITH MSTA36-Z STRAP
STRAP POST TO EACH BEAM ABOVE
WITH (1) H6-Z CLIP OR (1) MSTA24-Z

NOTE:
THIS OPEN PORCH CEILING
REQUIRES A MINIMUM 3/8" SHEATHING
FASTEN WITH 6d COM OR BOX
NAILS AT 6" O.C. ON EDGES
AND 12" O.C. IN THE FIELD



WALL LAYOUT - SECOND FLOOR

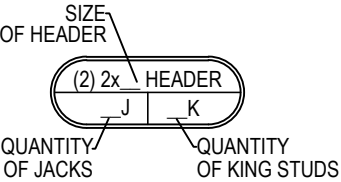
- WALL FRAMING NOTES:**
- 1) ALL SECOND FLOOR EXTERIOR WALLS SHALL BE CONSTRUCTED WITH **2x6** SPF No.2 STUDS @ 16"O.C. FOR PLATE HEIGHTS UP TO 9'-1 1/8" - U.O.N.
 - 2) ALL SECOND FLOOR INTERIOR BEARING WALLS SHALL BE CONSTRUCTED WITH **2x4** SPF No.2 STUDS @ 16"O.C. FOR PLATE HEIGHTS UP TO 9'-1 1/8" - U.O.N.
 - 3) THE SECOND FLOOR EXTERIOR WALL FINISH IS "FLEXIBLE" (SIDING) - U.O.N. NOTIFY ENGINEER OF ANY VARIATIONS.

SHEARWALL LEGEND:

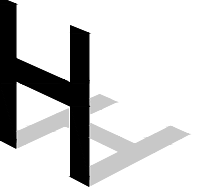
- = NON-BEARING WALL
- ===== = BEARING WALL
- SW-6 = SHEARWALLS FASTENED WITH 8d COM (0.131"x 2 1/2") NAILS @ 6"O.C. ON EDGES AND 12"O.C. ON INTERMEDIATE SUPPORTS.
- SW-3 = SHEARWALLS FASTENED WITH 8d COM (0.131"x 2 1/2") NAILS @ 3"O.C. ON EDGES AND 12"O.C. ON INTERMEDIATE SUPPORTS.
- SBS = SHEATH BOTH SIDES OF WALL AT INDICATED SHEARWALL

NOTE: ALL EXTERIOR WALLS SHALL BE "SW-6" U.O.N.

WOOD FRAMED HEADER LEGEND:



NOTE:
ALL WOOD FRAMED LOAD BEARING HEADERS SHALL BE MINIMUM **(2) 2x6** No.2 OR BETTER SYP. INSTALL MINIMUM (1) JACK AND (1) KING STUD AT EACH HEADER (U.O.N.)

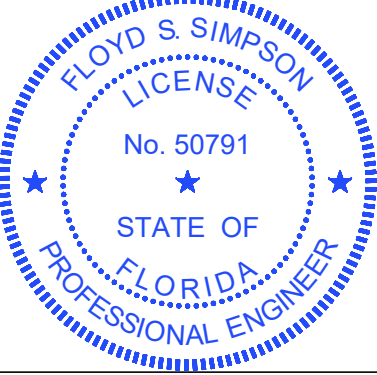


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JACKSONVILLE, FL 32223
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FLORIDA REGISTRY # 25846



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PROFESSIONAL ENGINEER, LICENSE No. 50791

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DEBBIE McGEHEE

PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
1/8" = 1'-0" (U.O.N.)
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RELEASE DATE:
08-08-23

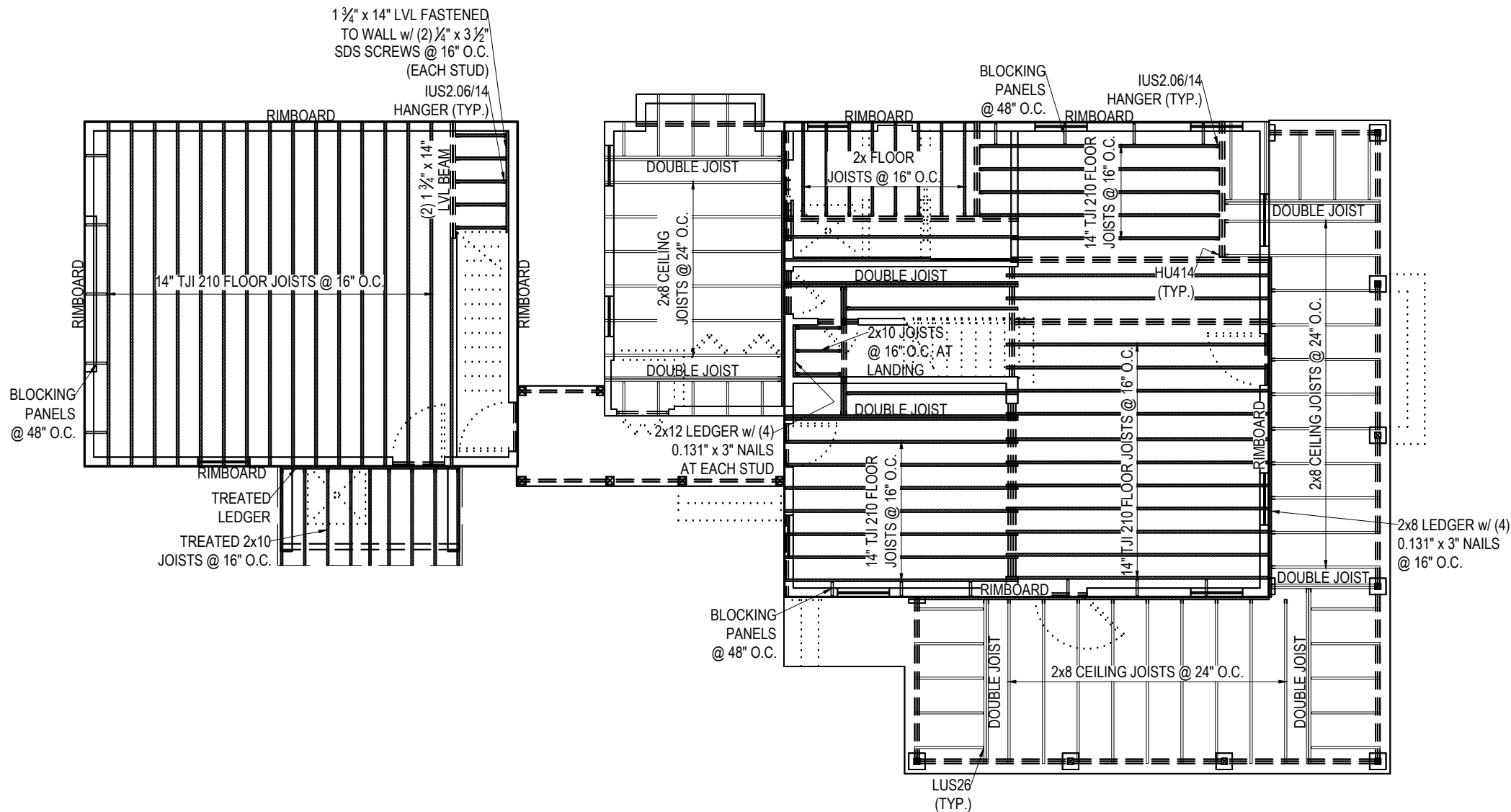
REVISIONS:

DRAWN BY:
CMF

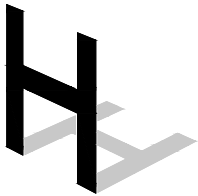
CHECKED BY:
FSS

TITLE:
**WALL LAYOUT
SECOND FLOOR**

SHEET:
S-5



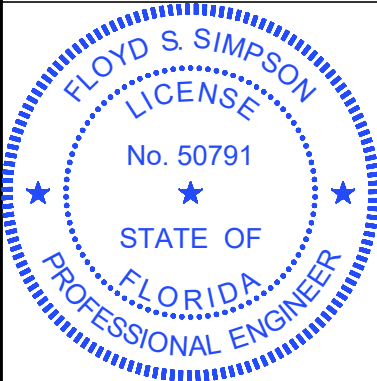
FIRST FLOOR - FLOOR FRAMING & CEILING LAYOUT



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JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846

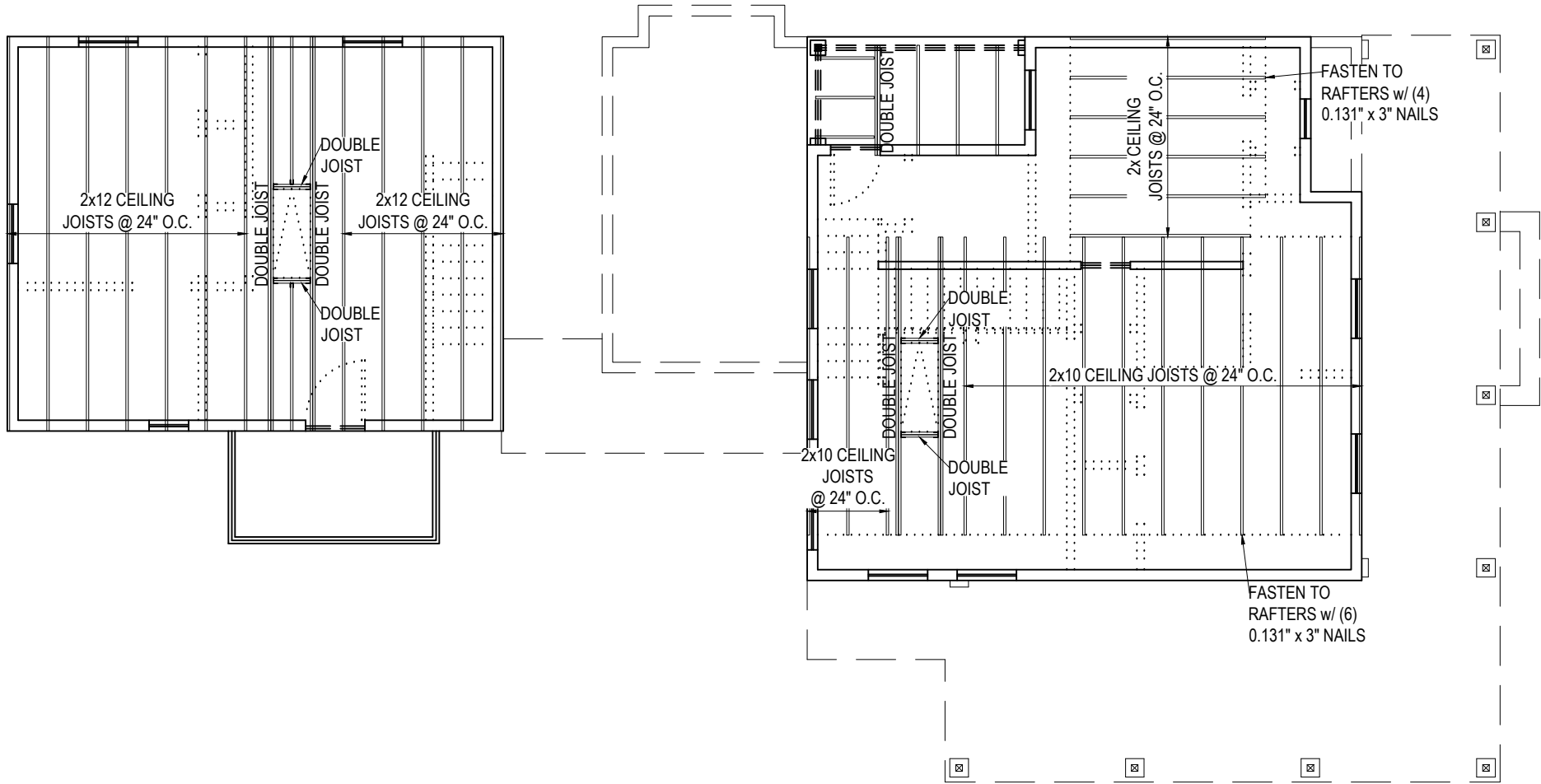


FLOYD S. SIMPSON, PE STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE No. 50791

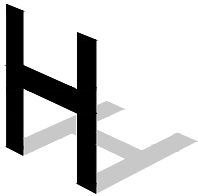
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PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: $\frac{1}{8}" = 1'-0"$ (U.O.N.) DO NOT SCALE THIS DRAWING	
RELEASE DATE: 08-08-23	
REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: FLOOR & CEILING LAYOUT	
SHEET: S-6	



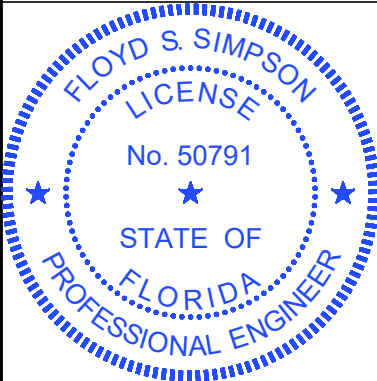
CEILING FRAMING LAYOUT - SECOND FLOOR



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PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
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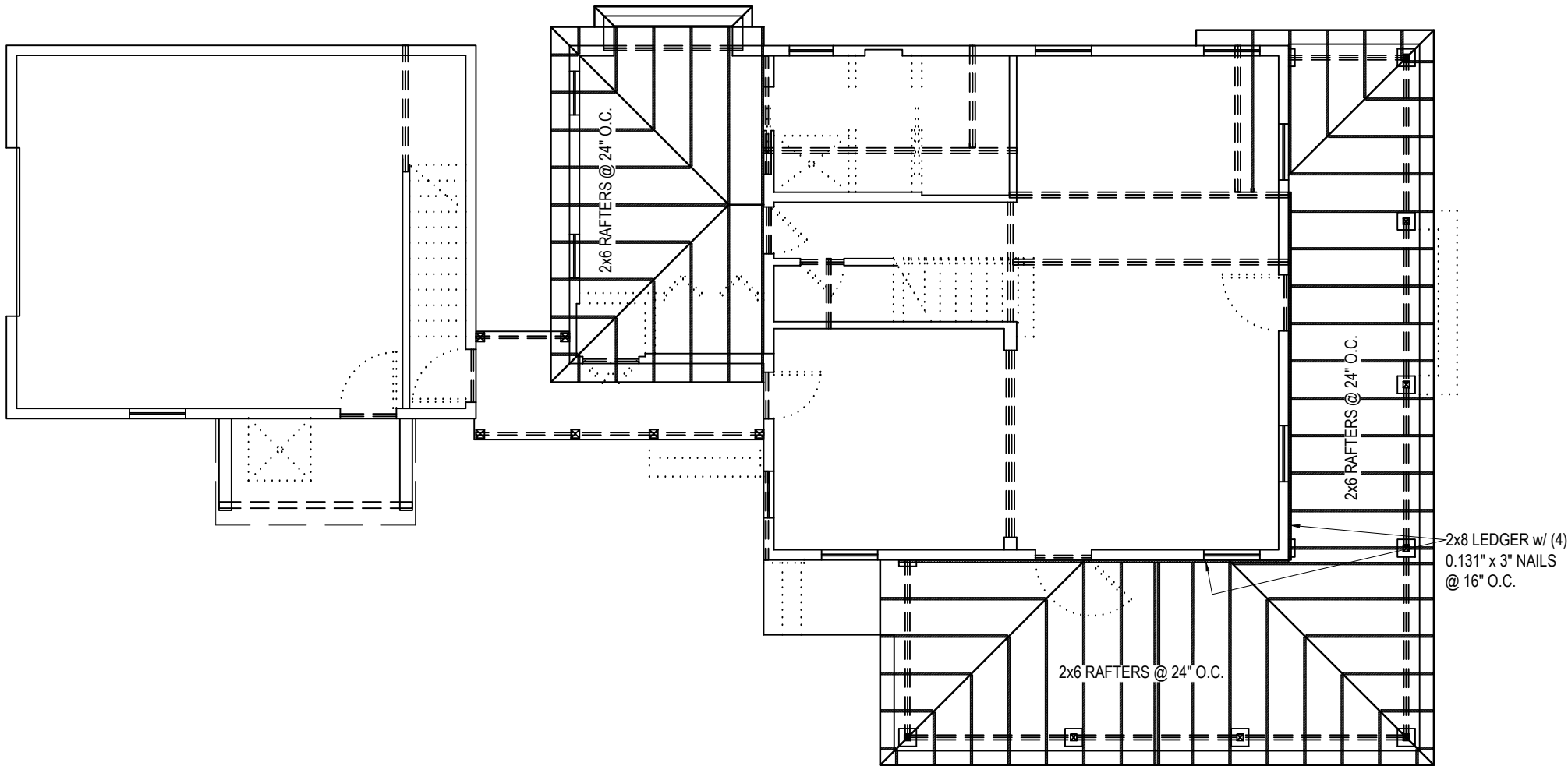
REVISIONS:

DRAWN BY:
CMF

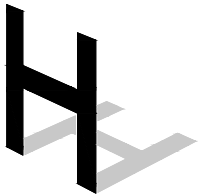
CHECKED BY:
FSS

TITLE:
**CEILING FRAMING
SECOND FLOOR**

SHEET:
S-7



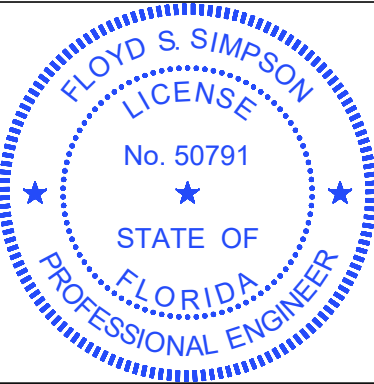
ROOF FRAMING LAYOUT - LOWER LEVEL



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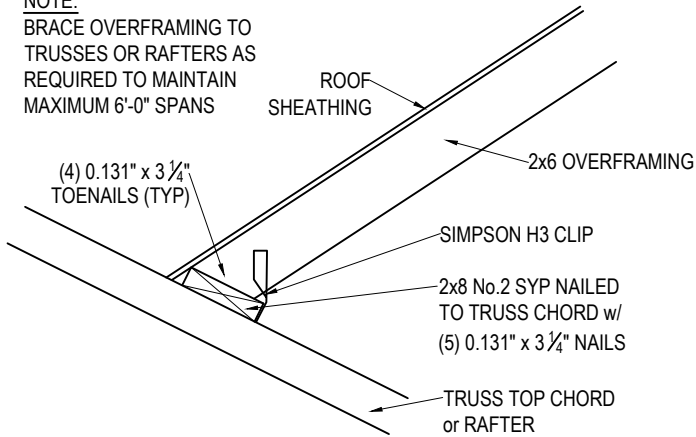
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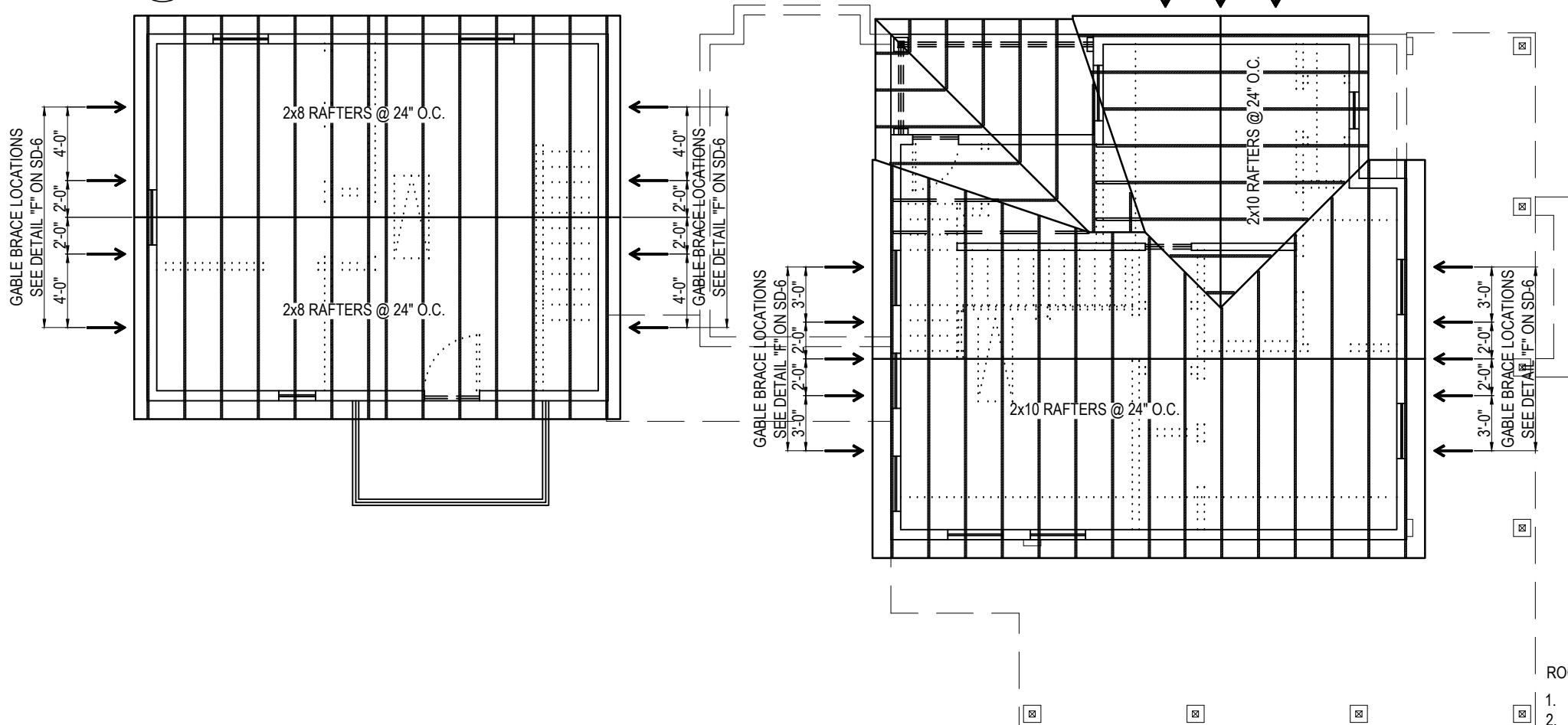
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PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: $\frac{1}{8}" = 1'-0"$ (U.O.N.) DO NOT SCALE THIS DRAWING	
RELEASE DATE: 08-08-23	
REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: ROOF FRAMING LAYOUT LOWER LEVEL	
SHEET: S-8	

NOTE:
BRACE OVERFRAMING TO
TRUSSES OR RAFTERS AS
REQUIRED TO MAINTAIN
MAXIMUM 6'-0" SPANS



A
S-9 SECTION - TYPICAL OVERFRAMING



ROOF FRAMING LAYOUT - UPPER LEVEL

GABLE BRACE LOCATIONS
SEE DETAIL "F" ON SD-6

CONVENTIONAL FRAME ROOF AREAS - SHINGLE ROOFS (SYP)

Span Tables for No. 2 SYP Rafters
No Ceiling Load - 20 psf LL, 10psf DL

SIZE	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
2x4	9'-0"	8'-2"	7'-8"	7'-2"
2x6	14'-2"	12'-11"	12'-1"	10'-11"
2x8	18'-8"	17'-0"	15'-6"	13'-11"
2x10	23'-4"	20'-2"	18'-5"	16'-6"
2x12	27'-6"	23'-10"	21'-9"	19'-5"

Span Tables for No. 2 SYP Ceiling Joist
20 psf LL, 10 psf DL

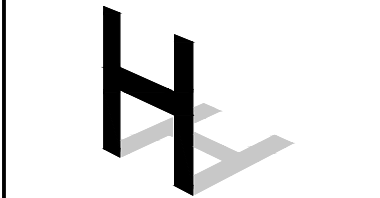
SIZE	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
2x4	8'-2"	7'-5"	7'-0"	6'-6"
2x6	12'-11"	11'-8"	10'-11"	9'-9"
2x8	17'-0"	15'-3"	13'-11"	12'-5"
2x10	20'-11"	18'-1"	16'-6"	14'-9"
2x12	24'-7"	21'-3"	19'-4"	17'-5"

Span Tables for No. 2 SYP Floor Joist
40 psf LL, 15 psf DL

SIZE	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
2x6	9'-3"	8'-5"	7'-11"	7'-3"
2x8	12'-3"	11'-1"	10'-3"	9'-2"
2x10	15'-5"	13'-4"	12'-2"	10'-11"
2x12	18'-2"	15'-9"	14'-4"	12'-10"

ROOF FRAMING NOTES:

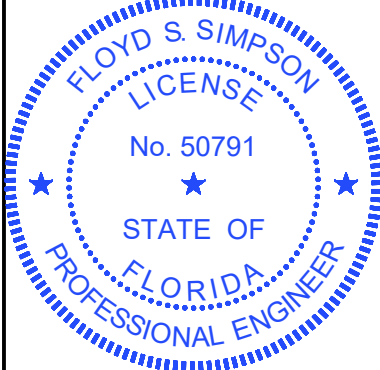
- ALL CONVENTIONAL FRAMING SHALL BE No.2 or BT. SYP
- ALL RAFTERS SHALL BE **2x10's @ 24" O.C.** (U.O.N.)
- FASTEN ALL RAFTERS TO PLATES WITH SIMPSON H8 CLIPS WITH (5) 10d x 1 1/2" NAILS EACH END. (ALT.: SDWC15600 SCREW)
- FASTEN ALL RAFTERS AT RIDGES WITH COLLAR TIES. FACE-NAIL COLLAR TIES TO RAFTERS WITH (5) 0.131" x 3" NAILS
- FASTEN ALL JACK RAFTERS TO HIPS AND VALLEYS WITH (4) 0.131" x 3" TOE-NAILS
- ALL RIDGES, HIPS, AND VALLEYS SHALL BE (1) NOMINAL SIZE LARGER THAN ADJOINING RAFTERS. (U.O.N.)
- FASTEN RAFTERS TO CEILING JOISTS WITH (4) 0.131" x 3" NAILS
- FASTEN RAFTERS AND CEILING JOISTS TO TOP PLATES WITH (3) 0.131" x 3" TOENAILS
- FASTEN ALL HIPS AND VALLEYS TO PLATES WITH (2) SIMPSON H8 TWIST STRAPS WITH (5) 10d x 1 1/2" NAILS EACH END OF STRAP
- FASTEN ALL RAFTERS AT RIDGES WITH (5) 0.131" x 3" NAILS (ENDNAIL OR TOENAIL)



**HULSBERG
ENGINEERING**

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PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

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08-08-23

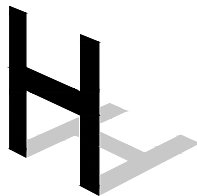
REVISIONS:

DRAWN BY:
CMF

CHECKED BY:
FSS

TITLE:
**ROOF FRAMING LAYOUT
UPPER LEVEL**

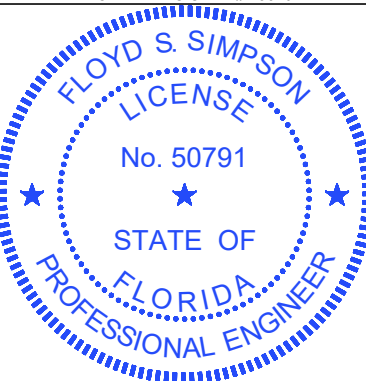
SHEET:
S-9



HULSBERG ENGINEERING

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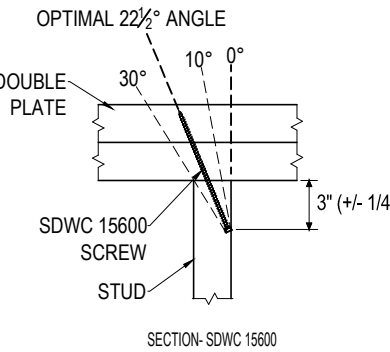
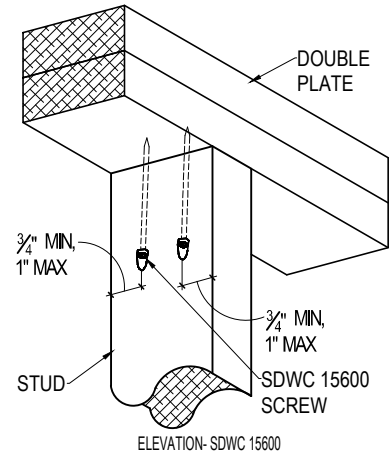
DRAWN BY:
CMF

CHECKED BY:
FSS

TITLE:
**TIE-DOWN LAYOUT
FIRST FLOOR**

SHEET:
S-10

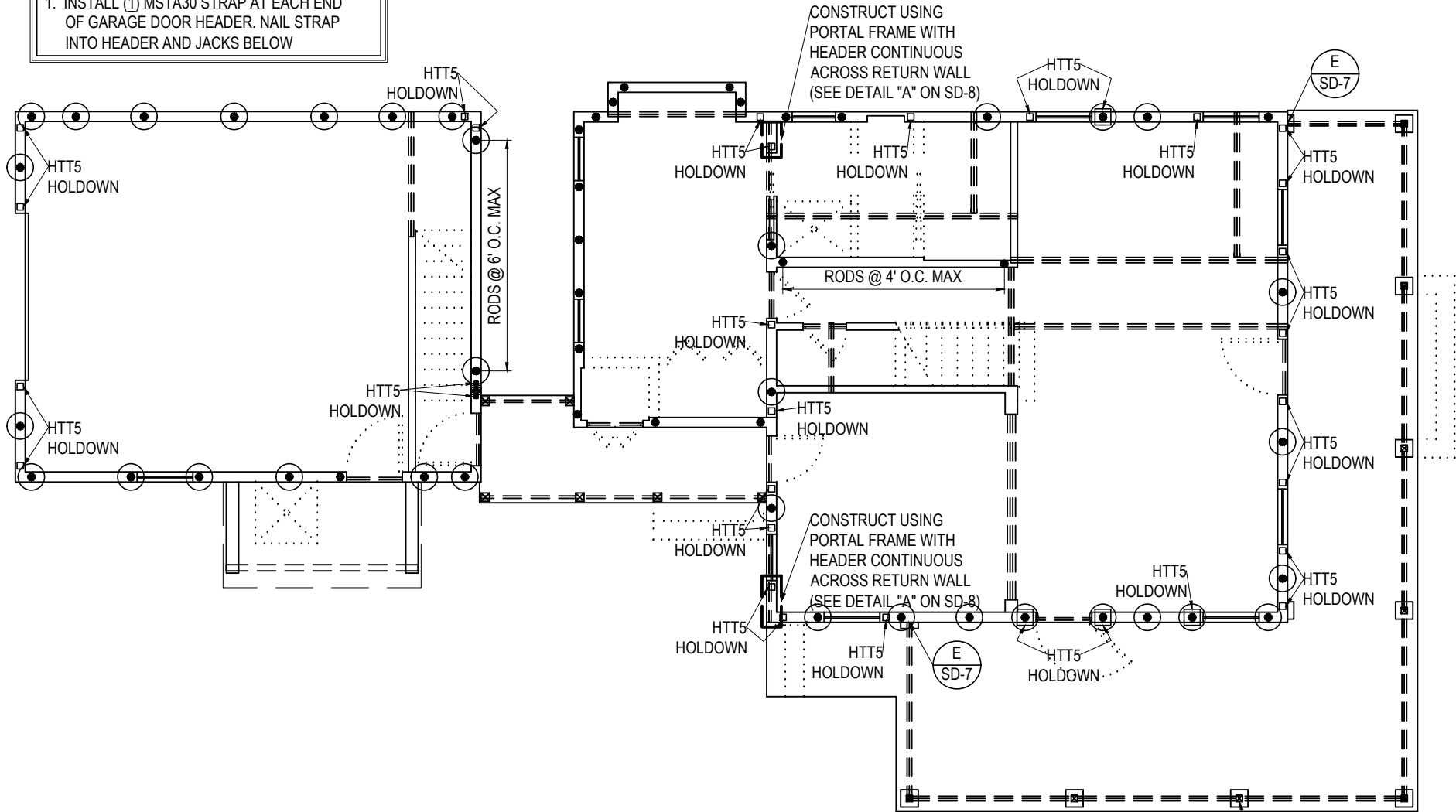
NOTE:
ALTERNATIVE TO SSP AT DOUBLE PLATE
(1) SIMPSON SDWC15600 SCREW **OR**
ALTERNATIVE TO DSP / SPH_ AT DOUBLE PLATE
(2) SIMPSON SDWC15600 SCREWS STUD
TO DOUBLE PLATE PER SIMPSON DETAIL



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GARAGE DOOR NOTES

1. INSTALL (1) MSTA30 STRAP AT EACH END OF GARAGE DOOR HEADER. NAIL STRAP INTO HEADER AND JACKS BELOW



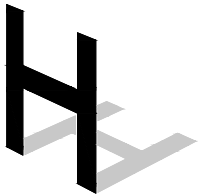
TIE-DOWN LAYOUT - FIRST FLOOR

NOTE:
EACH POST SHALL BE TREATED
4x4 POST ON ABU44-Z POST BASE
STRAP POST TO EACH BEAM ABOVE
WITH (1) H6-Z CLIP OR (1) MSTA24-Z
TYPICAL ALL POSTS - (U.O.N.)
SEE DETAIL "F" ON SHEET SD-7

SPECIAL ANCHOR NOTE
SILL PLATES ON EXTERIOR WALLS
SHALL BE ANCHORED BY THREADED
RODS SUPPLEMENTED BY ADDITIONAL
ANCHOR BOLTS OR $\frac{1}{4}" \times 3 \frac{1}{4}"$ TAPCON
SCREWS AS REQUIRED TO
MAINTAIN MAXIMUM 24" O.C. SPACING

THREADED ROD LEGEND:

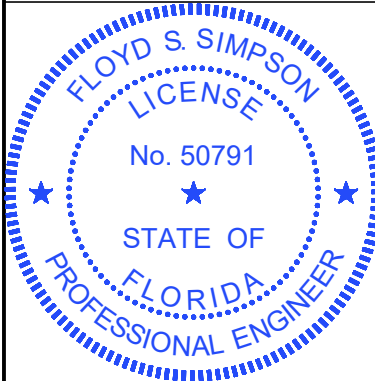
- = $\frac{3}{8}"$ THREADED ROD FROM FOUNDATION TO DOUBLE PLATE (4" MINIMUM EMBEDMENT REQUIRED)
- ⊙ = $\frac{3}{8}"$ THREADED ROD FROM FOUNDATION TO UPPER FLOOR DOUBLE PLATE (4" MINIMUM EMBEDMENT REQUIRED)
- = HOLDOWN (AS NOTED) INSTALLED AT SILL PLATE
- ⊠ = HOLDOWN (AS NOTED) AT SILL PLATE COUPLED TO MIN. $\frac{3}{8}"$ THREADED ROD FROM FOUNDATION TO UPPER FLOOR DOUBLE PLATE ABOVE



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DEBBIE McGEHEE

PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
 $\frac{1}{8}" = 1'-0"$ (U.O.N.)
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RELEASE DATE:
08-08-23

REVISIONS:

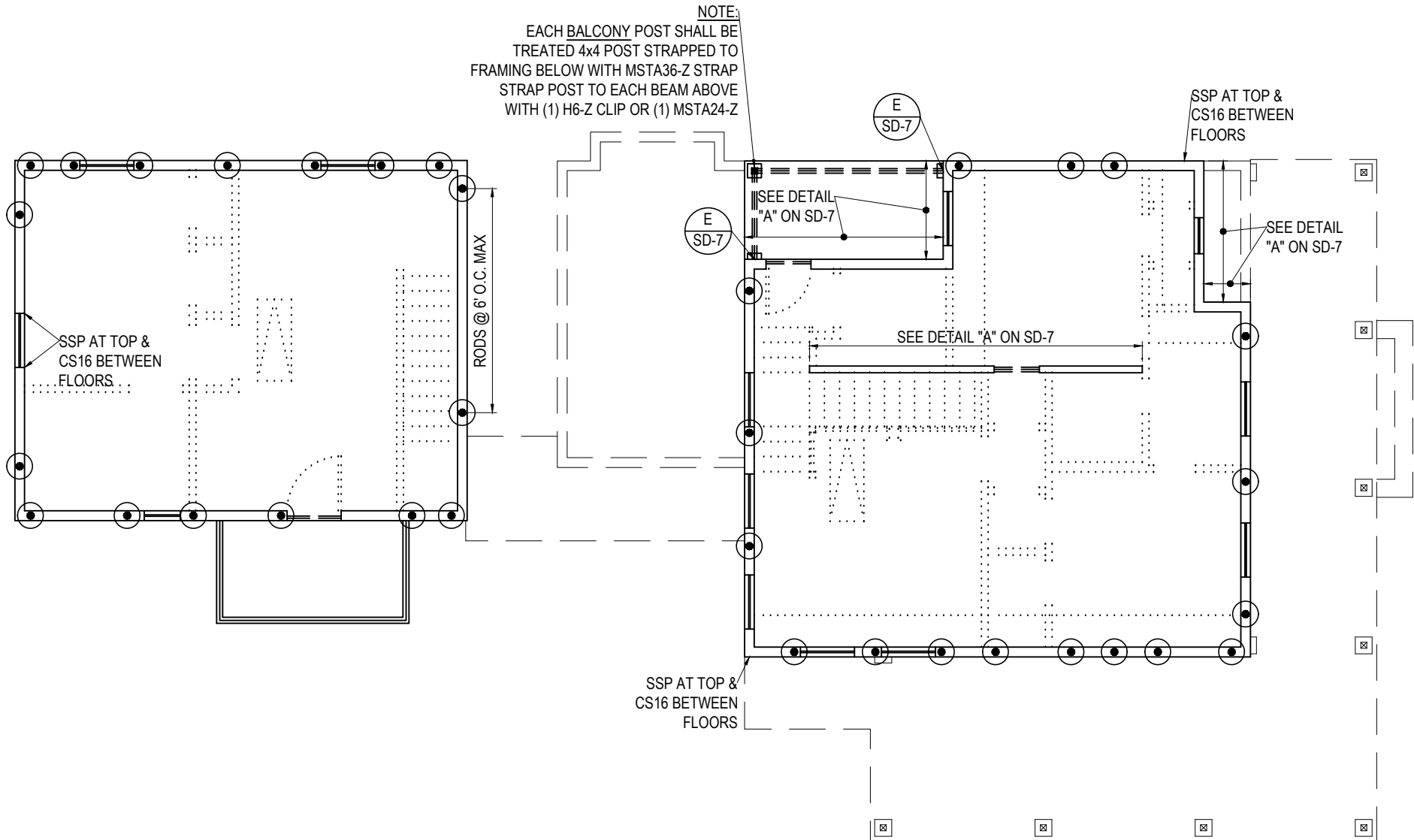
DRAWN BY:
CMF

CHECKED BY:
FSS

TITLE:
**TIE-DOWN LAYOUT
SECOND FLOOR**

SHEET:
S-11

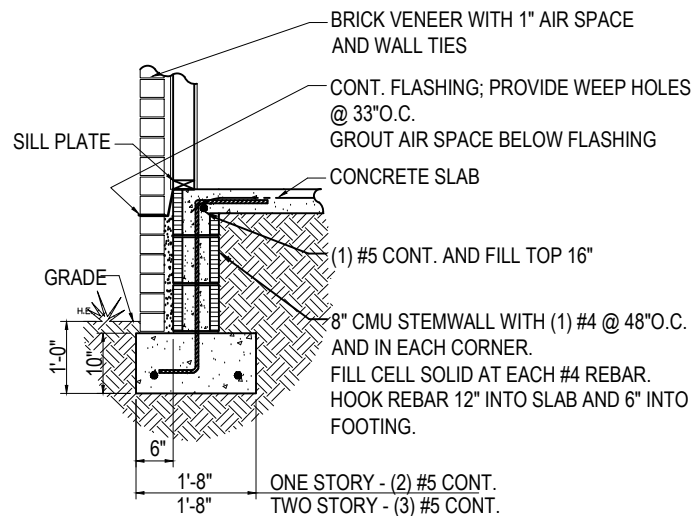
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TIE-DOWN LAYOUT - SECOND FLOOR

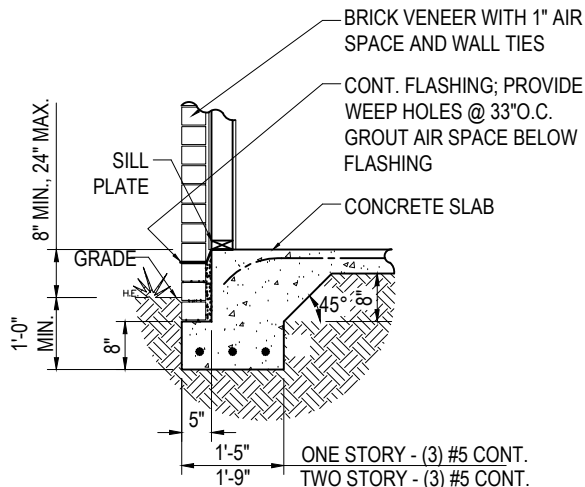
THREADED ROD LEGEND:

- = $\frac{3}{8}"$ THREADED ROD FROM FOUNDATION TO DOUBLE PLATE (4" MINIMUM EMBEDMENT REQUIRED)
- ⊙ = $\frac{3}{8}"$ THREADED ROD FROM FOUNDATION TO UPPER FLOOR DOUBLE PLATE (4" MINIMUM EMBEDMENT REQUIRED)
- = HOLDOWN (AS NOTED) INSTALLED AT SILL PLATE

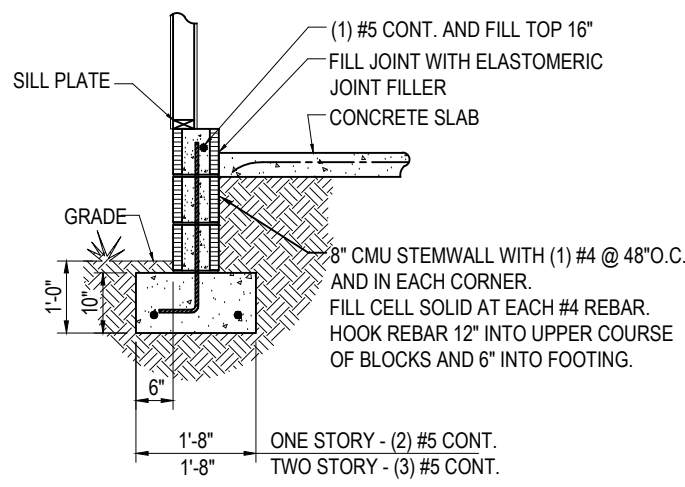


A SECTION - STEMWALL WITH BRICK

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

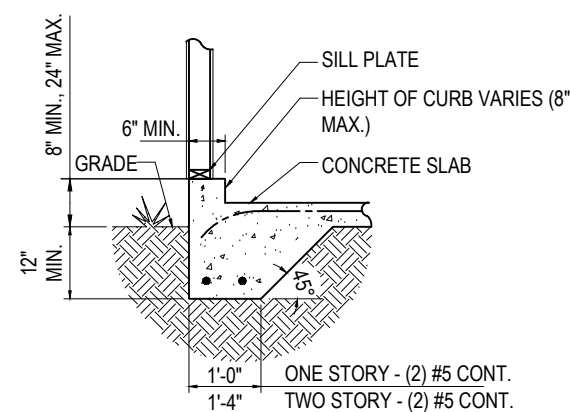


SECTION - MONOLITHIC WITH BRICK

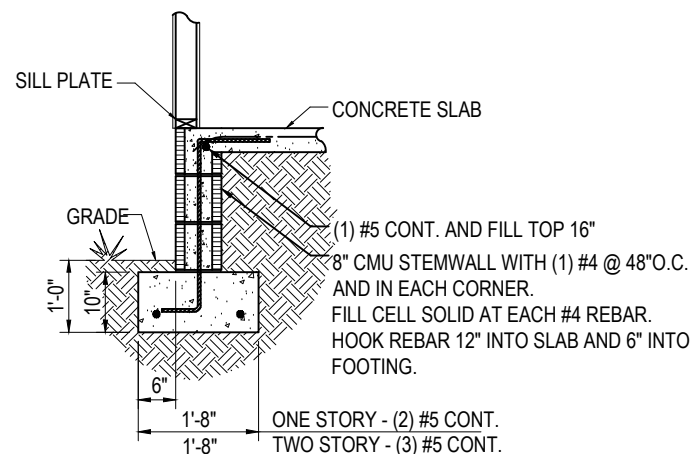


D SECTION - STEMWALL AT GARAGE

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

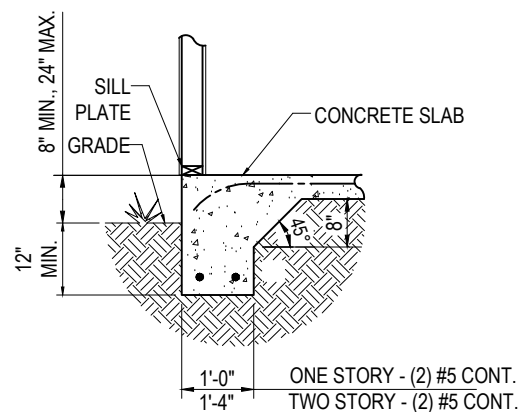


SECTION - MONOLITHIC AT GARAGE

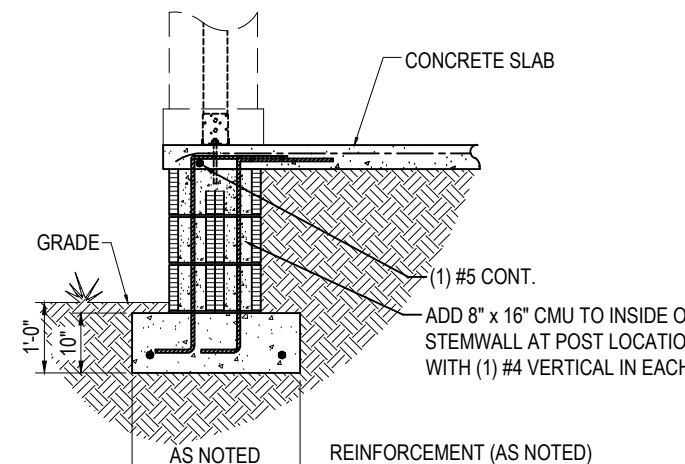


B SECTION - STEMWALL

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

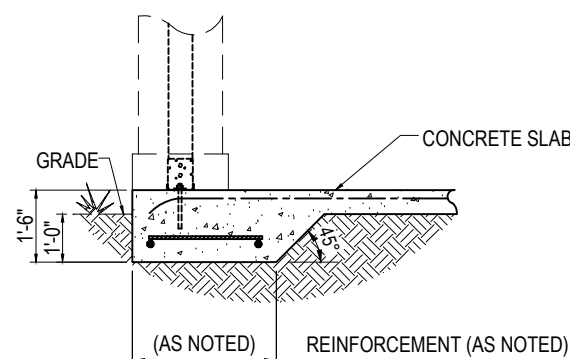


SECTION - MONOLITHIC

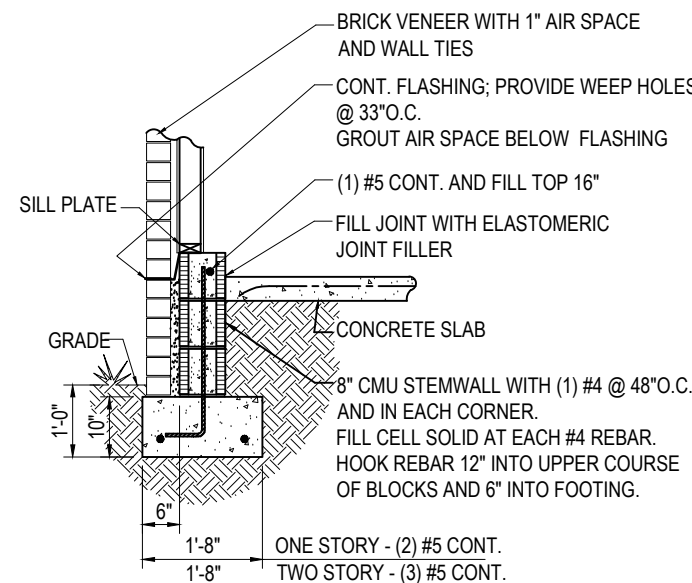


E SECTION - PAD FOOTING AT PORCH STEMWALL

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

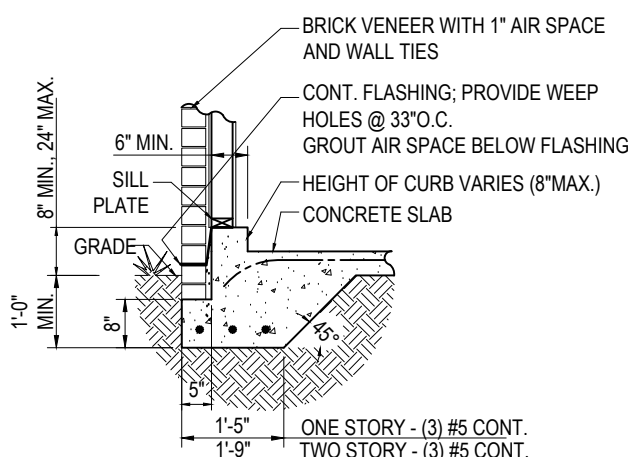


SECTION - PAD FOOTING AT THICKENED EDGE

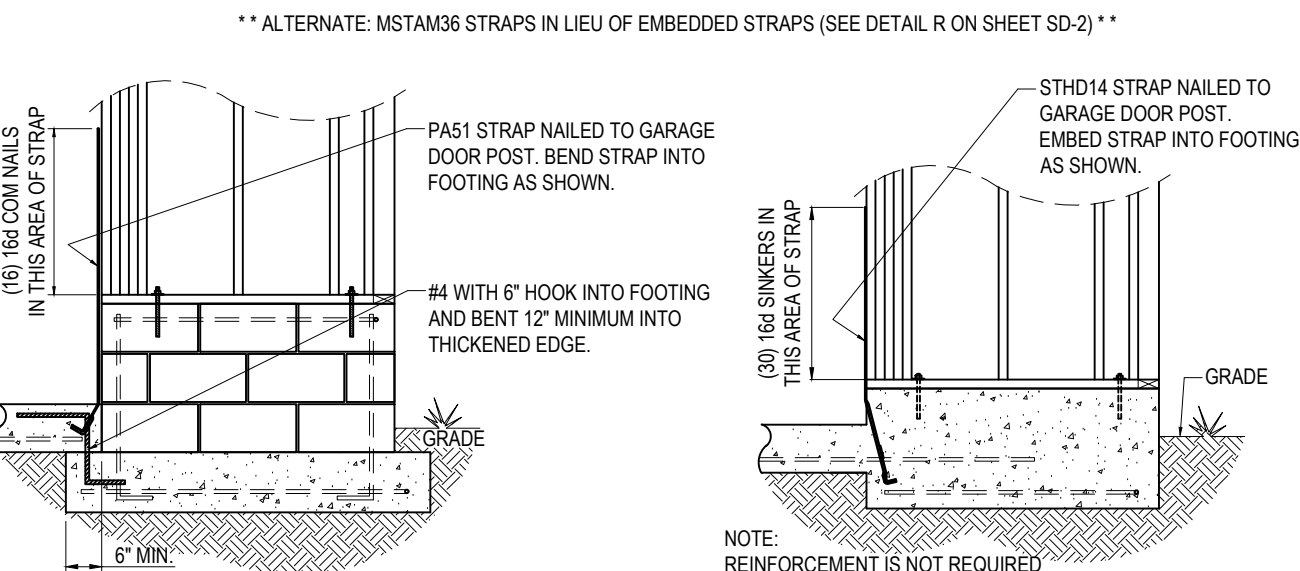


C SECTION - STEMWALL AT GARAGE WITH BRICK

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

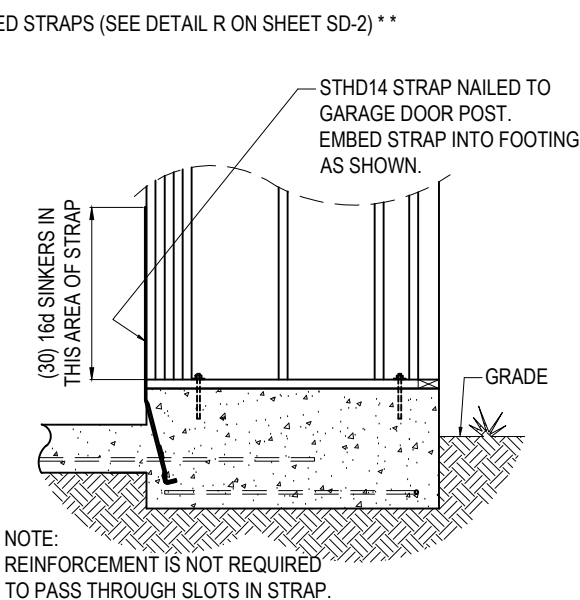


SECTION - MONOLITHIC AT GARAGE WITH BRICK

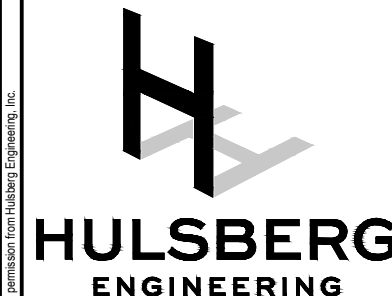


F DETAIL - PA51 INSTALLATION (STEMWALL)

SD-1 NOTE: IF STEMWALL HEIGHT EXCEEDS 48" CONTACT ENGINEER FOR ADDITIONAL REQUIREMENTS.

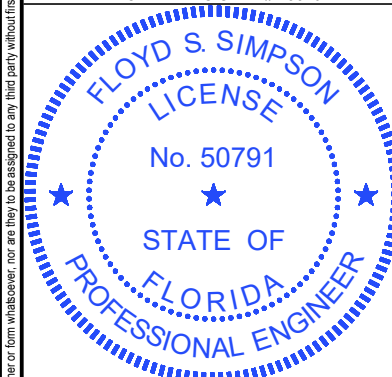


DETAIL - STHD14 INSTALLATION (MONOLITHIC)



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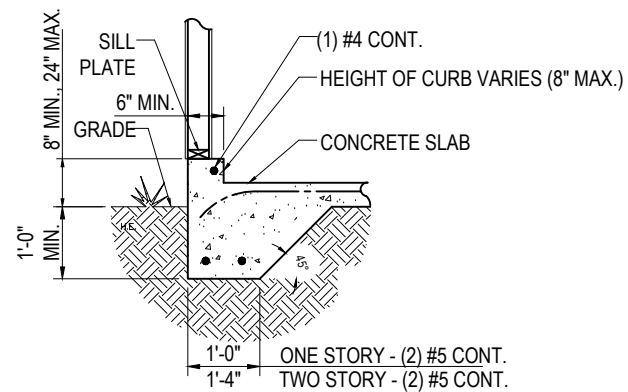
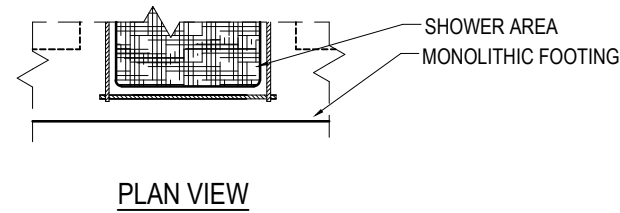


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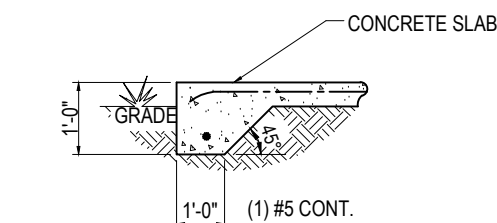
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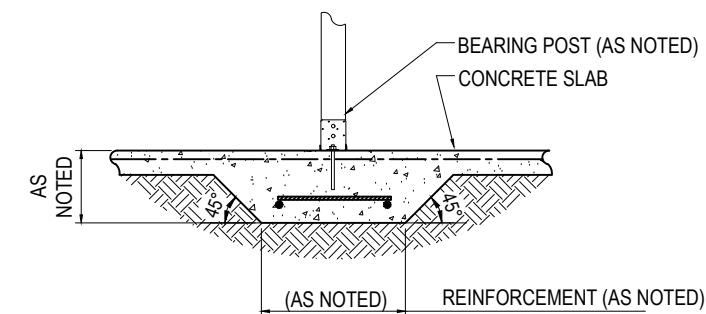
CLIENT: DEBBIE McGEHEE	
PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: $\frac{3}{8}'' = 1'-0''$ (U.O.N.)	
DO NOT SCALE THIS DRAWING	
RELEASE DATE: 08-08-23	
REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: FOUNDATION DETAILS SHEET 1 of 2	
SHEET: SD-1	



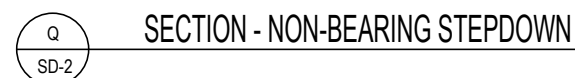
SECTION - STEMWALL AT EXTERIOR WALL SHOWER SECTION - MONOLITHIC AT EXTERIOR WALL SHOWER



SECTION - THICKENED EDGE



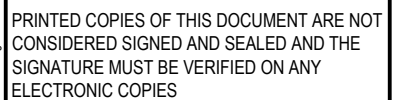
P
SD-2



FILL CUT WITH ELASTOMERIC FILLER

1" DEEP x $\frac{1}{8}$ " WIDE SAW CUT AT DENOTED LOCATIONS.

SECTION - TYPICAL SAW-CUT CONTROL JOINT



CLIENT: **DEBBIE McGEHEE**

PROJECT:
McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

JOB NUMBER:	23-1203	COUNTY:	NASSAU
-------------	---------	---------	--------

SCALE: $\frac{3}{8}" = 1'-0"$ (U.O.N.)

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RELEASE DATE:	08-08-23
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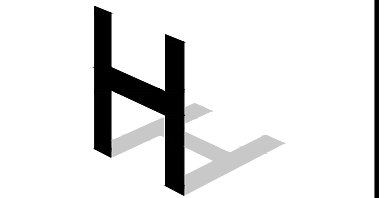
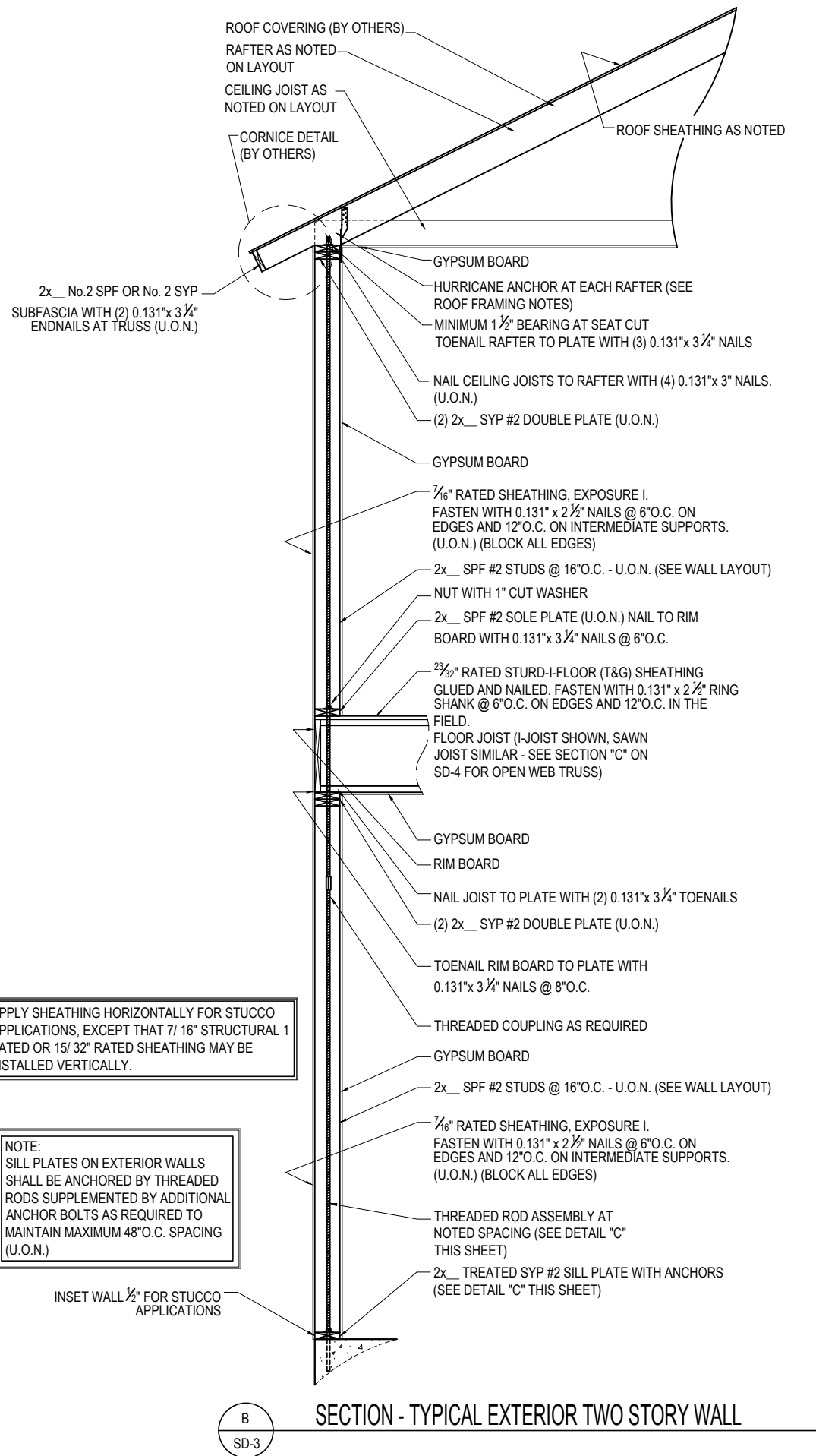
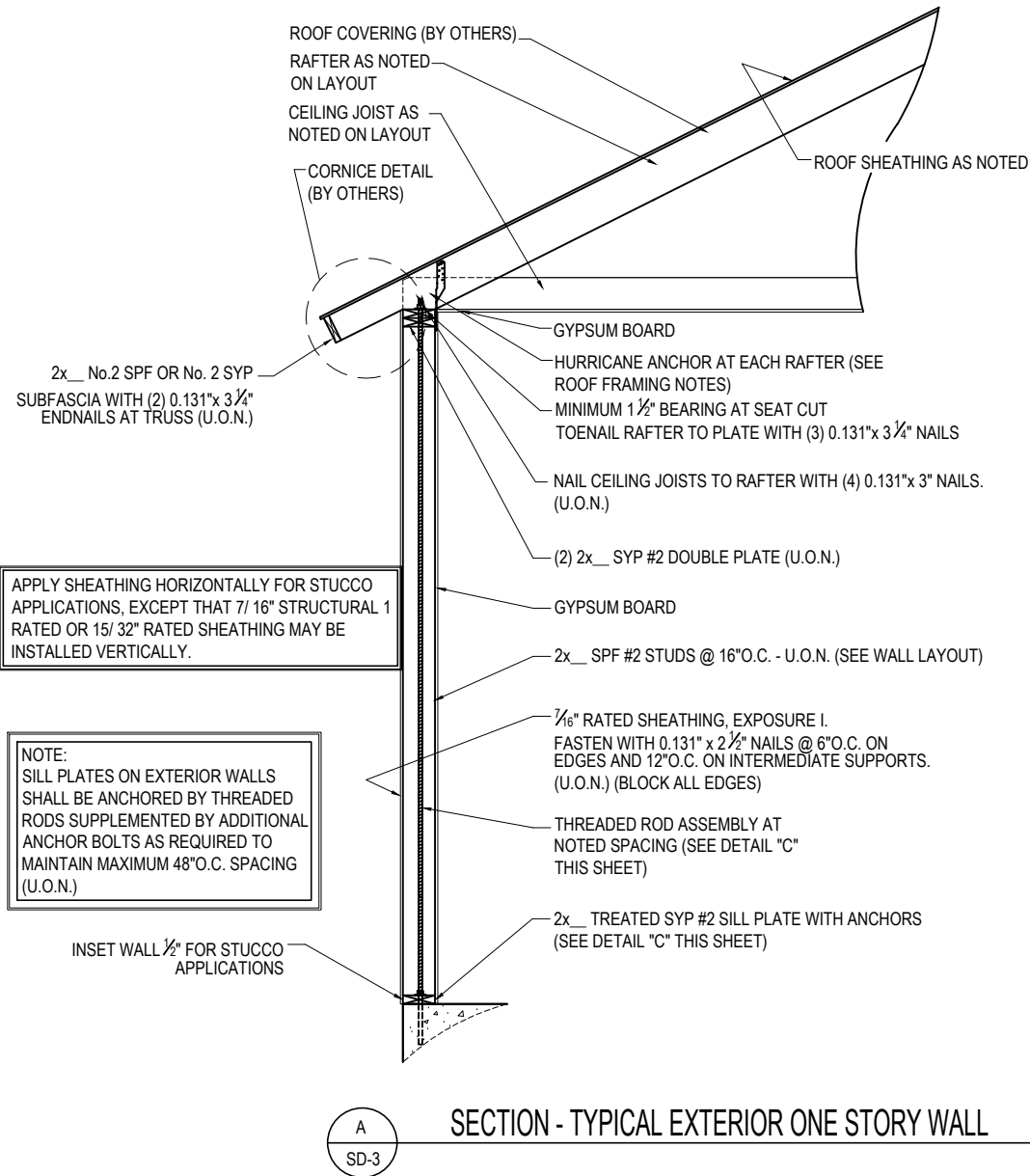
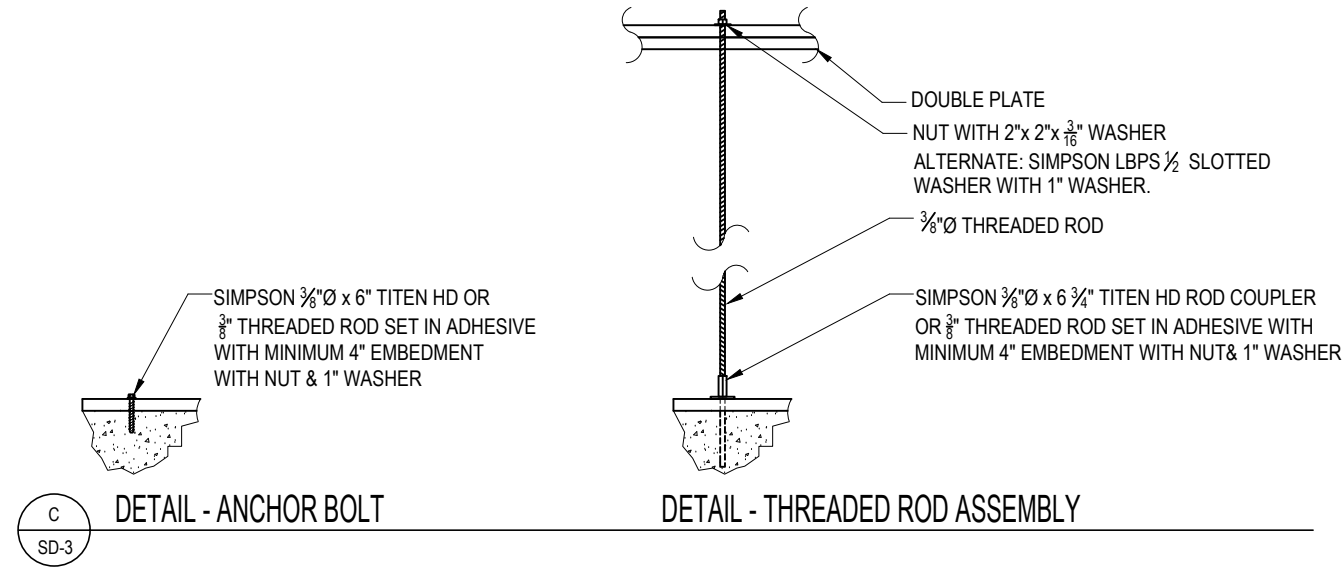
REVISIONS:

DRAWN BY: CMF

CHECKED BY: FSS

TITLE: **FOUNDATION DETAILS**
SHEET 2 of 2

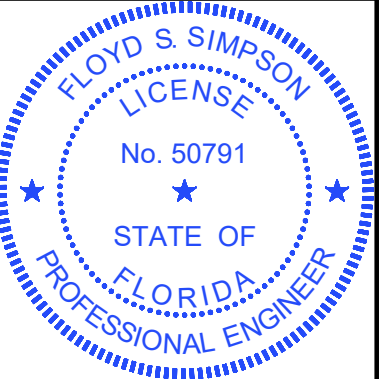
SHEET: SD-2



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PROJECT:
McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

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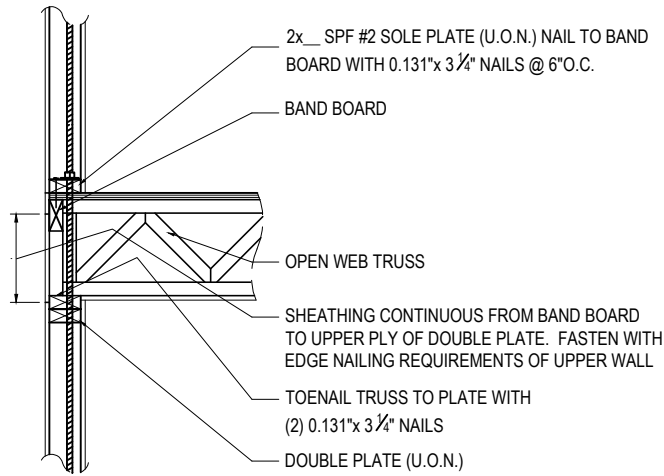
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CMF

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TITLE:
FRAMING DETAILS
SHEET 1 of 3

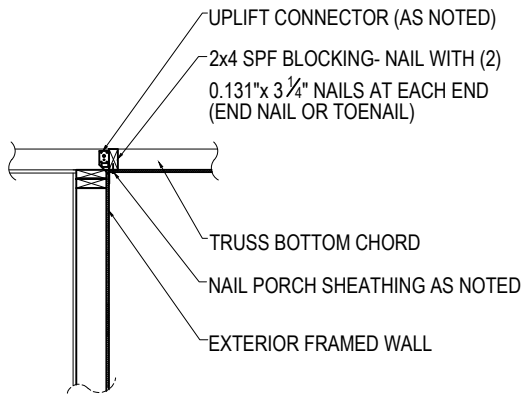
SHEET:
SD-3

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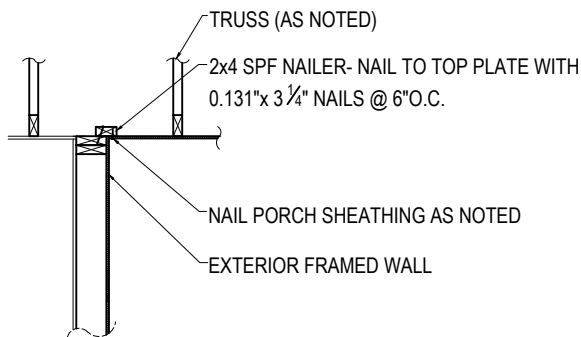
C
SD-4

SECTION - TYPICAL OPEN WEB FLOOR TRUSS



D
SD-4

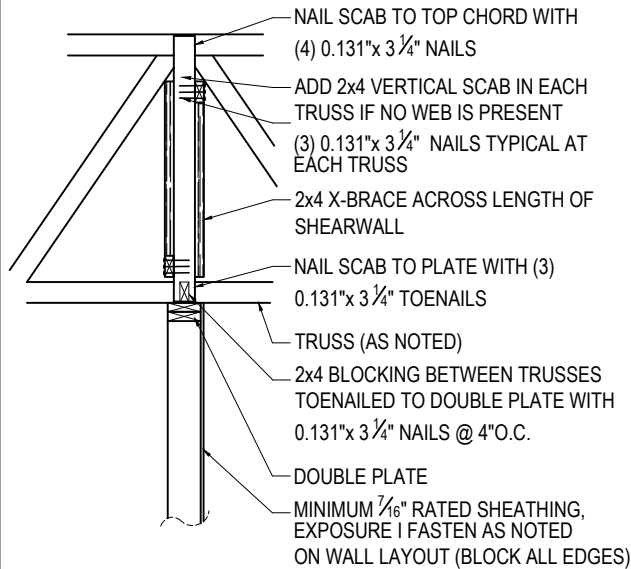
SECTION - EXTERIOR WALL PERPENDICULAR TO TRUSS



E
SD-4

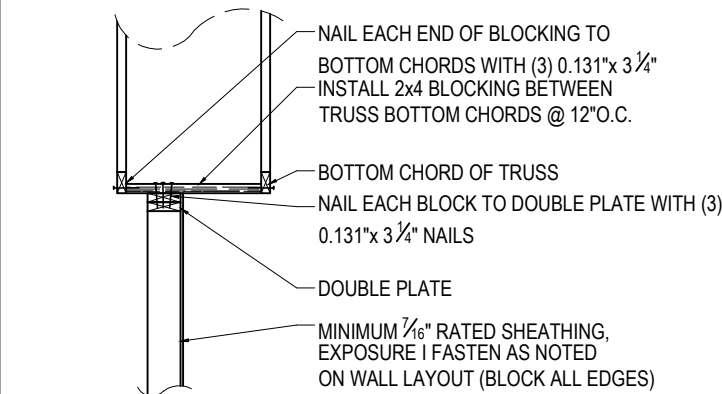
SECTION - EXTERIOR WALL PARALLEL TO TRUSS

F
SD-4



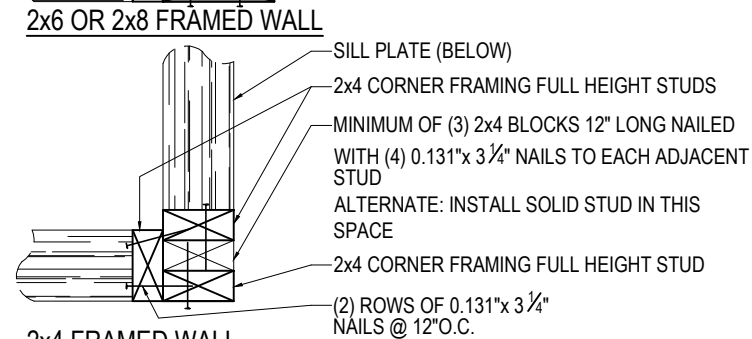
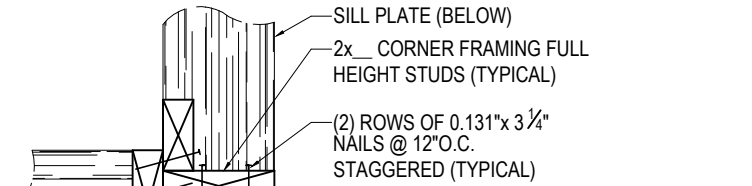
G
SD-4

SECTION - INTERIOR SHEARWALL PERPENDICULAR TO TRUSS
SECTION ONLY APPLIES WHEN REFERENCED



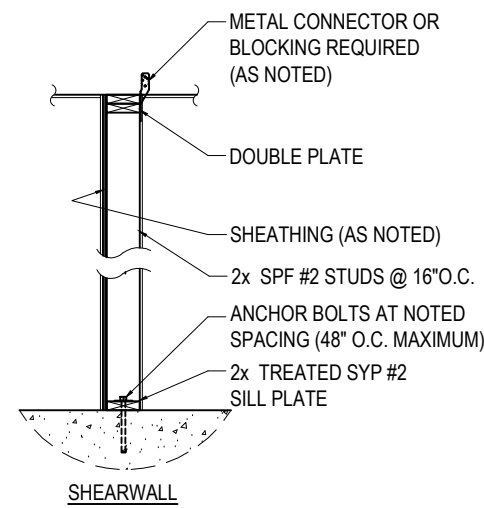
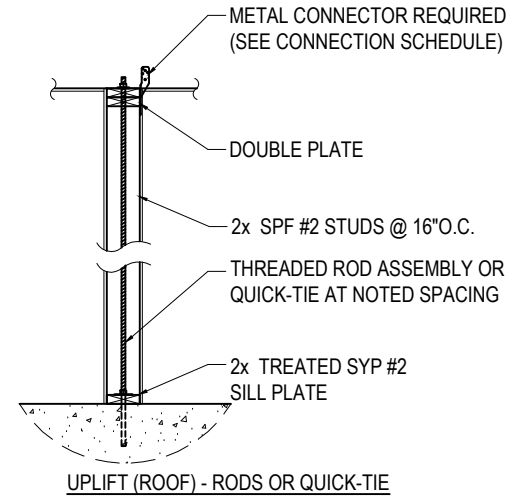
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SECTION - INTERIOR SHEARWALL PARALLEL TO TRUSS
THIS SECTION ONLY APPLIES WHEN REFERENCED



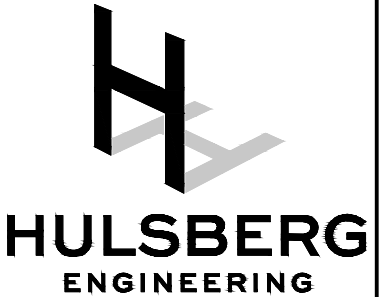
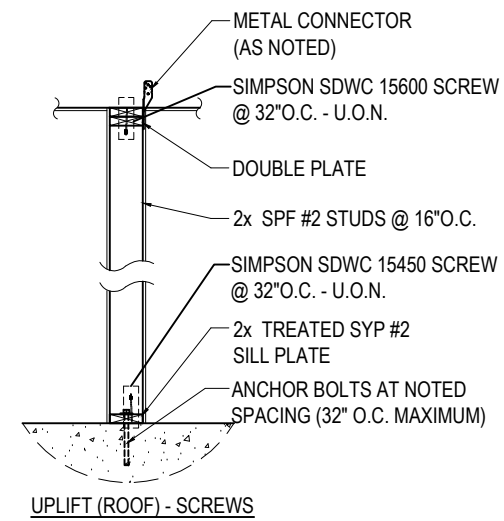
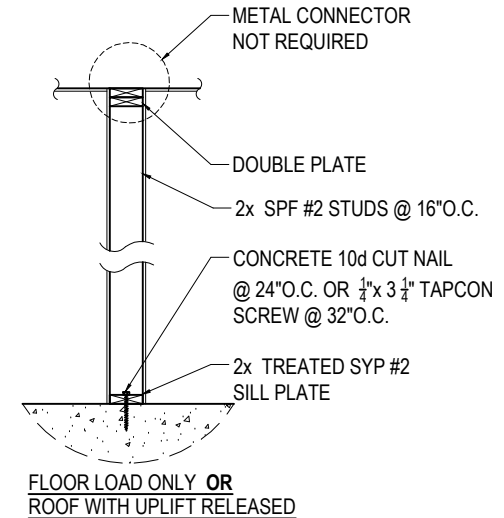
J
SD-4

SECTION - TYPICAL FRAMING AT 90° CORNERS

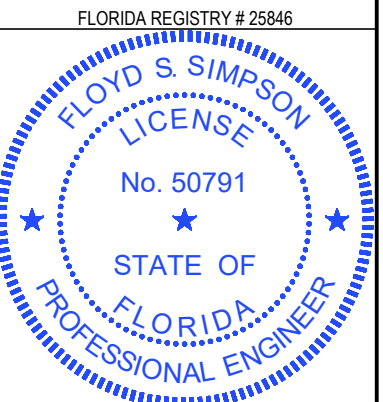


K
SD-4

SECTION - INTERIOR WALL CONDITIONS (BEARING AND/OR SHEARWALL)



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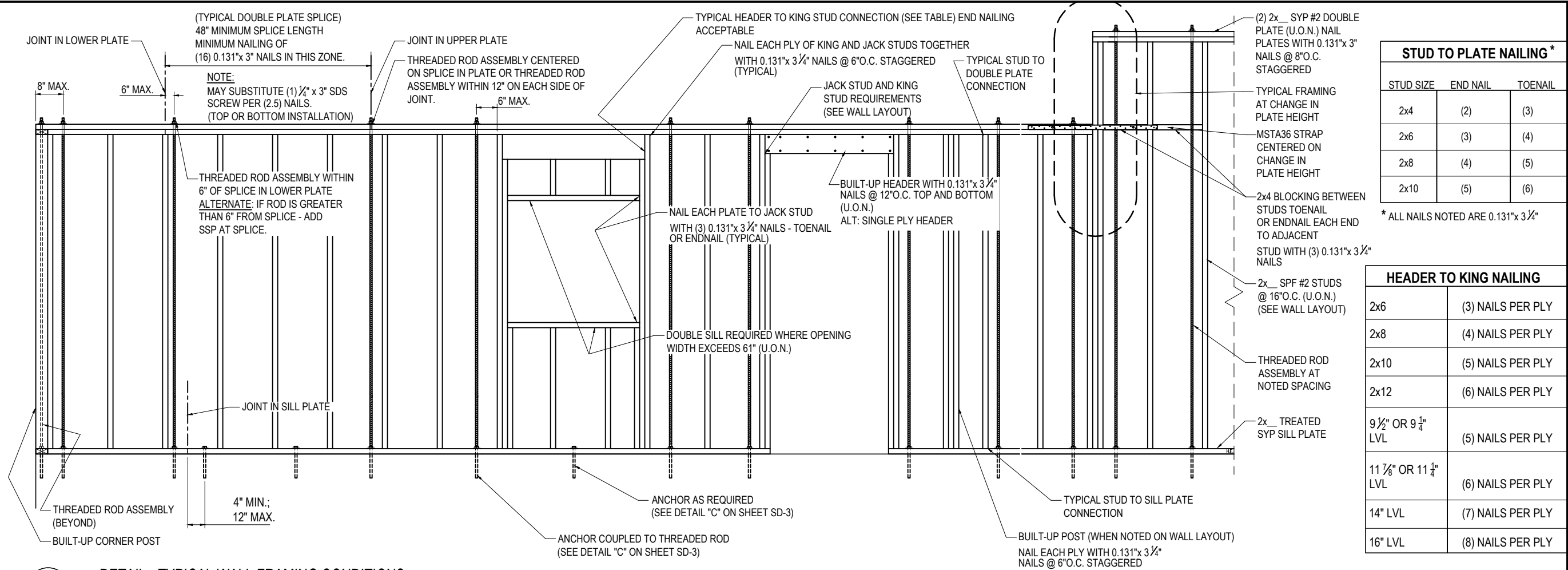


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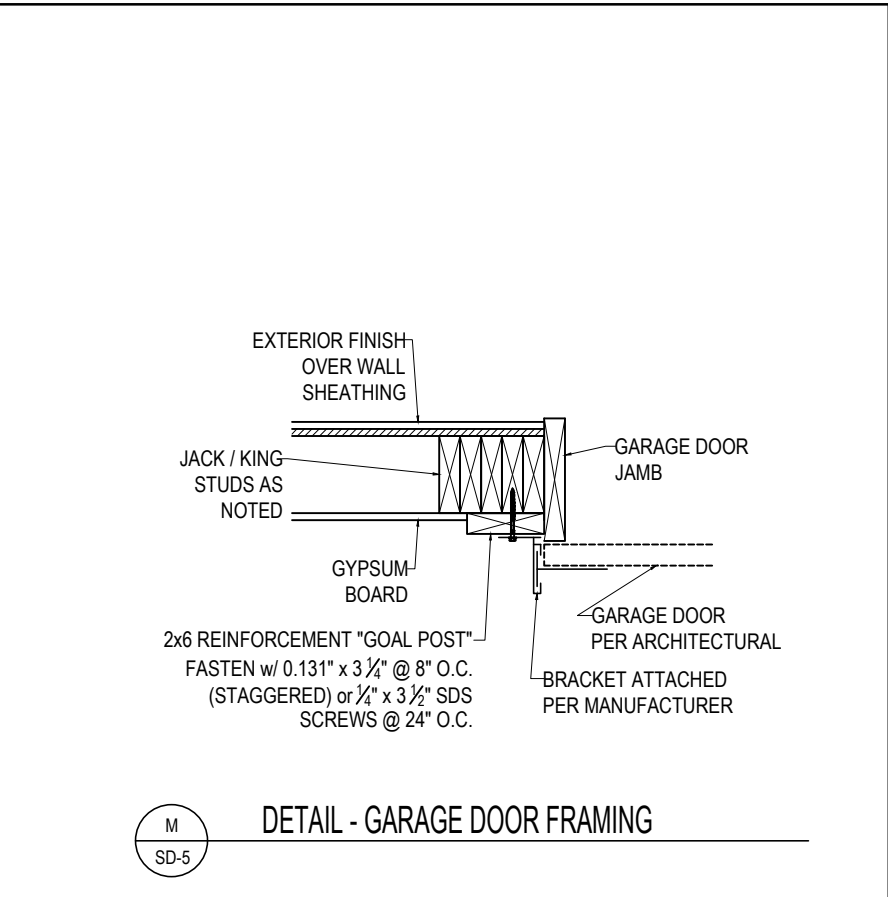
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PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: 1/8" = 1'-0" (U.O.N.) DO NOT SCALE THIS DRAWING	
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REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: FRAMING DETAILS SHEET 2 of 3	
SHEET: SD-4	



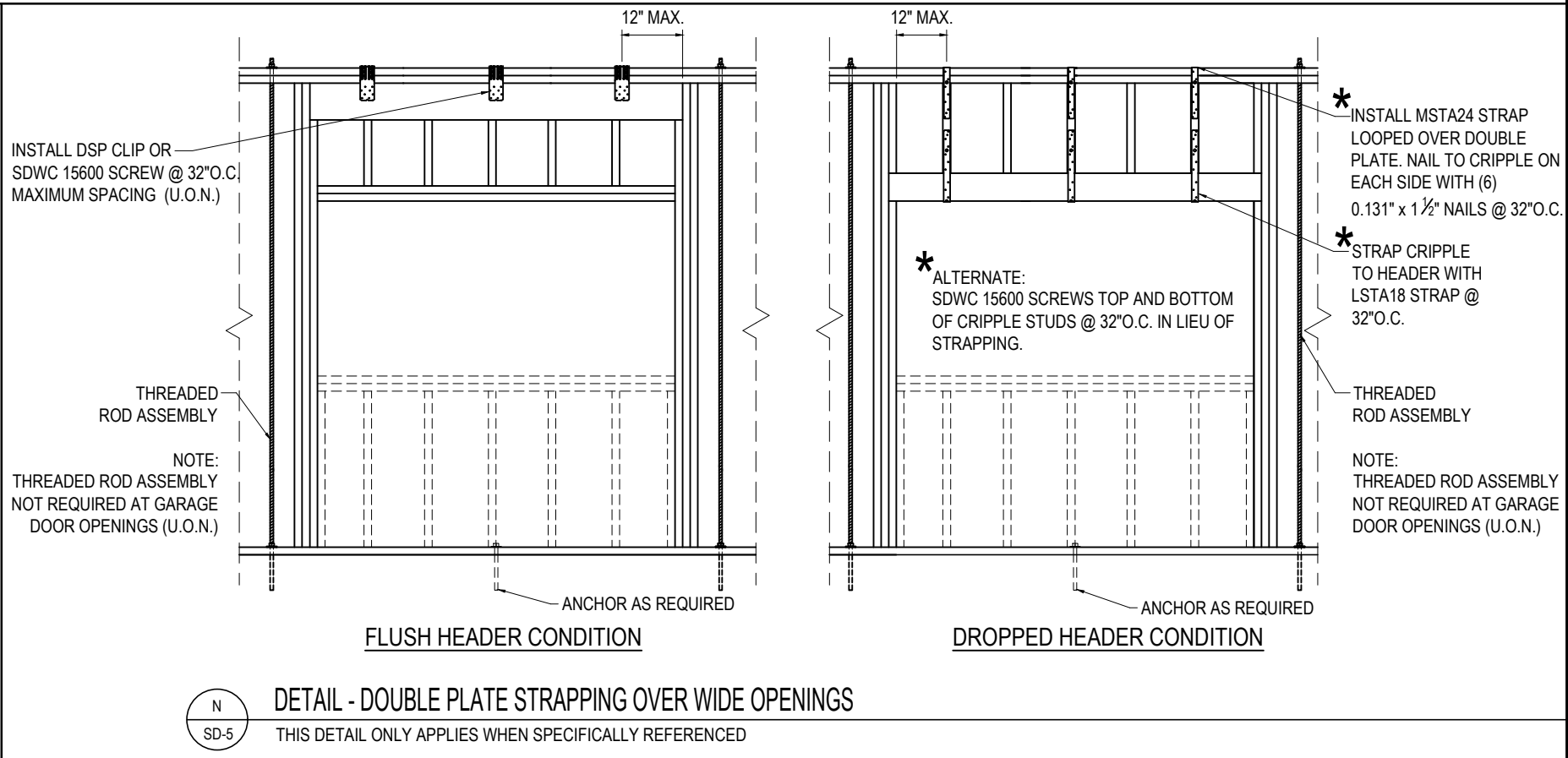
L
SD-5

DETAIL - TYPICAL WALL FRAMING CONDITIONS



M
SD-5

DETAIL - GARAGE DOOR FRAMING



N
SD-5

DETAIL - DOUBLE PLATE STRAPPING OVER WIDE OPENINGS

THIS DETAIL ONLY APPLIES WHEN SPECIFICALLY REFERENCED

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JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846

FLOYD S. SIMPSON
LICENSE
No. 50791
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

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PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
1/8" = 1'-0" (U.O.N.)
DO NOT SCALE THIS DRAWING

RELEASE DATE:
08-08-23

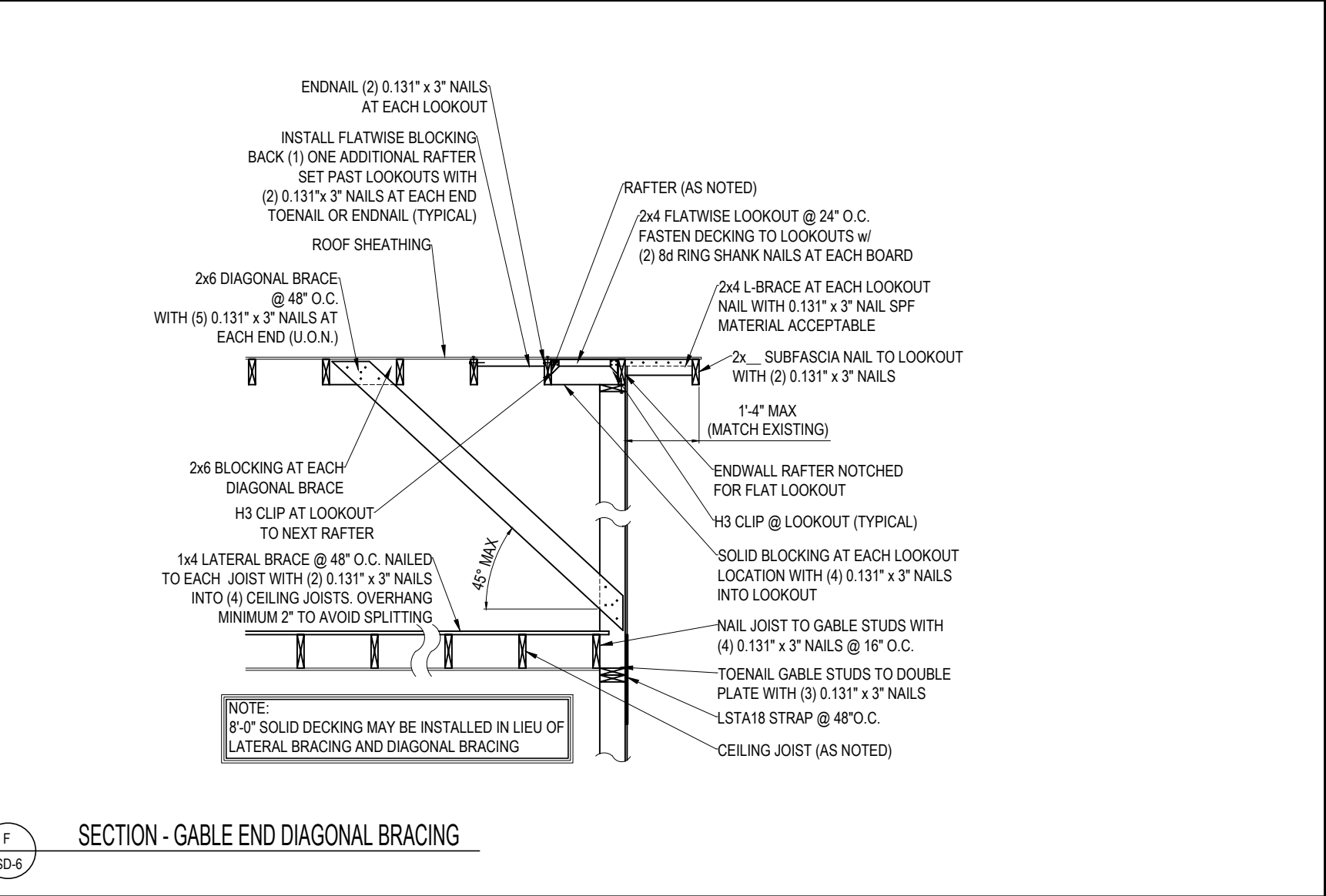
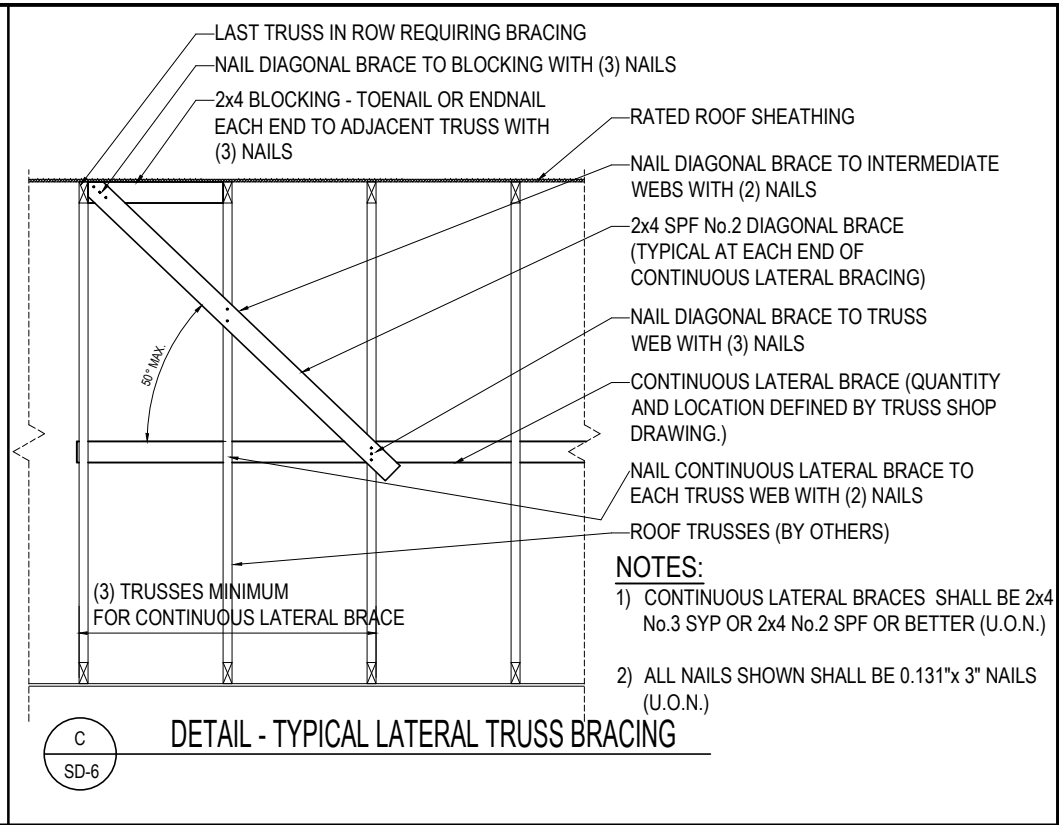
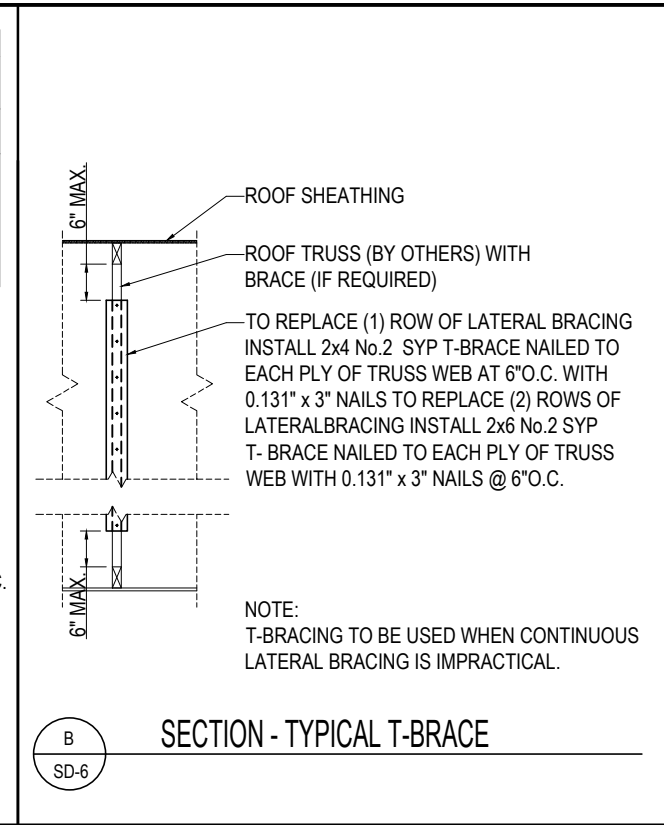
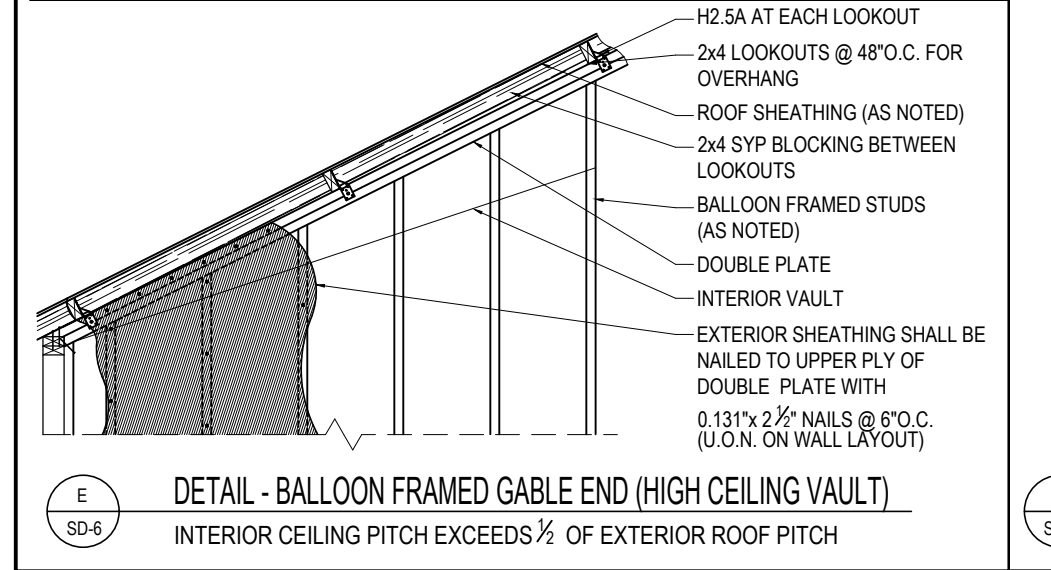
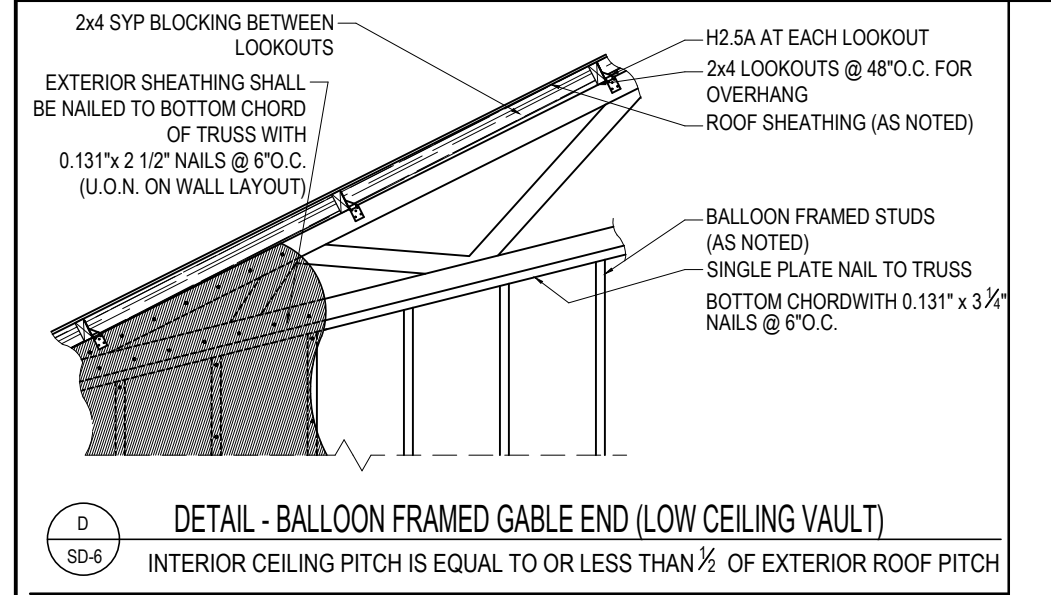
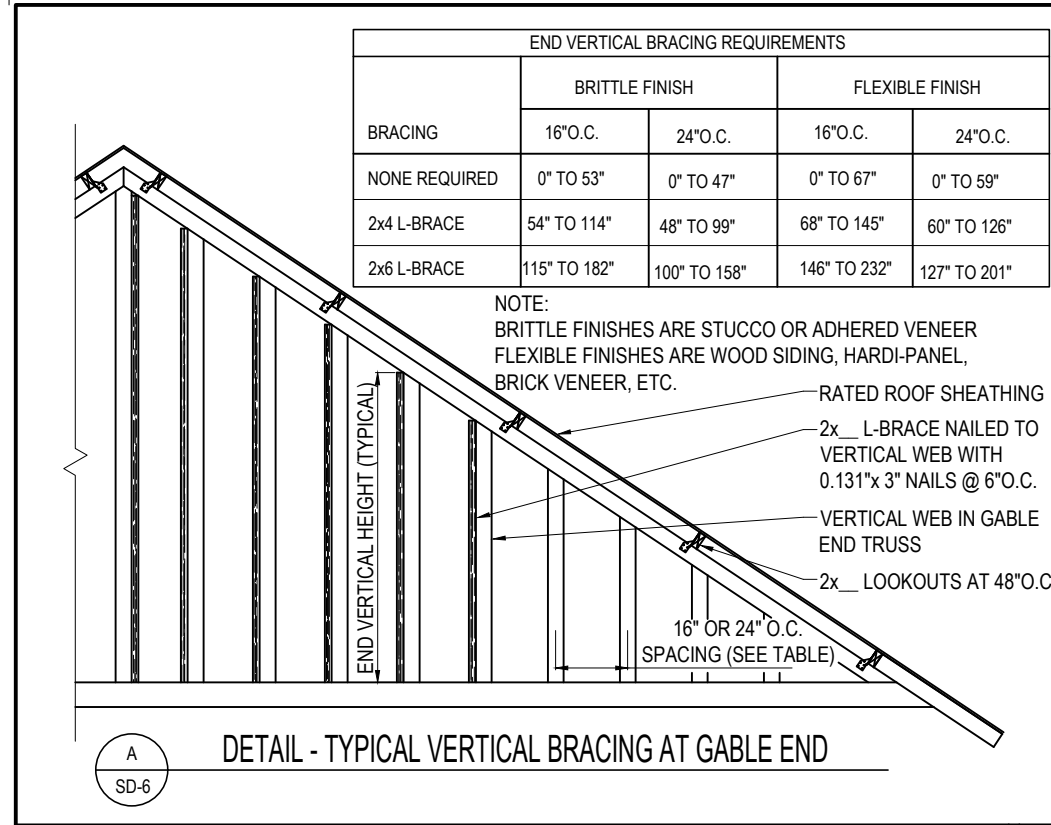
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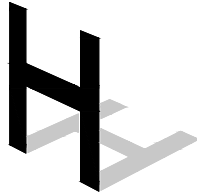
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CMF

CHECKED BY:
FSS

TITLE:
**FRAMING DETAILS
SHEET 3 of 3**

SHEET:
SD-5

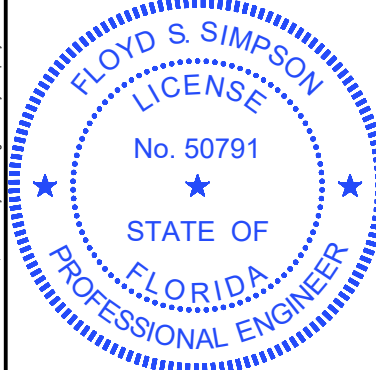




HULSBERG ENGINEERING

12058 SAN JOSE BLVD, #1001
JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846



FLOYD S. SIMPSON
LICENSE
No. 50791
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

FLOYD S. SIMPSON, PE STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE No. 50791

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY FLOYD S. SIMPSON, PE ON 08-08-23 USING A DIGITAL SIGNATURE

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CLIENT:
DEBBIE McGEHEE

PROJECT:
**McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN**

JOB NUMBER: **23-1203** COUNTY: **NASSAU**

SCALE:
1/8" = 1'-0" (U.O.N.)
DO NOT SCALE THIS DRAWING

RELEASE DATE:
08-08-23

REVISIONS:

DRAWN BY:
CMF

CHECKED BY:
FSS

TITLE:
TRUSS BRACING AND GABLE DETAILS

SHEET:
SD-6

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NOTE:
ATTACH DOUBLE PLATE TO STUD PER
DETAIL "G" ON SD-7

UPPER LEVEL STUD

CS16 STRAP (CUT TO LENGTH) FROM UPPER
STUD TO BEAM BELOW @ 32"O.C. (U.O.N.).
NAIL INTO UPPER STUD WITH (11) 10d AND NAIL
INTO BEAM WITH (11) 10d NAILS.

BEGIN NAILING 1" MINIMUM ABOVE SOLE PLATE

BEGIN NAILING 1" MINIMUM BELOW TOP OF
BEAM

BEAM (AS NOTED)

A
SD-7

DETAIL - UPPER LEVEL STUD OVER BEAM

THIS DETAIL ONLY APPLIES WHEN SPECIFICALLY REFERENCED

MONOLITHIC FOUNDATION - EXTERIOR

$\frac{3}{8}$ " x 6" TITEN HD SCREW ANCHOR
or $\frac{3}{8}$ " x 6" SCREW ANCHOR BY HURRI-BOLT, INC.
or $\frac{3}{8}$ " THREADED ROD SET 4 $\frac{1}{2}$ " INTO ADHESIVE

STEMWALL FOUNDATION - EXTERIOR

$\frac{1}{2}$ " THREADED ROD SET 7" INTO ADHESIVE

INTERIOR APPLICATIONS-

IF EDGE DISTANCE EXCEEDS 5"
USE MONOLITHIC CONDITION

B
SD-7

DETAIL - TYPICAL DTT2-Z INSTALLATION

(USP DTB-TZ SIMILAR)

MONOLITHIC FOUNDATION - EXTERIOR

$\frac{1}{2}$ " x 12" TITEN HD SCREW ANCHOR
or $\frac{5}{8}$ " THREADED ROD SET 7" INTO ADHESIVE

STEMWALL FOUNDATION - EXTERIOR

$\frac{5}{8}$ " THREADED ROD SET 12" INTO ADHESIVE

INTERIOR APPLICATIONS-

IF EDGE DISTANCE EXCEEDS 5" USE
 $\frac{1}{2}$ " x 12" TITEN HD SCREW ANCHOR
or $\frac{3}{8}$ " x 8" TITEN HD SCREW ANCHOR
or $\frac{3}{8}$ " THREADED ROD SET 6" INTO ADHESIVE

C
SD-7

DETAIL - TYPICAL HTT5 INSTALLATION

(USP PHD5 SIMILAR)

MONOLITHIC FOUNDATION - EXTERIOR

$\frac{7}{8}$ " THREADED ROD SET 12" INTO ADHESIVE

STEMWALL FOUNDATION - EXTERIOR

$\frac{7}{8}$ " THREADED ROD SET 12" INTO ADHESIVE

INTERIOR APPLICATIONS-

IF EDGE DISTANCE EXCEEDS 5" USE
 $\frac{7}{8}$ " THREADED ROD SET 8" INTO ADHESIVE

D
SD-7

DETAIL - TYPICAL HDU8 INSTALLATION

(USP PHD6 SIMILAR)

EXTERIOR BEAM (AS NOTED)

DOUBLE PLATE

NOTCH BEAM AS REQUIRED TO
FIT BENEATH DOUBLE PLATE

BEAM BEARS ON (2) 2x__ JACKS
(TYPICAL - U.O.N.)

CONDITION: 1

(NOTCHED BEAM)

(ALTERNATE TO DSP CLIPS)

NAIL SHEATHING TO DOUBLE PLATE WITH
(2) ROWS OF 0.131"x 2 $\frac{1}{2}$ " NAILS @ 6"O.C.
NAIL SHEATHING ALONG BOTTOM OF HEADER @ 3"O.C.

INSTALL DSP CLIPS @ 24" O.C. OR
SPH__ @ 32"O.C.

EXTERIOR BEAM (AS NOTED)

DOUBLE PLATE

BEAM INSTALLED BENEATH DOUBLE PLATE

BEAM BEARS ON (2) 2x__ JACKS
(TYPICAL - U.O.N.)

E
SD-7

DETAIL - EXTERIOR BEAM TO WALL CONNECTION

EXTERIOR BEAM
(AS NOTED)

H6 CLIP FROM
POST TO BEAM

LAP BEAM PLYS AND
NAIL AS SHOWN - (5)
0.131"x 3 $\frac{1}{4}$ " NAILS PER PLY

PT POST (AS NOTED)

H6 CLIP FROM POST
TO BEAM

EXTERIOR BEAM
(AS NOTED)

PT POST (AS NOTED)

ABU POST BASE
(AS NOTED)

$\frac{5}{8}$ " THREADED ROD
WITH NUT SET IN
ADHESIVE
(7" EMBEDMENT)

PLAN VIEW AT TOP OF POST

SIDE VIEW AT BASE OF POST

F
SD-7

DETAIL - TYPICAL CONNECTIONS AT EXTERIOR POST

INSTALL SSP or SPH__ CLIPS AT 32"O.C. AT
DOUBLE PLATE

ALTERNATE: MSTA24 STRAP LOOPED OVER
DOUBLE PLATE NAILED WITH (6) 10d x 1 $\frac{1}{2}$ " NAILS
INTO EACH SIDE OF STUD

UPPER LEVEL STUD

CS16 STRAP (CUT TO LENGTH) FROM UPPER
STUD TO HEADER BELOW @ 32"O.C. (U.O.N.).
NAIL INTO UPPER STUD WITH (11) 10d AND NAIL
INTO HEADER WITH (11) 10d NAILS.

BEGIN NAILING 1" MINIMUM ABOVE SOLE PLATE

NAILING NOT REQUIRED BETWEEN UPPER SILL
PLATE AND LOWER DOUBLE PLATE.

FLOOR SYSTEM (AS NOTED)

BEGIN NAILING 1" MINIMUM BELOW DOUBLE
PLATE

DOUBLE PLATE

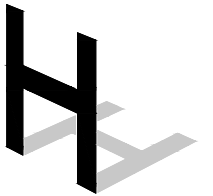
LOWER LEVEL HEADER (AS NOTED)

G
SD-7

DETAIL - CONNECTION OF UPPER LEVEL STUD TO HEADER BELOW

THIS DETAIL ONLY APPLIES WHEN SPECIFICALLY REFERENCED

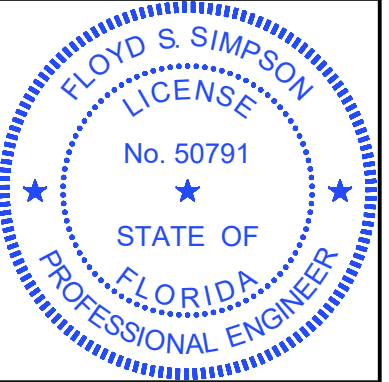
Metal Connector Fastening Schedule						
Simpson ID	FL #	MITEK ID	FL #	Fasteners	Anchorage (U.O.N.)	
A35	10446.1	MPA1	17244.20	(12) 0.131" x 1½"	n/a	
ABU44 – Z	10860.2	PAU44 – TZ	17239.12	(12) 0.162" x 2½" or (12) 0.162" x 3½"	5/8" w/ 7" embed	
ABU66 – Z	10860.2	PAU66 – TZ	17239.12	(12) 0.162" x 2½" or (12) 0.162" x 3½"	5/8" w/ 7" embed	
CS16	10456.3	RS150	17244.25	(11) 0.148" x 3" in each end – (22) total	n/a	
DSP	10456.6	RSP16-2	17244.26	(8) 0.148" x 1½" into studs (6) 0.148" x 1½" into double plate	n/a	
DTT2Z	10441.1	DTB-TZ	17219.1	(8) ¼" x 1½" SDS	½" w/ 4½" embed (mono) & 7" embed (stem)	
GBC	10447.3	HC520	N/A	(5) 0.131" x 1½" into gable brace (7) 0.131" x 2½" into double plate	n/a	
H2.5A	10456.7	n/a: use RT7	17236.11	(5) 0.131" x 1½" in each end – (10) total	n/a	
H2.5T	10446.16	n/a: use RT7	17236.11	(5) 0.131" x 1½" in each end – (10) total	n/a	
H3	10456.7	RT3A	17236.11	(4) 0.131" x 2½" in each end – (8) total	n/a	
H6	10456.7	LFTA6	17244.13	(8) 0.131" x 2½" in each end – (16) total	n/a	
H8	10446.16	RT8A	17236.12	(5) 0.148" x 1½" in each end – (10) total	n/a	
HDQ8	10441.3	n/a: use UPHD8	17219.5	(20) ¼" x 3" SDS	7/8" w/ 12" embed	
HDU5	10441.4	PHD5	17219.3	(14) ¼" x 2½" SDS	5/8" w/ 7" embed (mono) & 12" embed (stem)	
HDU8	10441.4	PHD6	17219.3	(20) ¼" x 3" SDS	7/8" w/ 12" embed	
HETA12	11473.4	HTA12	17680.4	(7) 0.148" x 1½"	4" embed	
HTS20/24/30	10456.12	HTW20/24/30	17244.6	(8) 0.148" x 3" in each end – (16) total	n/a	
HTSM16/20	11473.12	HTWM16/20	6223.2	(8) 0.148" x 3" into wood (4) ¼" x 2¼" Titen into CMU (4) ¼" x 1½" Titen into concrete	n/a	
HTT4	11496.4	HTT16	17324.2	(18) 0.162" x 2½"	5/8" w/ 7" embed (mono) & 12" embed (stem)	
HTT5	11496.4	HTT45	17324.2	(26) 0.162" x 2½"	5/8" w/ 7" embed (mono) & 12" embed (stem)	
LGT2	11473.8	LUGT2	17240.3	(14) 0.148" x 3¼" into stud (16) 0.148" x 3¼" into truss	n/a	
LGT3	11473.8	n/a		(26) 0.148" x 3¼" into stud (12) ¼" x 2½" SDS into truss	n/a	
LTP4	10446.26	MP4F	17244.21	(12) 0.131" x 1½"	n/a	
LSTA18	10456.15	LSTA18	17244.14	(7) 0.148" x 3" in each end – (14) total	n/a	
LTS12	10456.18	LTW12	17244.16	(6) 0.148" x 3" in each end – (12) total	n/a	
MSTA24	10456.21	MSTA24	17244.14	(9) 0.148" x 3" in each end – (18) total	n/a	
MSTAM24	11473.11	MSTAM24	17325.1	(9) 0.148" x 3" into wood (5) ¼" x 2¼" Titen into CMU (5) ¼" x 1½" Titen into concrete	n/a	
MSTA30	10456.21	MSTA30	17244.14	(11) 0.148" x 3" in each end – (22) total	n/a	
MSTA36	10456.21	MSTA36	17244.14	(13) 0.148" x 3" in each end – (26) total	n/a	
MSTAM36	11473.11	MSTAM36	17325.1	(13) 0.148" x 3" into wood (8) ¼" x 2¼" Titen into CMU (8) ¼" x 1½" Titen into concrete	n/a	
MTS12/20	10456.25	MTW12/20	17244.6	(7) 0.148" x 3" in each end – (14) total	n/a	
MTSM16/20	11473.12	HTWM16/20	6223.2	(7) 0.148" x 3" into wood (4) ¼" x 2¼" Titen into CMU (4) ¼" x 1½" Titen into concrete	n/a	
PA51	10441.9	TA51	N/A	(16) 0.162" x 2½"	4" embed	
SPH4/6	10456.31	SPTH4/6	17244.29	(12) 0.148" x 1½"	n/a	
SSP	10456.6	RSP16	17244.26	(4) 0.148" x 1½" into studs (3) 0.148" x 1½" into double plate	n/a	
STHD14	10441.12	STAD14	17249.3	(30) 0.148" x 3¼"	14" embed	
Notes:						
1.) All connectors manufactured by Simpson Strong-Tie or MITEK/USP (U.O.N.)						
2.) Mono = monolithic concrete; stem = masonry stem wall or bond beam						
3.) Anchorage refers to threaded anchors with noted diameters and embedment depths						



HULSBERG
ENGINEERING

12058 SAN JOSE BLVD, #1001
JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846



FLOYD S. SIMPSON, PE STATE OF FLORIDA,
PROFESSIONAL ENGINEER, LICENSE No. 50791

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CLIENT:

DEBBIE McGEHEE

PROJECT:

McGEHEE RESIDENCE
LOT 9 - BLOCK 16, OLD TOWN

JOB NUMBER:

23-1203

COUNTY:

NASSAU

SCALE:

$\frac{1}{8}$ " = 1'-0" (U.O.N.)

DO NOT SCALE THIS DRAWING

RELEASE DATE:

08-08-23

REVISIONS:

DRAWN BY:

CMF

CHECKED BY:

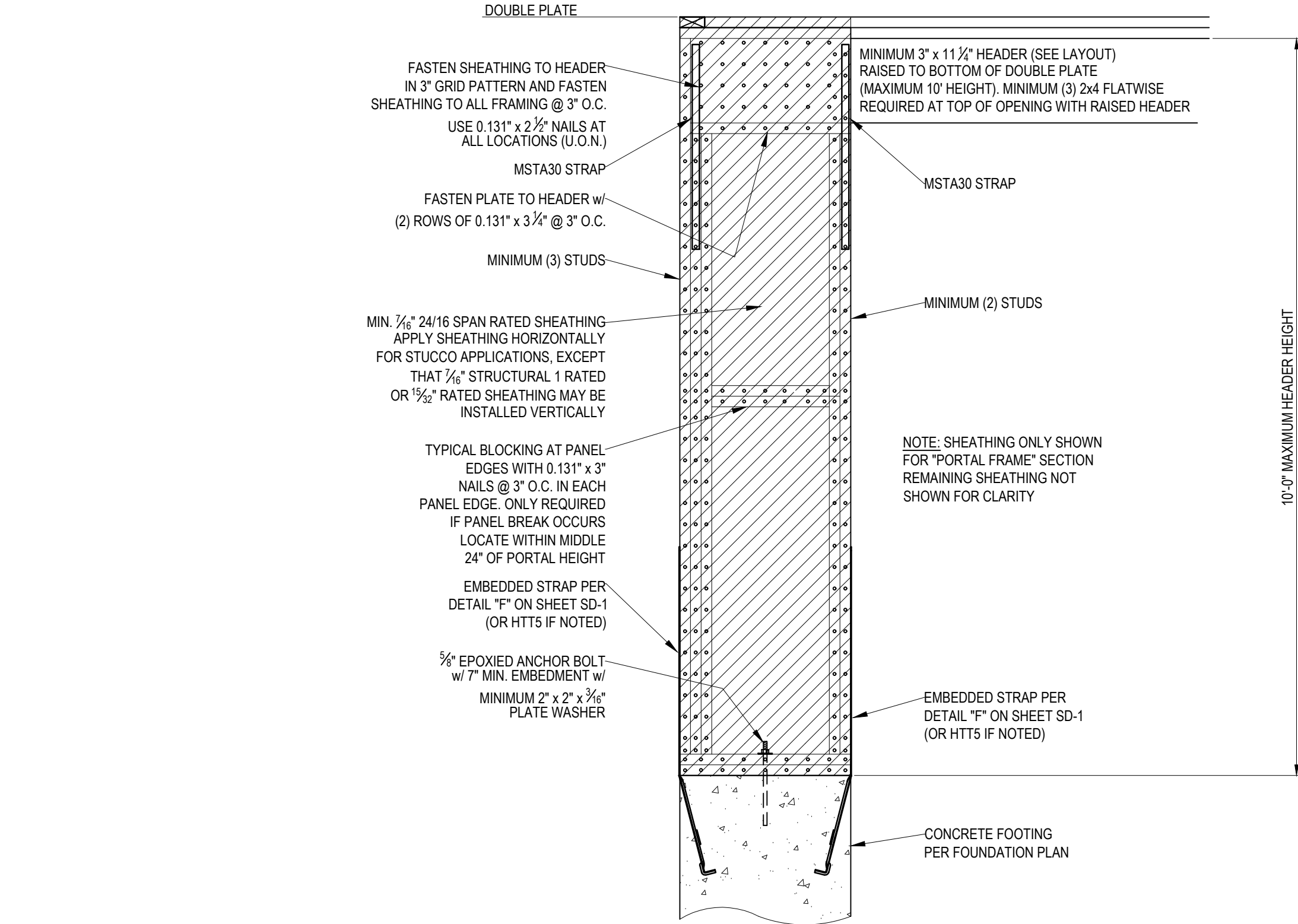
FSS

TITLE:

**METAL CONNECTOR
DETAILS**

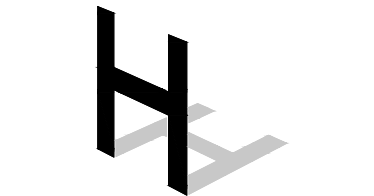
SHEET:

SD-7



A
SD-8

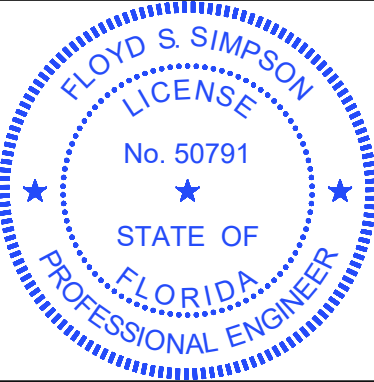
DETAIL - PORTAL FRAME DETAIL



**HULSBERG
ENGINEERING**

12058 SAN JOSE BLVD, #1001
JACKSONVILLE, FL 32223
904-886-2401

FLORIDA REGISTRY # 25846



FLOYD S. SIMPSON, PE STATE OF FLORIDA,
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CLIENT: DEBBIE McGEHEE	
PROJECT: McGEHEE RESIDENCE LOT 9 - BLOCK 16, OLD TOWN	
JOB NUMBER: 23-1203	COUNTY: NASSAU
SCALE: $\frac{1}{8}" = 1'-0"$ (U.O.N.) DO NOT SCALE THIS DRAWING	
RELEASE DATE: 08-08-23	
REVISIONS:	
DRAWN BY: CMF	
CHECKED BY: FSS	
TITLE: PORTAL FRAME DETAIL	
SHEET: SD-8	



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0300 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 06/29/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 07/31/2023
Status: Approved	Square Feet: 0.00	Completed: 08/14/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) to install a free standing sign		Expire Date: 08/13/2024

Parcel: 00-00-31-1800-0040-0071 Main	Address: 714 Beech St Main Fernandina Beach, FL 32034	Zone: C-3(Central Business District)
---	---	---

Contractor Sharon Palmer 1410 E OAK ST FERNANDINA BEACH, FL 32034 Business: 9042610340	Owner Phillip & Betty Mock 134 Speer ST Macon, GA 31204 Mobile: 4783189909	Agent Ronald Flick 714 BEECH ST FERNANDINA BEACH, FL 32034 Business: 9042610059 Mobile: 9047539056
--	---	---

Note	Created By	Date and Time Created
1. emailed payment reminder email	Sylvie McCann	07/06/2023
2. Sent payment reminder as well as request for confirmation on height and setback of existing sign. 7/6/2023	Salvatore Cumella	07/07/2023

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00027063	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00027063		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0309 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/03/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/05/2023
Status: Approved	Square Feet: 0.00	Completed: 08/09/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval Expire Date: 08/08/2024
Description: Certificate of Approval (COA) to repaint exterior of building: Body SW6385 "Dover White" Fascia and Trim SW7005 "Pure White" Rigid Awnings SW9178 "In the Navy"		

Parcel: 00-00-31-1800-0271-0010 Main	Address: 204 Ash St Main Fernandina Beach, FL 32034	Zone:
---	---	--------------

Owner City of Fernandina Beach 204 Ash Street Fernandina Beach, FL 32034	Applicant City of Fernandina Beach 204 ASH ST FERNANDINA BEACH, FL 32034
---	--



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0310 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/10/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/11/2023
Status: Approved	Square Feet: 0.00	Completed: 08/14/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) to replace 3 fabric awnings (Navy Blue)		Expire Date: 08/13/2024

Parcel: 00-00-31-1800-0271-0010 Main	Address: 204 Ash St Main Fernandina Beach, FL 32034	Zone:
---	---	--------------

Owner City of Fernandina Beach 204 Ash Street Fernandina Beach, FL 32034	Applicant City of Fernandina Beach 204 ASH ST FERNANDINA BEACH, FL 32034
---	--



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0311 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/21/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/20/2023
Status: Approved	Square Feet: 0.00	Completed: 08/25/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) replace existing projecting sign on existing brackets (3 sq.ft.)		Expire Date: 08/26/2024

Parcel: 00-00-31-1800-0269-0300 Main	Address: 212 Centre St Main Fernandina Beach, FL 32034	Zone:
---	--	--------------

Applicant Sharon Palmer 1410 E OAK ST FERNANDINA BEACH, FL 32034 Business: 9042610340	Owner Morrison Real Estate Investment 212 Centre ST B Fernandina Beach, FL 32034
--	--

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029202	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00029202		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



**CERTIFICATE OF APPROVAL (COA) HDCSA2023-0313
FOR CITY OF FERNANDINA BEACH**

Plan Type: HDC - Staff Review	Project:	App Date: 08/25/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/25/2023
Status: Approved	Square Feet: 0.00	Completed: 08/25/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval Expire Date: 08/26/2024
Description: Certificate of Approval (COA) to replace 23 non-original windows with Pella Reserve 2/2 DH windows and 3 non-original exterior doors.		

Parcel: 00-00-31-1800-0033-0020 Main	Address: 310 N 5Th St Fernandina Beach, FL 32034 Main	Zone:
---	---	--------------

Owner	Applicant
Anthony Scalies	Anthony Scalies
310 N 5th St N 5th	310 N 5th St N 5th
Fernandina Beach, FL 32034	Fernandina Beach, FL 32034
Mobile: 610-842-3099	Mobile: 610-842-3099

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029269	COA - Staff Residential Fee	\$25.00	\$25.00
		Total for Invoice INV-00029269	\$25.00
		Grand Total for Plan	\$25.00



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0314 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/25/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/25/2023
Status: Approved	Square Feet: 0.00	Completed: 08/28/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) to screen existing covered porch on east side		Expire Date: 08/27/2024

Parcel: 00-00-31-1800-0051-0011 Main	Address: 909 Atlantic Av Main Fernandina Beach, FL 32034	Zone:
---	--	--------------

Contractor Wyatt J Smith 850724 US Hwy 17 Yulee, FL 32097 Home: 9044687979 Business: 9044687979 Mobile: 3195586125	Owner ADAMS FAMILY TRUST 2601 Gregor McGregor BLVD Fernandina Beach, FL 32034	Applicant Wyatt's Contracting Services, LLC 850724 US Hwy 17 Yulee, FL 32097 Home: 904-468-7979 Business: 9044687979 Mobile: 3195586125
---	---	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029273	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00029273		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0315 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/28/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/27/2023
Status: Approved	Square Feet: 0.00	Completed: 08/28/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) to re-roof with GAF Architectural Shingles (Weathered Wood)		Expire Date: 08/27/2024

Parcel: 00-00-31-1800-0028-0161 Main	Address: 508 Ash St Main Fernandina Beach, FL 32034	Zone:
---	---	--------------

Owner	Agent
Cheryl & Mark Wilson	Charlie DeBerry
508 Ash St Ash	96041 Nassau Pl
Fernandina Beach, FL 32034	Yulee, FL 32097
Mobile: 9046350529	Business: 9046240225
	Mobile: 9045746422

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029292	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00029292		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0316 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 08/28/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 09/27/2023
Status: Approved	Square Feet: 0.00	Completed: 08/28/2023
Valuation: \$0.00	Assigned To: Salvatore Cumella	Approval
Description: Certificate of Approval (COA) for Restoration of masonry, windows, doors, and foundation parge coating per DOS Grant specifications.		Expire Date: 08/27/2024

Parcel: 00-00-31-1800-0053-0010 Main	Address: 10 S 10Th St Main Fernandina Beach, FL 32034	Zone:
---	---	--------------

Agent Jose Miranda 309 1/2 CENTRE Suite 206 FERNANDINA BEACH, FL 32034 Business: 9042614586 Mobile: 9047533099	Owner NEW ZION BAPTIST CHURCH 10 S 10 ST Business: 904-583-3180
---	---

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029293	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00029293		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00



CERTIFICATE OF APPROVAL (COA) HDCSA2023-0317 FOR CITY OF FERNANDINA BEACH

Plan Type: HDC - Staff Review	Project:	App Date: 09/06/2023
Work Class: HDC Staff Review	District: Default	Exp Date: 10/06/2023
Status: Submitted	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Kelly Gibson	Approval Expire Date:
Description: Re-Roof: GAF 30-Year ACH Birchwood Shingles		

Parcel: 00-00-31-1800-0016-0022 Main	Address: 210 N 3Rd St Main Fernandina Beach, FL 32034	Zone:
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Contractor Gary LePierre 2618 McGregor Fernandina Beach, FL 32304 Business: 9047532234	Contractor Gary Lepierre 2618 McGregor Blvd Fernandina Beach, FL 32034 Business: 9047532234	Applicant Ronald J Ross 210 North 3rd Street N 3rd Fernandina Beach, FL 32034 Home: 4103940220
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Invoice No.	Fee	Fee Amount	Amount Paid
INV-00029379	COA - Staff Residential Fee	\$25.00	\$25.00
Total for Invoice INV-00029379		\$25.00	\$25.00
Grand Total for Plan		\$25.00	\$25.00

City of Fernandina Beach

Project Title: Fernandina Beach Center Street 3-D Laser Scanning and Historic District Design Guidelines Update Project

Request Amount: \$50,000.00

A. Organization Information Page 1 of 9

Applicant Information

- a. **Organization Name:** City of Fernandina Beach 
- b. **FEID:** 59-6000317
- c. **Phone number (with extension if applicable):** 904.310.3104
- d. **Principal Address:** 204 Ash Street Fernandina Beach, 32034
- e. **Mailing Address:** 204 Ash Street Fernandina Beach, 32034
- f. **Website:** www.fbfl.us
- g. **Organization Type:** Municipal Government
- h. **Organization Category:** Other
- i. **County:** Nassau
- j. **UEI number:** 079192274
- k. **Fiscal Year End Date:** 09/30

1. Designated Project Contact *

First Name

Lorelei

Last Name

Jacobs

Phone 904.310.3104

Email ljacobs@fbfl.org

2. Authorized Official *

First Name

Dale

Last Name

Martin

Phone 904.310.3101

Email dmartin@fbfl.city

3. Certified Local Governments (CLG) *

Only governmental entities that are Certified Local Governments (CLG) in good standing are eligible to receive **Federal** funds for the Survey, Planning, and National Register Nomination project categories. CLGs may also apply for state funds for projects in **other** categories (Heritage Education and Historical Marker projects). No more than two (2) applications, one for federal funding and one for state funding, may be submitted under a single application deadline.

Are you a CLG in good standing? What is a CLG?

☒ Yes

☐ No

3.1 If yes, is this an application for federal or state funding?

☒ Federal (Survey, Planning, and National Register Nomination project types only)

☐ State (Heritage Education and Historical Marker project types only)

3.2 If yes, provide the following:

4

4. Florida Main Street Programs *

Are you an Active Florida Main Street community designated as such pursuant to Chapter 1A-36, Florida Administrative Code?

☐ Yes

☒ No

5. Applicant Grant Experience and History**5.1 Has the applicant organization received previous grant assistance within the past five years from any source? ***

☒ Yes

☐ No

5.2 If yes, for the most recent grants (up to 20), specify the year of the grant award, grant number, grant project name, the granting entity, the grant award amount, and its current status. Make Sure to include any grants awarded by the Division or other State grants.

#	Previous Grant Year	Previous Grant Number.	Previous Grant Project Name	Previous Granting Entity	Previous Grant Amount	Open/Closed
1	2022	19046	Historic Fernandina Beach Area 6 Stormwater Project	Florida Department of Environmental Protection	\$400,625	Open
2	2022	CZ424	Ocean Avenue 6N Beach Walkover Project	Florida Department of Environmental Protection	\$60,000	Open
3	2021	NA-FB-21-24	Marina Mooring Ball Install and Dredging	Florida Inland Navigation District	\$250,000	Open
4	2019	NA-FB-19-22	Marina Public Boat Docking Facilities Improvements	Florida Inland Navigation District	\$200,000	Open
5	2021	22.h.sc.900.006	Saving Peck Center, a Historic Rosenwald School	Florida Department of State, Division of Historic Resources	\$500,000	Open
6	2021	22.h.sm.300.126	Historic Peck Center, A Rosenwald School	Florida Department of State, Division of Historic Resources	\$50,000	Open
7	2021	R2232	Fernandina Beach Comprehensive Historic Downtown Resiliency P	Fernandina Beach Comprehensive Historic Downtown Resiliency Plan Segment 2 Project	\$493,142	Closed
8	2022	CZ581	Fernandina Beach Cleveland Avenue 16 Beach Walkover Project	Florida Department of Environmental Protection	\$60,000	Open
9	2022	22PLN15	Fernandina Beach Comprehensive Vulnerability and Resiliency Master Plan	Florida Department of Environmental Protection	\$82,997	Open

10	2022	LPA9160	Downtown Stormwater Quality	Florida Department of Environmental Protection	\$250,000	Open
11	2021	21.h.sm.100.076	Old Town Guidelines Analysis and Update	Florida Department of State, Division of Historic Resources	\$48,000	Closed
12	2020	20NAL	Fernandina Beach Dune Stabilization	Florida Department of Environmental Protection	\$146,640	Closed
13	2019	R1921	Increasing Access, Stewardship and Resiliency of Fernandina Beach Coastal Resources	Florida Department of Environmental Protection	\$75,000	Closed
14	2020	2020-JAGD-NASS-2-N3	Enhanced Reality-Based Training Program	Florida Department of Law Enforcement	\$2,238	Closed
15	2021	2021-CESF-NASS-2-C9-114	2020 CESF Program	Florida Department of Law Enforcement	\$63,195	Closed
16	2019	2019-JAGD-NASS-2-N3	Fernandina Beach Police Triage of Bleeding Victims Program	Florida Department of Law Enforcement	\$1,680	Closed
17	2019	NA-FB-20-23	Marina Boardwalk Installation	Florida Inland Navigation District	\$250,000	Closed
18	2018	CM936	Fernandina Beach Downtown Waterfront Resiliency Master Plan	Florida Department of Environmental Protection	\$35,700	Closed
19	2022	23.s.aa.900.118	Historic Peck Center Restoration Final Phase	Florida Department of State, Division of Historic Resources	\$876,500	Open
20	2018	NA-FB-18-21	Maintenance Dredging II	Florida Inland Navigation District	\$175,000	Closed

5.3 Has the applicant organization applied for additional grant assistance from other State or Federal funding sources, including from other divisions of the Department of State, for the same Scope of Work activities within the same fiscal year?

☐ Yes

☒ No

5.4 If yes, for the most recent grants (up to 20), application specify the grant project name, the granting entity, the grant program, the grant request amount, date of application, and its current status

#	Grant Project Name	Granting Entity	Grant Program	Grant Request Amount	Date of Application	Current Status
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6. Proposed Project Team *

#	Name	Project Role Title	Email	Phone/Ext.
1	Kelly Gibson	Director, City Planning and Conservation	kgibson@fbfl.org	904.310.3481.____
2	Sal Cummella	Senior Planner/Preservation Planner	scummella@fbfl.org	904.310.3483.____
3	Lorelei Jacobs	City Grants Administrator	ljacobs@fbfl.org	904.310.3104.____

7. Applicant staffing and hours *

Select the option that best describes your organization.

- ☒ Organization is open at least 40 hours per week and has at least one paid staff member in a management position
- ☐ Organization has some paid staff but they are not full-time
- ☐ Organization is open part-time and has volunteer staff

B. Project Information Page 2 of 9

1. Project Type *

Select the project type for which grant funds are requested. If you are unsure of which type to select, please refer to the definition beneath each project type. If the incorrect project type is selected for the proposed scope of work, the application will be declared ineligible. Projects involving Development activities must apply for Special Category grant funding.

☐ Survey Project

Projects which identify, document and evaluate historic or archaeological resources individually or within historic or archaeological districts or areas being investigated for the potential of becoming historic districts or zones, or updating previous surveys.

☒ Planning Project

Planning projects necessary to guide the long term preservation of historic resources or a historic district, including preparation of historic structures reports, condition assessments, architectural drawings and construction documents, predictive modeling, preparation of preservation or management plans, and design or preservation guidelines. Planning activities on historic Religious Properties shall be limited to building exterior envelope and structural elements of the building, excluding accessibility upgrades.

☐ National Register Nominations Project

Projects that prepare a nomination to the National Register of Historic Places for an individual Historic Property or a nomination for a historic or archaeological district or a thematic or multiple resource group nomination. The resource(s) or proposed district must have been determined eligible for the National Register of Historic Places by the Division prior to applying for the grant. Preparation of National Historic Landmark designation nominations shall not be allowable for Small Matching grant funding.

☐ Heritage Education Project

Projects aimed at increasing public understanding and awareness of the history of Florida and the importance of its historical and archaeological resources and their preservation, either in general or for specific sites, properties or collections. This may include proposals such as walking tours brochures, education material for school children, interpretive signage, videos illustrating historic preservation principles, small educational exhibits, preservation of historical records through digitization and educational apps related to the history of Florida and/or its historical and archaeological resources. Exhibits must not be permanently affixed to the building.

☐ Historical Marker Project

Projects which assist with the acquisition of state markers for which texts (monolingual or bilingual) have been approved by the State Historical Marker Council prior to applying for the grant.

2. Project Title and Location Information

The title should reflect the name of the property, site, area and/or the goals of the proposed project. The title should be consistent with previous applications/awards. (For example, Pensacola Maritime Heritage Trail, Archaeological Survey of Deering Estate, etc.)

2.1 Project Title *

Fernandina Beach Center Street 3-D Laser Scanning and Historic District Design Guidelines Update Project

2.2 Name of Property (If applicable)

Fernandina Beach's Historic District

2.3 Street Address (primary location where the proposed project will be carried out)

204 Ash Street

2.4 City (location of the proposed project)

Fernandina Beach

2.5 Primary County (location of the proposed project) Nassau

C. Historical Significance Page 3 of 9

1. Historical Designation

Indicate the type of historical designation currently held by the historic resource(s) that are the subject of the project, if any. For properties or sites that have been listed in the National Register or are contributing properties or sites within a National Register District, provide the date that the property, site or district was listed. Should you have questions regarding the National Register status of a property or site, contact the Division's National Register Staff at 1.800.847.7278 or 850.245.6300.

1.1 Type of Historical Designation * ☒ Individual National Register Listing(s)

☒ National Register District - Contributing Resources

1.2 Historical Designation details

#	Property Name	Date Designated
1	Fernandina Beach Historic District (Downtown Historic District)	6/3/1973
2	Fernandina Beach Historic District (Extension)	4/19/1987
3	Bailey House	6/3/1973
4	Fairbanks House	6/3/1973
5	Tabby Housse	6/3/1973
6	Maverick-Simmons House	1/13/1983
7	Old Town Fernandina Historic Site (Old Town Historic District)	1/29/1990
8	Nassau County Jail	11/18/2009

2. Historical Significance

2.1 Explain the historic significance for the property, site, information or resource(s) that is the subject of the proposed project - (Maximum characters 1500.)

Fernandina Beach is Florida's northern-most city on the Atlantic Coast. Located on beautiful Amelia Island, Fernandina Beach is enriched by beautiful natural resources and a proud and unique heritage. Amelia Island is the only U.S. location on which eight sovereign nations hung their flags to claim possession. Fernandina Beach, named after King Ferdinand VII of Spain, was first plotted in 1811. Over the next century, the City prospered due to its deep water port, Florida's first cross-state railroad, a burgeoning shrimping industry resulting from local fishing innovation, an early Customs House, and in 1864, to Florida's first newspaper, the Florida Times-Union.

Wealthy businessmen, skilled tradesmen, and affluent families flocked to the area. Pirates, smugglers, bootleggers, slave traders, and stolen treasure also amassed to take advantage of the economic opportunities and to take comfort in the quick landing and escape capability provided to ships by the island's deep waters. By 1896, the "American Resorts" magazine identified Fernandina Beach as "The Queen of Summer Resorts." The nation's most affluent families of the era, including the Vanderbilts, the DuPonts, and the Carnegies, visited, and invested in the area, and built Victorian-era mansions, over 400 of which remain well-preserved in Fernandina Beach's 50+block waterfront Historic District.

One of the nation's earliest thriving seaports, Fernandina Beach continues today as an authentic historic working waterfront community with a vibrant pedestrian friendly historic district integrated with an active railroad, port, marina and shrimp docks. The Civil War brought temporary stagnation, but Fernandina rebounded and entered its Victorian-era Golden Age the thriving resort and tourist destination it remains today.

2.2 For projects associated with Historic Structures and Archaeological Sites, enter the Florida Master Site File (FMSF) Number (ex. 8ES1234). For multiple site forms, separate with a semicolon (;). If no FMSF form exists, applicants may be required to complete one as part of the requirements in a grant award agreement.

NA00089; NA00089; Na00083; NA00084; NA00081; NA00133; NA00287

2.3 For Historic Property, Indicate Year of the Original Construction (enter Year only)

Multiple properties, all over 50 years old.

2.4 For Archaeological Sites, provide the Cultural Affiliation of the Site and Dates of Use or Occupation - (Maximum characters 300.)

D. Project Specifics Page 4 of 9

1. Scope of Work - (Maximum characters 5000.) *

In the space provided below, briefly describe the scope of work for the project for which funding is requested. List the work items that will be completed during the grant period using the funds requested and the required match.

The Fernandina Beach Center Street 3-D Laser Scanning and Historic District Design Guidelines Update Project will, if funded, consist of two primary tasks: 1.) 3D laser scanning of the main downtown street in the Historic District, Center Street. 2.) Updating the ten-year old City of Fernandina Beach Downtown Historic District Guidelines.

The project will take place in Fernandina Beach's fifty-block Historic District, which contains 440 structures of historic, architectural, or cultural significance that are approximately 50 years old or older and five individually-listed National Register Listed Historic Properties.

Phase 1 Laser Scanning of select properties on Center Street: The first primary task of Fernandina Beach Center Street Laser Scanning and Historic District Guidelines Update project will serve to help ensure the long-term preservation and restoration of the City's Victorian-era historic property. Fernandina Beach, and of course our downtown Historic District, is located on Amelia Island, a coastal barrier island that is only 4 miles wide between the Atlantic Ocean and the Amelia River at it's widest point, presenting a vulnerability to damage from sea level rise and global warming.

Fernandina Beach intends to contract with an experienced company or school to complete the first phase of 3D laser scanning of Fernandina Beach's historic properties located on our central downtown street (Center Street). The first phase scanning will commence at the Amelia Riverfront of Center Street and continue west up Center Street. The laser scanning technology will provide quick and accurate recording of a historic building's physical design and condition, the creation of black and white line drawings and photo-realistic plans, sections, and elevations, and supports the creation of video walkthroughs of the buildings and sites and a virtual databases for organizing and displaying archival and other conditions data.

The digital recording will be done using, among other technologies, laser scanning, photogrammetry, and imagery from a drone. The goal is to produce a virtual model of Fernandina Beach that can be used to generate products needed to assess and manage changes in the Historic District and to inform storm surge and sea level rise planning.

Additionally, the Florida Division of Historical Resources (DHR) has received federal hazard mitigation funding to develop a statewide guidance document for Florida's historic and cultural resources. The end product of this effort is described as 3 documents; one focusing on flood and disaster guidance for historic property owners, one for local governments, and one for state agencies. According to DHR staff, all will focus on the need to integrate historic preservation planning with disaster mitigation planning, identify flood and storm risks to cultural resources, and recommend policies and design guidance for reducing the impacts of storms and flooding in the future. DHR has selected eighteen Florida communities, one of which is Fernandina Beach, to be used as case studies which will inform all 3 final documents. The 3-D modeling that will be created through this grant will be an asset to Fernandina Beach's role as a case-study community.

Update of Fernandina Beach Historic District Guidelines: The second primary activity of the Fernandina Beach Center Street 3-D Laser Scanning and Historic District Guidelines Update project is to update the City's Historic District Guidelines. Fernandina Beach's Historic District is comprised of 2,470 acres, and is home to 444 historic structures. The update of the Fernandina Beach Downtown Historic District Design Guidelines will provide applicants, City staff, and the Fernandina Beach Historic District Council with clear and detailed standards to guide rehabilitation and new construction within the Historic District.

The Fernandina Beach Downtown Historic District Design Guidelines were last updated in 2013. The existing guidelines are available online at www.fbfl.us/historicdistrict. Additionally, an interactive GIS application located at City of Fernandina Beach Historic Sites (nassauflpa.com) allows users to drill down to see the location and data about individual historic properties. A newly-developed GIS application located at Historic Sites Fernandina Beach, FL (nassauflpa.com) contains photos of select historic properties and is being populated over time to contain details and stories about each structure.

In the almost ten years since the 2013 Fernandina Beach Historic District Guidelines were last updated, there have been extensive advances in the methods, technologies, and techniques for construction and renovation which are not addressed and which are increasingly desired by Historic District property owners, including modern advances in solar power, mechanical equipment, sign construction, outdoor music standards, lighting and bulb materials, materials fabrication, street facing screen displays (T.V. and others) and generators. The limitations of the Fernandina Beach Downtown Historic District Design Guidelines limit City Planning and Conservation staff from approving construction and renovation requests that seek approval for the above-listed modern techniques, and force property owners to expend additional time and resources pursuing approval for variances from the Historic District Council.

Specifically, the goals to be accomplished in this project are:

- 1) Incorporate new design, materials, and construction issues that are not addressed in Fernandina Beach's 2013 Historic District Guidelines into an updated Guidelines.
- 2) Update images and graphics in the guidelines.

2. Tentative Project Timeline (remember this is a 12 month grant period) *

Please specify the start and end month and year below; indicate all major elements of the project for which funding assistance is requested, the anticipated time required to complete each element, and the planned sequence of these activities. Grants, if awarded, will begin July 1 of the year funds are appropriated. **Projects should be completed within 12 months.**

#	Work Item	Starting Date	Ending Date
1	First Draft of Guidelines Update	7/3/2023	1/30/2024
2	Contract for 3-D Laser Scanning	7/15/2023	8/31/2023
3	Draft Final Design Guidelines	9/16/2023	6/15/2024
4	Complete 3D Laser Scanning to Include AutoCad and pdf versions	9/1/2023	6/1/2024
5	Submit Project Timeline and Contractor Credentials to DHR Staff	7/3/2023	9/1/2023
6	Contract for Graphic Artist Services for Updated Historic District Guidelines	7/15/2023	8/31/2023

3. Planning Projects

3.1 How will the product(s) be made available to others in the community? - (Maximum characters 500.)

The project will be advertised on the Fernandina Beach Historic District Council (HDC) agendas and discussed at their public meetings. The project's work products results will be shared with City Commission, who will discuss it at a publicly-noticed meeting. In addition to the 3D digital model, scalable, orthographic images and pdf images that can be posted on the City's website will be produced. Hard copies will be located at City Hall. The report will also be shared with the Amelia Island-Fernandina Restoration Foundation, Fernandina Beach Main Street, and other interested parties.

3.2 Will you be hiring or contracting with professional architectural/engineering or historic preservation services?

☒ Yes

☐ No

3.3 If no professionals are projected to be hired, or professional services are not included in your scope of work and budget, explain why. (Maximum characters 500)

3.4 Local Protection *

Indicate the level(s) of local protection currently afforded the project historic property or site and upload a copy of the local protection documents in the Support Materials section of this application.

Local Protection Level(s)

☒ Local Ordinance Design Review

4. Does the proposed project entail a partnership with any other local entity?

☒ Yes

☐ No

4.1 If yes, describe their participation to date and anticipated further participation in this project.

The Fernandina Beach Historic District Council will conduct public meetings to bring public opinion into the updating of the Historic District Design Guidelines and 3-D scanning. Fernandina Beach Main Street will serve as an additional adviser to the project.

5. Demonstrated Need - (Maximum characters 1500.)

Discuss the need for the proposed project or activity, as it relates to the preservation of the history of Florida and/or its historical and archaeological resources, including any immediate threats to the historical property/ies, historic resources or materials, archaeological sites or historical information that is the subject of the proposed project. Documentation material, such as newspaper articles, are to be uploaded in the Support Materials section of this application.

In 2025, Fernandina Beach will celebrate its 200th year anniversary. There is much to celebrate, but one area of particular local pride is the City's success in historic preservation. The City's 50+block downtown Victorian-era district overflows with carefully-restored mansions constructed in the Gilded Age by that era's wealthy citizens. Much of Fernandina Beach's success in historic preservation can be attributed to two primary factors: 1.) A local population fiercely protective of the City's history; and 2.) Multi-decade support from the FDOS Division of Historical Resources. Without either of these two components, Fernandina Beach's historic beauty would likely have been lost starting in the 1970's, when many small towns suffered from garish redevelopment and economic threats as highways connected to urban areas. Today, Fernandina Beach's current (2013) Historic Design Guidelines do not reflect current preservation practices or address pressing issues in preservation, such as energy retrofits and sustainability, and the increased desire of property owners to use newer technologies and materials. The current Historic District Guidelines do not provide City staff with the necessary tools that allow staff-level approval of construction projects in the Historic District, and instead, force property owners to pursue more costly and time-consuming variance approvals from the Fernandina Beach Historic District Council. Additionally, the Historic District borders the Amelia River, which periodically overflows onto downtown streets. With sea level rise and increased storms from global warming, our historic structures downtown are facing more severe threat. Updating the Historic District Guidelines and contracting for 3D laser scanning will help to address these concerns.

E. Budget and Match Page 5 of 9

1. Rural Economic Development Initiative (REDI) Waiver of Match Requirements *

Applicants with projects located in counties or communities that have been designated as a rural community in accordance with Section 288.0656 and 288.06561, Florida Statutes, may request a waiver of matching requirements. (Waivers are not available for Historical Marker Project types. State agencies, state colleges, and state universities are not eligible for a REDI match waiver, regardless of project location.)

Are you requesting a waiver? Is my project in a REDI Community?

☒ Yes

☐ No

1.1 Are you a state agency, state college, or state university?

☐ Yes

☒ No

2. Project Budget and Match

2.1 Grant Funds and Match *

List work items and associated estimated expenses and how they will be paid (from match, the grant or both). Only include expenses that are specifically related to the project. If professional services are to be paid with grant funds, include those costs as a separate item in the budget refer to the program Guidelines for examples of non-allowable expenses (available at FLheritageFLheritage.com/grants). Expenses may include an actual amount to be paid or the value of an in-kind contribution.

Small Matching grants require a 100% (i.e., 1:1) match unless exempted by the program Guidelines. Applicant Organizations that are Florida Certified Local Government (CLG) or Florida Main Street communities are not required to provide a match. Applicant Organizations applying for projects located in REDI areas are not required to provide a match (exception: Historical Marker Projects and applicants that are agencies of state, state colleges and state universities are not eligible for the REDI match waiver).

Round amounts to the nearest dollar. Rows must have a value in Grant Funds, Cash Match or In-Kind Match. If all three columns are 0 or blank, the row will not be saved.

The amount of grant funds requested in this application will be the total in the "Grant Funds" column. The total amount of the "Cash Match" column must equal or exceed 25% of the total combined match (cash and in-kind).

#	Work Item	Grant Funds	Cash Match	In-Kind Match	Total
1	Downtown Design Guideline Updates	\$10,000	\$0	\$0	\$10,000
2	3D Laser Scanning in Historic District	\$40,000	\$0	\$0	\$40,000
Totals:		\$50,000	\$0	\$0	\$50,000

Grant Funds Requested: \$50,000

Total Match Amount:

Project Total Budget: \$50,000

2.2 Additional Budget Information/Clarification

Use this space to provide additional detail or information about the proposal budget as needed. For example, where the relationship between items in the budget and the objectives of the proposed project may not be obvious, provide clarification regarding the necessity for or contribution of those work items to the successful completion of the project.

\$40,000: Fernandina Beach will contract with an organization experienced in creating 3D laser scanning of historic structures. The resulting 3D laser scanning work product will additionally be provided AutoCad and pdf versions for future access and public visibility.
 \$10,000: Fernandina Beach will contract with a graphic artist to provide graphic arts services that elevate the final Guidelines update and increase the clarity of the Guidelines.

Additionally, Fernandina Beach's Historic Preservation Sr. Planner Sal Cumella will conduct public workshops and author an update to Fernandina Beach's 2013 Historic District Guidelines through this project with input from the public, the City Commission, the Historic District Council (HDC), Fernandina Beach Main Street, and the Amelia Island Museum of History. The HDC will provide volunteer hours to assist in project implementation.

About 3-D Scanning of Historic Structures

Laser scanning can rapidly and accurately record historic buildings and sites and historic urban landscapes. 3-D Scanning allows future caretakers, researchers, and renovation experts to access a truly 3D photograph of a structure. For a simple example, if a wood beam is broken or lost, someone using the laser scan data can literally make a perfect copy, notches, carving marks, and all. Through multiple phases, Fernandina Beach will contract to digitally document the core of the historic downtown and waterfront using laser scanning, photogrammetry, and imagery from a drone to produce a virtual model that will help assess and manage changes in our historic built environment and inform long-term storm surge and sea level rise. Nantucket, MA's Envision Project will serve as this project's model (<https://dcp.ufl.edu/historic-preservation/envision-heritage/envision-nantucket/>).

3. Completed Project Activities

#	Activity Description	Date Completed	Cost Value
1	Support for the Fernandina Beach Center Street 3-D Laser Scanning and Historic District Design Guidelines Update Project was obtained from Fernandina Beach State Senator Aaron Bean, the Fernandina Beach City Commission, Fernandina Beach Restoration Foundation, Fernandina Beach Main Street, and the Historic District Council	5/27/2022	

4. Operating Forecast. - (Maximum characters 500.)

Describe source(s) of funding for necessary maintenance, program support, and/or additional expenses warranted to sustain the proposed project after the grant period.

For a small city of approximately 13,000 residents, Fernandina Beach has a well-staffed Planning and Conservation Department. Additionally, the City enjoys a very active and well-educated population of corporate and academic retirees and working professionals who actively compete to be placed on the City's advisory boards, including the local Historic District Council (HDC). The HDC will ensure active use of this project's work products and both the City's Planning and Conservation staff and the Historic District Council are committed to the ongoing sustainment of this grant's work products.

F. Property Information Page 6 of 9

1. Property Ownership (for site-specific projects).

Enter name of the Property Owner and choose the appropriate owner type. If applicant is not the owner of the property, the applicant must secure Property Owner concurrence. The applicant shall provide a letter from the Property Owner that documents that the applicant has the permission of the Property Owner of record to conduct the proposed project on the owner's property and that the Property Owner is in concurrence with this application for grant funding. This letter shall be uploaded in the Support Materials section of this application. If the property for which grant funding is requested is leased by the Applicant Organization, the lease agreement must be dated, signed and submitted at the time of the application submission, with the required Owner Concurrence Letter attachment to the application.

1.1 Does your organization own the property? *

☒ Yes

☐ No

☐ Not Applicable

1.2 Property Owner

City of Fernandina Beach

1.3 Type of Ownership

☐ Non-Profit Organization

☐ Private Individual or For-Profit Entity

Note: Properties owned by private individuals or for-profit entities are not eligible for grant funding with the exception of site-specific archaeological projects that entail fieldwork being undertaken by an eligible applicant organization.

☒ Governmental Agency

2. Religious Affiliation

2.1 Is the Property Owner a religious institution or affiliated with a religious institution?

☐ Yes

☒ No

☐ Not Applicable

G. Impact Page 7 of 9

1. Annual Visitation

1.1 What is the estimated or anticipated Annual Visitation for the project property or site?

For education products, please list the estimated annual distribution, downloads, or web hits.

513,084

1.2 What is the basis of these estimates? - (Maximum characters 200.)

The Amelia Island Tourism Development Council 2022 Marketing Plan estimates that Amelia Island had 662,900 overnight visitors in 2021, with 77.4% of the tourists (513,084) naming the Historic Downtown as one of their "Top Activities Enjoyed."

2. Anticipated Economic Impact - (Maximum characters 1500.) *

Explain the direct economic impact this project will have on the surrounding community. Include any information regarding number of jobs it will provide, if known.

For many years, travel publications have ranked Amelia Island as one of best islands and beach destinations in the U.S. The Amelia Island Tourism Development Council estimated that Amelia Island's tourism generated more than \$1,027,582,200 in 2021.

The Fernandina Beach Historic District is a large draw for tourism, with over 77.4% of Amelia Island's 662,900 overnight visitors ranking the Historic District as one of the "Top Activities Enjoyed" in 2021. Astonishingly, tourists chose the Historic District higher as a "top activity enjoyed over Amelia Island's world class beaches! Recurring annual special events in the Historic Downtown draw huge crowds: May's Isle of Eight Flags Shrimp Festival attracts over 100,000 visitors; November's Pétanque Amelia Island Open attracts players from around the world; April through October, monthly free concerts occur as part of the Sounds on Centre Street series; Saturdays, the City hosts a large, pet-friendly, Farmers Market, with fresh produce, ready-to-eat offerings, and arts and crafts; Monthly, the Amelia Island Museum of History, converted from the original local jail, provides historical tours, including museum, historic district, ghost, and "Golden Era" tours and pub crawls; Each December, visitors step back in time with "Dickens on Centre Street," which transforms the downtown area into a Victorian pedestrian zone with festive lighting, local crafts, live entertainment, public tours of historic inns, and a window-decorating contest for downtown businesses.

This project will not generate directly any local jobs. However, the project will enhance and expedite future construction and restoration projects undertaken by property owners within our historic districts and help maintain the Historic District's characteristics that attract tourism and create jobs.

3. Benefit to Underrepresented Communities - (Maximum characters 1500.) *

Describe any direct benefit the project will have on underrepresented communities, such as minority groups and/or people with disabilities. If project includes media content, describe accessibility methods to be used (e.g. voice over, closed captioning, etc.)

Access to the beauty of the historic assets located in Fernandina Beach Historic District is free for all people to enjoy. The Historic District is less than 1/4 mile from a residential area of Fernandina Beach that is comprised mostly of minority demographics (Black and Hispanic). The downtown Historic District, with its multiple downtown festivals, world class restaurants and music venues, is a booming tourist and resident attraction, and employment center. The Historic District's year-round employment opportunities are within easy walking or biking distance of Fernandina Beach's largest minority demographic concentration.

The Amelia Island Tourism Development Council (AITDC) estimates that 14,925 jobs were created on Amelia Island due to tourism in 2021. Given that 12.4% of Florida's jobs are in the leisure and hospitality sector, and 21.1% of Nassau County's economy is dependent on tourism, Nassau County is 70% more dependent on tourism than Florida's economy. The AITDC finds that every 94 visitors to Amelia Island employ 1 Nassau County resident. From another perspective, AITDC estimates 30.8% of employed persons in Nassau County hold jobs supported by tourism in Amelia Island. 77.4% of Amelia Island's tourists in 2021 rated the Fernandina Beach Historic District as one of their "Top Activities Enjoyed." The bustling Historic District's array of employment opportunities are easily commuted to by residents of that nearby neighborhood historically and currently largely population by an underrepresented minority population. An additional benefit to its nearby underrepresented minority community is that the Historic District's District's large open-air Farmer's Market every Saturday provides nearby access to healthy and affordable fresh foods.

4. Educational Benefits and Public Awareness - (Maximum characters 1500.) *

Explain how the proposed project will educate the public on issues related to historic preservation, Florida history, and/or heritage preservation.

Thanks to a determined local historic preservation ethic among the city's residents and the support of DHR, Fernandina Beach visitors today can still stroll along the fifty blocks of tree-lined streets of the City's Historic Registry District to view hundreds of meticulously-maintained pre-Civil War and Victorian-era mansions, and partake of a beverage at the Palace Saloon. Visitors also can tour the city's hauntingly-beautiful Bosque Bello Cemetery. With its earliest grave going back to 1813, the cemetery is the final resting place for many of City's earliest politicians, business titans, boat captains, gun runners, magicians, law enforcement officers, nuns, writers, slave descendants, and veterans of war. In 1903, Fernandina Beach became home to the U.S.'s longest continuously-operating bar, the Palace Saloon, which was designed by Adolphus Bush, founder of Anheuser-Busch, which today retains the Saloon's inlaid mosaic floors, embossed tin ceilings, hand-carved mahogany wood carvings of undraped females, and 40-foot bar lit with gas lamps. The city has many books and walking tour documents that encourage a close study of the City's historic assets, along with a robust Amelia Island Museum of History which has monthly events. Regular contributors to the Fernandina Beach NewsLeader, Florida's first newspaper, promote public knowledge of Fernandina Beach's history. The maintenance and preservation of our beautiful, inviting historic district, with our art studios, restaurants and bars, and annual festivals all invite a study of the history behind the beautiful and well-preserved historic structures, and the Amelia Island Museum of History regularly hosts events that invite the public to learn about Fernandina Beach's remarkable history and historic structures.

H. Support Materials Page 8 of 9

1.

Non-Profit Status

Provide documentation of the applicant's active status as a Florida non-profit corporation with the Division of Corporations, Florida Department of State, which can be obtained at: <http://www.sunbiz.org> by searching the corporate name.

2.

Florida Substitute W-9 Form

Available at DFS website <https://flvendor.myfloridacfo.com>. Note that this is a state form, NOT your Federal W-9.

File Name	File Size	Uploaded On	View (opens in new window)
Fernandina W-9.pdf	33 [KB]	5/27/2022 2:04:18 PM	View file

3.

Documentation of Confirmed Match

Consult the program Guidelines for suitable documentation evidencing match (FLheritage.com/grants/)

4.

Letters of Support

Additional letters may be submitted directly to the Division but must be received one month prior to the public meeting where the applications will be reviewed and scored.

File Name	File Size	Uploaded On	View (opens in new window)
Combined LOS for 2023 Fernandina Beach Small Matching Grant.pdf	647 [KB]	6/1/2022 9:38:49 AM	View file

5.

Photographs

Photographs are used to further inform Panelists and should relate to the proposed project, depicting the associated property, site, resources, or collection in its current state. Historical images are also welcome.

File Name	File Size	Uploaded On	View (opens in new window)
Fernandina Beach Historic District Pictures 4.pdf	147027 [KB]	5/31/2022 4:21:45 PM	View file

6.

Representative Image

Upload a single representative image of the property or project to be used in the application review meeting that conveys the theme or purpose of the proposed project. For projects directed at historic properties or sites, this should be a recent image of the front of the building or site.

File Name	File Size	Uploaded On	View (opens in new window)
2022 DOS Grant Cover Image.png	6499 [KB]	5/31/2022 3:06:55 PM	View file

7.

Proposed Project Team Support Documents

Provide the curricula vitae/resumes of the proposed project team as listed in Section A.6 of the application.

File Name	File Size	Uploaded On	View (opens in new window)
City of Fernandina Beach Resumes.pdf	584 [KB]	5/31/2022 3:07:57 PM	View file

8.

Florida Historical Marker Council Support Documents (for Historical Marker Projects only)

9.

National Register Eligibility Determination Documents (for National Register Nomination Projects only)

Submit evidence of review and determination of eligibility by the Division of Historical Resources, Bureau of Historic Preservation, Survey and Registration Section.

10.

Documentation of Demonstrated Need

File Name	File Size	Uploaded On	View (opens in new window)
Threats to Fernandina Beach's Historic Resources.pdf	1001 [KB]	5/31/2022 4:42:37 PM	View file

11.

Local Protection (for Survey, Planning and National Register Nominations Projects only)

Provide copies of any documents that provide local protection of the project site

File Name	File Size	Uploaded On	View (opens in new window)
Final Downtown Design Guidelines_with links_111913 AS APPROVED BY CC_20151125.pdf	10020 [KB]	5/31/2022 4:25:10 PM	View file

12.

Owner Concurrence Letter (for site-specific projects only)

Provide a letter that documents that the applicant has the permission of the owner of record (if the Property Owner is not the applicant) to conduct the proposed project on the owner's property, that the owner is in concurrence with this application for grant funding, and documentation that the owner is a non-profit organization or agency of government. If the property for which grant funding is requested is leased by the Applicant Organization, the lease agreement must be dated, signed and submitted at the time of the application submission, with the required Owner Concurrence Letter. Note that, for other than site-specific archaeological projects that entail fieldwork being undertaken by an eligible applicant, the owner must be a Non-profit Organization or agency of government.

13. Optional Materials

Applicants may attach materials not specifically requested by the Division that support the application.

File	Title	Description	Size	Type	View (opens in new window)
2022-89 Authorizes Grant Application Florida Department of State Division of Historical Resources to Update Downtown Design Guidelines.pdf	Fernandina Beach City Commission Resolution Authorizing FY 2023 Small Matching Grant Application		162 [KB]		View file
Centre St. Fernandina Historic District 1976 Brochure.pdf	Center Street, Fernandina Historic District Brochure 1976 by Helen Gordon Litrico	This book, written by renowned local author and historian Helen Gordon Litrico contains history of Fernandina Beach and a walking tour showing how homes in the historic district looked in 1976.	5315 [KB]		View file
Centre Street Redevelopment Project Plans and Drawings March 1977.pdf	Center Street Redevelopment Plans 1977 That Restored Downtown	In the 1970s, Local historic preservation activists work with the City, State and Federal governments to secure funding that allowed Fernandina Beach's historic downtown to be restored.	254742 [KB]		View file
Master Site File NA00089 Extension to Historic District.pdf	National Register April 1987 Historic District Extension Master File NA00089	National Register NA00089 has extensive photos of historic structures in historic district.	98600 [KB]		View file
Fernandina Beach Land Development Codes Historic Districts and the Amelia River Waterfront CRA.pdf	Fernandina Beach Land Development Code Chapt 8 Historic District and Waterfront CRA	Document declares that the FB City Commission proclaims as a matter of public policy that protection, enhancement, perpetuation and use of sites of aesthetic, archaeological, architectural, cultural, historical and paleontological merit or value is in the interests of the health, prosperity, safety and welfare of the people of Fernandina Beach.	586 [KB]		View file
6.1.22 City-Owned Historic Asset Inventory with Historic Districts Assets Highlighted.docx	City-Owned Historic Asset List	City-Owned Historic Asset List with those located in Historic District highlighted	49746 [KB]		View file

File	Title	Description	Size	Type	View (opens in new window)
Priority Zones for 3-D Scanning in Fernandina Beach Historic District.jpg	Priority Zones for Phases of 3-D Scanning in Historic District	Shows the 3 top priority areas for 3-D Scanning in Fernandina Beach Historic District	192 [KB]		View file
Priority Zones for 3-D Scanning in Fernandina Beach Historic District.jpg	Priority Zones for Phases of 3-D Scanning in Historic District	Shows the 3 top priority areas for 3-D Scanning in Fernandina Beach Historic District	192 [KB]		View file

I. Review and Submit Page 9 of 9

1. Review and Submit

☐ I hereby certify that I am authorized to submit this application on behalf of City of Fernandina Beach and that all information indicated is true and accurate. I acknowledge that my electronic signature below shall have the same legal effect as my written signature. I am aware that making a false statement or representation to the Department of State constitutes a third degree felony as provided for in s. 817.155, F.S., punishable as provided for by ss. 775.082, 775.083, and 775.084.

1.1 Guidelines Certification

☐ I hereby certify that I have read and understand the guidelines and all application requirements for this grant program as outlined under section , Florida Statutes 1A-39.001 and 1A-39.001, Florida Administrative Code.

1.2 Signature (Enter first and last name)

