



**AGENDA
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
MAY 23, 2024
10:00 AM
CITY HALL COMMISSION CHAMBERS
204 ASH STREET
FERNANDINA BEACH, FL 32034**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**
 - 4.1 Approval of Minutes of the Regular Meeting of January 25, 2024.
- 5. DISCUSSION ITEMS**
- 6. NEW BUSINESS**
 - 6.1 TRC-2024-0003 - GILLETTE & ASSOCIATES, INC., AGENT FOR NASSAU COUNTY MENTAL HEALTH (STARTING POINT BEHAVIORAL HEALTHCARE), PT OF LOT 4, S. 14TH STREET
Site Plan Review for a 3,645 sf commercial building
- 7. COMMITTEE BUSINESS**
- 8. ADJOURNMENT**

NEXT REGULAR TRC MEETING IS SCHEDULED FOR JUNE 27, 2024

Persons with disabilities requiring accommodations in order to participate in this program or activity should contact 310-3115, TTY 711, or through the Florida Relay Services at 1-800-955-8771 (TTY number for all City offices) at least 24 hours in advance to request such accommodations.



**MINUTES
TECHNICAL REVIEW COMMITTEE
REGULAR MEETING
JANUARY 25, 2024
10:00 AM
CITY HALL COMMISSION CHAMBERS**

- 1. CALL TO ORDER 10:00 AM**
- 2. ROLL CALL**

MEMBERS PRESENT:

David Neville (Arborist/Urban Forester)	Walter Gray (Utilities)
Victoria Guadagnino (Stormwater/Street/Utilities)	Jake Platt (Building)
Jason Higginbotham (Fire)	Andrew Desilet (Utilities)
Taylor Hartmann (Planning)	Charlie George (Community Services)

MEMBERS ABSENT:

Michelle Forstrom (Code Enforcement) (Joined in at 10:35)

OTHERS PRESENT:

Sylvie McCann, Recording Secretary

- 3. PLEDGE OF ALLEGIANCE**
- 4. APPROVAL OF MINUTES**

4.1 Approval of Minutes for the Regular Meeting of December 28, 2023.

ACTION TAKEN: A motion was made by Member Guadagnino, seconded by Member Higginbotham, to approve the Minutes for the Regular Meeting of December 28, 2024, as presented.

Vote upon passage of the motion was taken by voice vote, and being all ayes carried.

- 5. NEW BUSINESS**

5.1 TRC 2024-0001 - GULFSTREAM DESIGN GROUP, LLC, AGENT FOR THE CROSSINGS AT AMELIA LLC, 231 N FRONT STREET

Site Plan Review for 19-units hotel with sales office, associated parking + storm water facilities.

Agents for the owner were present. They briefly explained the scope of the project.

Member Neville commented about increasing the number of shade trees with 3 additional.

Member Platt commented about the minimum free board measurements and how that revision to their design plan should be added to show an increase in the elevation on the lower unit.

Member George inquired about the foundation materials.

Chair Hartmann asked about an available bike rack and the applicant noted it is on the plan. She also asked

DRAFT

about proposed signage. The applicant answered that there will be a monument sign and a wall sign. Ms. Hartmann asked that the dimensions of signs be identified on plans. She then commented ask for confirmation of the height of the structures and that it be added on the site plans, and noted the maximum height being 45 feet. It was confirmed that final HDC approval has been issued and will be documented within the LDO document.

Member Higginbotham asked about the fire back flow and fire alarm wiring. He then spoke of address assignments and proposed an address of 111 Broome Street. He also mentioned that the occupancy type should be designated as "Hotel".

Member Guadagnino commented on cut and fill detail and asked for details on infiltration system. She then noted that the lift station will be privately owned and maintained.

Chair Hartmann added comments about locations of bins or dumpsters. The applicant noted that there would be no dumpster but individual roll out bins. Chair Hartmann asked that the location of the storage be identified. She also provided code signage in the LDC Section 8.01.03.

Member Platt added that architectural plans will need to be certified for flood resistant design and construction. Chair Hartmann noted that corrections can be re-submitted electronically and that contact information and comments will be shared with the applicant.

5.2 **TRC 2023-0042 - GILLETTE & ASSOCIATES, INC., AGENT FOR SPURGEON RICHARDSON** Site Plan Review for mixed-use structure with 33 residential units and commercial office space.

Present were Spurgeon Richardson, owner, Steven Papke, architect, and Asa Gillette, agent for the owner. Mr. Gillette presented the scope of the project. He noted that it was originally 34 units but was reduced to 33 units.

Member Neville noted that 1 additional shade tree should be added.

Member Platt had no comments.

Member George asked for documentation regarding the removal of old gas tanks. Mr. Gillette will provide the documentation.

Chair Hartmann commented on bike rack, signage, and off-street loading space which must be contained within the building site, as per LDC Section 7.01.06(A)(4). She also inquired about access to the dumpsters, proper clearance for overhead for utilities, sidewalk details, and density calculations.

Member Higginbotham had no comments aside from address assignments. The applicant will submit an address scheme list.

Member Guadagnino, asked for clarification regarding plans showing Type E inlet vs chamber system, she spoke of water meter sizes and sewer service laterals. The recommendation was for a new line leading to a new manhole. Member Desilet confirmed that he would provide necessary elevation.

At this time, Member Forstrom joined the meeting, at 10:35 a.m.

Chair Hartmann commented about the driveway width and asked for clarification on the dimensions including the flares.

Member Higginbotham brought up the location of the back flow preventer and the required FDC connection.

A first re-submittal should be provided.

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6. COMMITTEE BUSINESS

Chair Hartmann noted that a 3rd round of comments for the Zaxby projects has been routed and if there were any final comments to communicate them so we can issue a final LDO before the next meeting.

7. ADJOURNMENT 10:39

Taylor Hartmann, Chair

Print

Technical Review Committee: Application - Submission #13702

Date Submitted: 4/9/2024

Technical Review Committee: Application

USE THIS FORM TO To apply for review of site plans, preliminary subdivision plats, final subdivision plats, minor subdivisions, and amendments to previously issued local development orders, change of use, and nonresidential building expansions.

Fees



Initial submittal + two resubmittals of full site plans. \$400 + 2% of the project construction cost (whichever is greater) for up to a maximum of \$4,400.



3rd and subsequent resubmittals. 1/2 of original application fees



Engineering Review (Consultant Hourly Rate)

2024 Meeting Calendar



TRC 2024

In observance of Thanksgiving on November 24, the TRC Regular Meeting is moved up to November 17.

IMPORTANT NOTES

This application will be routed to the various departments for review of the applicable codes and design standards.

****Please note that, unless otherwise indicated, the TRC meetings are scheduled as the following:**

TRC Applications are reviewed at 10:00 AM on the 4th Thursdays of each month in City Hall Chambers (204 Ash Street).**

Please see the Land Development Code (LDC) for detailed information:

- ☐ Requirements for All Site Plans – see LDC section 11.01.04
- ☐ Requirements for Subdivision Plats – see LDC section 11.01.05
- ☐ Determination for Completeness & sufficiency – see LDC section 11.03.01
- ☐ Review and Compliance Report by the Technical Review Committee – see LDC Section 11.03.02
- ☐ Construction and Improvements – see LDC section 11.05.00
- ☐ Amendments to Local Development Orders – see LDC section 11.06.00

The LDC is available for review at

www.fbf.us/LDC

Application Requirements

- ☐ See Development Plan Submittal Checklist
- ☐ All applications are subject to a determination of completeness as required by Land Development Code section 11.03.01.
- ☐ A determination of completeness is a determination that all required documents and plans have been submitted, and whether all fees have been paid.
- ☐ A determination of completeness is not a determination of compliance with substantive standards and criteria.

Key Contacts

TRC will guide your application from start to finish, engaging other City departments as needed.

 **TRC Departments**
Graphic

PROJECT INFORMATION

Submission Type* ▼***NOTICE***

3rd and all subsequent resubmittals will be charged a fee of 1/2 the original application fees.

DATE OF YOUR FIRST STEP MEETING (if you have not attended a First Step Meeting , return to the application page and choose the TRC First Step meeting application)*

Case Number (if applicable)*

PROPERTY INFORMATION

[Property information can be found at the Nassau County Property Appraiser's Website → Map Search](#)

Site Address***City*****State*****Zip*****Parcel ID #(s)****Lot****Block****Subdivision****Zoning District** ▼**Future Land Use Designation*** ▼**Overlay District*** ▼**Size of Property (acres)*****Present Property Use*****Wetlands*** ▼**Flood Zone*** ▼**Coastal Construction Control Line (CCCL)*** ▼

OWNER OF RECORD

As recorded with the Nassau County Property Appraiser

First Name*

John

Last Name*

Mosley

Company (if applicable)

Nassau County Mental Health, Alcoholism and Drug Abuse Council, Inc.

Mailing Address*

1541 South 14th Street

City*

Fernandina Beach

State*

Florida

Zip*

32034

Telephone Number*

904-225-8280

Email Address*

jmosley@spbh.org

OWNER'S AGENT

If other than owner. If an agent will be representing the owner, an Owner's Authorization For Agent Representation form must be included

First Name

Asa

Last Name

Gillette

Company (if applicable)

Gillette & Associates, Inc.

Mailing Address

31 South 4th Street, Suite 1

City

Fernandina Beach

State

Florida

Zip

32034

Telephone Number

9042618819

Email Address

tricia@gilletteassociates.com

PROJECT INFORMATION

Project Type*

Site Plan Review



Project Name

Starting Point Behavioral Healthcare

Proposed Access Road*

South 14th Street

Rd Maintenance Jurisdiction*

County Maintained



Project Estimated Cost*

350,000

Description of Request*

3,645 sf professional office

Site Plan Review Checklist



The names, address, telephone number, and email address of the person preparing the plan.



The date of preparation and date(s) of any modifications, a north arrow, and a written and graphic scale.



The legal description of the property, consistent with the required survey.



A vicinity map showing the location of the property.



The location of streams, bodies of water, natural features, roads, rights-of-way, street intersections, and paved areas within the boundaries of the property.



The location of streams, bodies of water, dunes and dune systems, and other natural features within 250 feet of the boundaries of the property.



The location of the mean high-water line, if such line is within the boundaries of the property.



A topographic survey, soils report, grading plan, and an erosion control plan.



A general floodplain map indicating areas subject to inundation and high groundwater levels up to a 100-year flood classification.



A statement indicating the distances to schools and public safety facilities intended to serve the proposed development.



The name, plat book, and page number of any recorded subdivision comprising all or part of the site.



The location and use of any existing and proposed principal or accessory buildings and structures, showing proposed setbacks, building heights, and other dimensional requirements of the zoning district.



Elevations of all proposed structures.



The access points, driveway design, on-site parking, including required parking lot landscaping, internal circulation, sidewalks, and bicycle facilities



The location of existing and proposed utilities, utility services, and easements.



A tree survey showing protected trees, proposed replacement trees, if required, and landscaping and buffering. (See Section 4.05.00.)



A soil erosion and sediment control plan compliant with Section 3.01.04.



For a PUD site plan, a detailed, written list and explanation of how the proposed PUD differs from any provision of this LDC applicable to the underlying zoning district.

provision of the LDC applicable to the underlying zoning district.

School Concurrency

For site plans and PUD site plans where development is proposed in phases, the plans shall include phase lines and the following supporting information:

Non-residential development is required to demonstrate compliance with school concurrency as regulated in the City of Fernandina Beach through the City of Fernandina Beach's Comprehensive Plan Intergovernmental Coordination Element and the Interlocal Agreement Amendment for Public School Facility Planning adopted by the City on May 21, 2019. No new residential rezoning, preliminary plat, site plan or functional equivalent may be approved by the City unless the residential development is exempt from requirements outlined in Section 9.13 of the Amended Interlocal Agreement OR a School Concurrency Reservation Letter has been issued by the School Board indicating that adequate school facilities exist.

Certification*

A summary block containing:

- ☒ Land use category from the Future Land Use Map in the comprehensive plan;
- ☐ By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application.
- ☒ Zoning district;
- ☐ I acknowledge that I understand and have complied with all of the submittal requirements and procedures.
- ☐ Total acreage;
- ☐ Total square footage for non-residential uses;

Applicant First Name*

Applicant Last Name*

Asa

Gillette

Today's Date*

Upload Supporting Documentation*

4/9/2024

SPBH TRC Site 040824.pdf

Upload 2

Upload 3

Starting Point Drainage Report_040824.pdf

agent auth.pdf

Upload 4

Upload 5

deed.pdf

sunbiz listing.pdf

Upload 6

Upload 7

Choose Concurrently
7.04.00.)

Choose Concurrently
The information set forth in Section

City of FB logo

NEW Reflex

Parking studies (requirements for parking studies are set forth in Section 7.01.04.)

Stormwater management plans (requirements for stormwater management plans are set forth in Section 7.03.00.)

DEPARTMENT OF PLANNING & CONSERVATION

o Environmental Impact Study (requirements for environmental impact studies are set forth by regional, State, and federal agencies with jurisdiction and in Chapter 3 of the LDC.)

204 Ash Street | Fernandina Beach, FL 32034 | 904 310-3480 |

www.fbfl.us/planning

o Tree Protection Plan (Section 4.05.09.)

o Landscape Plan (Section 4.05.00.)

o Lighting Plan (Section 3.05.00.), Section 7.01.04.B)

o Signage Plan (Section 5.03.00.)

o Proof of Ownership – provide a legal description, Property Identification Number (PIN) and a copy of the warranty deed.

Concurrency analysis reports shall contain the information set forth in Section 7.04.00. Requirements for traffic analysis reports are set forth in Section 11.01.06. Requirements for parking studies

• Any development application for development proposed within the Airport Overlay Zone established for the Fernandina Beach Municipal Airport shall provide confirmation of notification to the FAA as r



Civil & Environmental Engineering • Mechanical & Structural Engineering • Construction Management

AGENT AUTHORIZATION

I, John Mosley, CFO of Nassau County Mental Health, Alcoholism and Drug Abuse Council, Inc., the owner the following property(s) do hereby authorize, Gillette & Associates, Inc. to act as my Agent in conjunction with all site plan applications and any other Local, State and/or Federal development permits necessary for development of the following property, without any further notice.

Property Id Number(s): 00-00-30-0800-0004-0020

Location: 1541 South 14th Street, Fernandina Beach

[Signature] 4-3-2024 904 225 8280
Signature Date Telephone Number

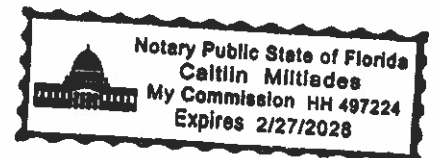
STATE OF FLORIDA
COUNTY OF Nassau

Subscribed and sworn to before me this 3 day of April,
2024.

Who is personally known to me ☒ or has produced identification

Caitlin Miltiades Caitlin Miltiades
Notary Public: Signature Printed Name

My Commission Expires: 2/27/2028



Prepared by and return to:

Eric Eppley
Pro-Tech Title & Trust LLC
1541 South 14th Street
Fernandina Beach, FL 32034
(904) 718-8534
File No 2022-306

Parcel Identification No 00-00-30-0800-0004-0020

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 30th day of June, 2022 between Eric Eppley and Angel Eppley, a married couple, whose post office address is 97077 Chester River Road, Yulee, FL 32097, of the County of Nassau, State of Florida, Grantors, to Nassau County Mental Health, Alcoholism and Drug Abuse Council, Inc. (Starting Point Behavioral Healthcare, Inc.) Inc., a Florida Corporation, whose post office address is 1541 South 14th Street, Fernandina Beach, FL 32034, of the County of Nassau, State of Florida, Grantee:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Nassau, Florida, to-wit:

Being also the lands described in the Deed Recorded in the Public Records of Nassau County, Florida, in Official Records Book 746, Pages 1718-1720 and also a portion of the lands described in Deed Recorded in the aforesaid Public Records in Official Records Book 833, Pages 424 and 425. Said Parcel being more particularly described as follows: For a Point of Reference, commence at a point where the Southerly right of way line of Nectarine Street (a 60.0 foot right of way) is intersected by the Westerly right of way line of South Fourteenth Street (a 100.0 foot right of way) and run South 07 degrees 30 minutes 00 seconds West along said Westerly right of way, a distance of 553.76 feet to a 1/2 inch iron rod and cap no. 1558 found at the Northeast corner of lands described in Official Records Book 746, Pages 1718, 1719 and 1720 aforesaid, for the Point of Beginning. From the Point of Beginning thus described continue South 07 degrees 30 minutes 00 seconds West along the Westerly right of way line of South Fourteenth Street aforesaid being also the Easterly line of lands described in Official Records Book 746, Pages 1718, 1719 and 1720 and Official Records Book 833, Pages 424 and 425 aforesaid, a distance of 120.0 feet to a 1/2 inch iron pipe and cap "FL. 3718" & "GA. 2365" found at the Northeast corner of lands described in Deed Recorded in the Public Records of Nassau County, Florida in Official Records Book 852, Pages 1264 and 1265, thence North 89 degrees 56 minutes 55 seconds West along the Northerly line of lands described in Official Records Book 852, Pages 1264 and 1265 a distance of 232.12 feet to a 5/8 inch iron rod and cap "LB 7039" set on the Westerly line of lands described in Official Records Book 833, Pages 424 and 425 aforesaid; thence North 07 degrees 30 minutes 00 seconds East along the Westerly line of said lands and along the Westerly line of lands described in Official Records Book 746, Pages 1718, 1719 and 1720 aforesaid and along the Northerly extension of said Westerly line, a distance of 120.0 feet to a set 5/8 inch iron rod and cap "LB 7039", thence South 89 degrees 56 minutes 55 seconds East, a distance of 232.12 feet to the Point of Beginning.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2022 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Callie Blackwell
WITNESS
PRINT NAME: Callie Blackwell

Sonya L. Cooley
WITNESS
PRINT NAME: Sonya L. Cooley

Eric Eppley

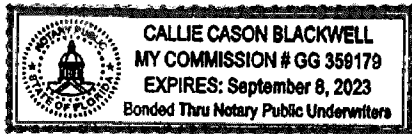
Angel Eppley

STATE OF FLORIDA
COUNTY OF NASSAU

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization this 30th day of June, 2022, by Eric Eppley and Angel Eppley.

Callie Blackwell
Signature of Notary Public
Print, Type/Stamp Name of Notary

Personally Known: ☒ OR Produced Identification: _____
Type of Identification
Produced: _____





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation

NASSAU COUNTY MENTAL HEALTH, ALCOHOLISM AND DRUG ABUSE COUNCIL, INC.

Filing Information

Document Number	N14695
FEI/EIN Number	59-3029469
Date Filed	04/21/1986
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	01/17/1992

Principal Address

463142 SR 200
YULEE, FL 32097

Changed: 02/27/2008

Mailing Address

463142 SR 200
YULEE, FL 32097

Changed: 02/27/2008

Registered Agent Name & Address

PAGEL, LAUREEN
463142 SR 200
YULEE, FL 32097

Name Changed: 10/15/2008

Address Changed: 02/27/2008

Officer/Director Detail

Name & Address

Title VPD

Schneider, Damon
323 Osprey Circle
St. Marys, GA 31558

Title PD

McCutchen, Byron
1915 Sunrise Drive
fernandina beach, FL 32034

Title Secretary

Killen, Marsha
70 Oakwood Road
Jacksonville, FL 32250

Title Treasurer

Blackall, Gary
862067 North Hampton Club Way
Fernandina Beach, FL 32034

Title CEO

Pagel, Laureen
3002 Riverside Drive
Fernandina Beach, FL 32034

Title CFO

Mosley, John
11409 Oaklawn Road
Jacksonville, FL 32218

Annual Reports

Report Year	Filed Date
2022	02/01/2022
2023	07/12/2023
2024	03/07/2024

Document Images

03/07/2024 -- ANNUAL REPORT	View image in PDF format
07/12/2023 -- ANNUAL REPORT	View image in PDF format
02/01/2022 -- ANNUAL REPORT	View image in PDF format
02/01/2021 -- ANNUAL REPORT	View image in PDF format
01/28/2020 -- ANNUAL REPORT	View image in PDF format
04/24/2019 -- ANNUAL REPORT	View image in PDF format
02/20/2018 -- ANNUAL REPORT	View image in PDF format
01/10/2017 -- ANNUAL REPORT	View image in PDF format
10/10/2016 -- AMENDED ANNUAL REPORT	View image in PDF format
03/28/2016 -- ANNUAL REPORT	View image in PDF format
01/27/2015 -- ANNUAL REPORT	View image in PDF format

07/24/2014 -- AMENDED ANNUAL REPORT	View image in PDF format
01/13/2014 -- ANNUAL REPORT	View image in PDF format
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01/05/2012 -- ANNUAL REPORT	View image in PDF format
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01/06/2010 -- ANNUAL REPORT	View image in PDF format
04/28/2009 -- ANNUAL REPORT	View image in PDF format
10/15/2008 -- Reg. Agent Change	View image in PDF format
02/27/2008 -- ANNUAL REPORT	View image in PDF format
01/05/2007 -- ANNUAL REPORT	View image in PDF format
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01/12/2005 -- ANNUAL REPORT	View image in PDF format
08/19/2004 -- ANNUAL REPORT	View image in PDF format
02/03/2003 -- ANNUAL REPORT	View image in PDF format
03/05/2002 -- ANNUAL REPORT	View image in PDF format
03/20/2001 -- ANNUAL REPORT	View image in PDF format
03/04/2000 -- ANNUAL REPORT	View image in PDF format
02/22/1999 -- ANNUAL REPORT	View image in PDF format
07/16/1998 -- ANNUAL REPORT	View image in PDF format
06/18/1997 -- ANNUAL REPORT	View image in PDF format
05/21/1996 -- ANNUAL REPORT	View image in PDF format
03/10/1995 -- ANNUAL REPORT	View image in PDF format

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL	
ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	

REV	DATE	ITEM
A	03/04/24	FIRST START (TRC PRE-APP) SUBMITTAL
B	04/08/24	TRC SUBMITTAL #1

GILLETTE & ASSOCIATES, INC.
CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. • FL PE NO. 56177
31 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * www.gillettedassociates.com

STARTING POINT
PROFESSIONAL OFFICES
1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

DATE: 04/08/24
SCALE: 1"=20'
DRAWING IS REDUCED IF LESS THAN 22" x 34"

COVER SHEET

North / Elev Key Sheet

N

W

E

S

CVR

Page 1 of 8

ENGINEERING PLANS

FOR

NEW BUILDING

FOR

STARTING POINT BEHAVIORAL HEALTHCARE

NEW BUILDING

FOR

STARTING POINT BEHAVIORAL HEALTHCARE

RELEASED FOR CONSTRUCTION BY

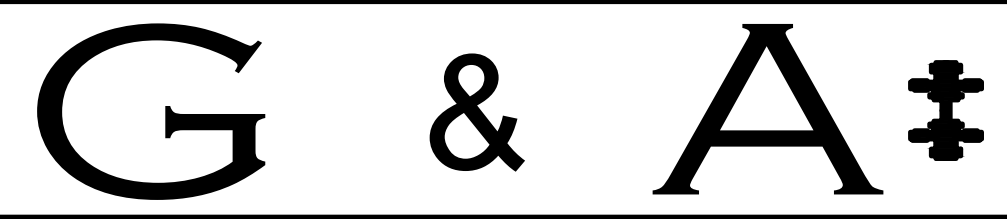
GILLETTE & ASSOCIATES, INC.

CIVIL & ENVIRONMENTAL ENGINEERING
MECHANICAL & STRUCTURAL ENGINEERING
PERMITTING & CONSTRUCTION MANAGEMENT

31 SOUTH 4TH STREET AMELIA ISLAND, FLORIDA 32034
PHONE: 904/261-8819

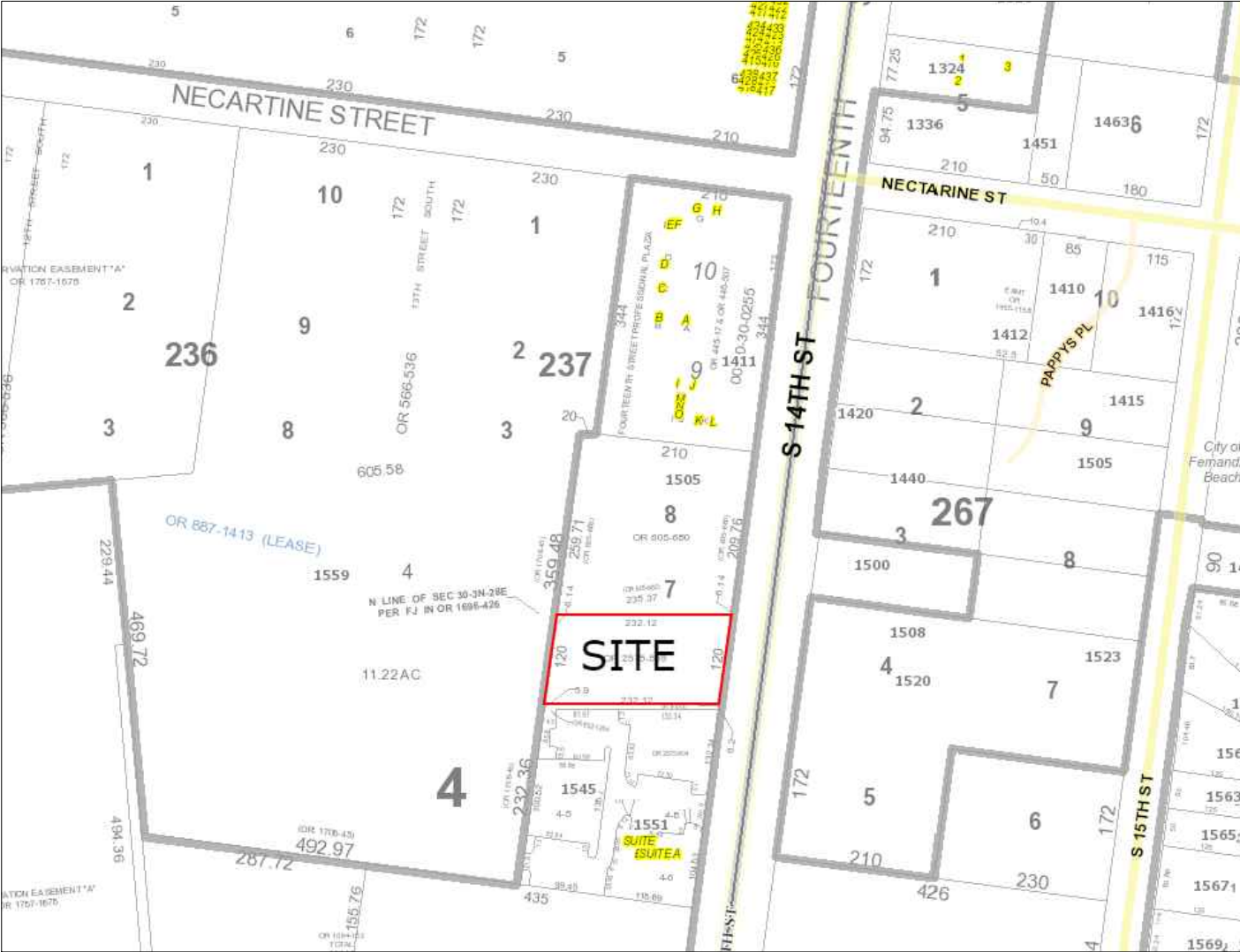
PERMITTING AGENCIES:

CITY OF FERNANDINA BEACH
ST.JOHNS RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



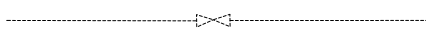
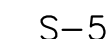
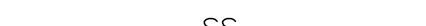
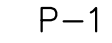
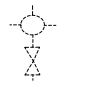
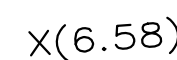
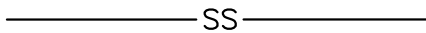
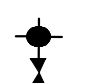
ISSUE DATE: APRIL 8, 2024

SITE LOCATION MAP



G&A Project
No.: XX-XX-XX

GENERAL NOTES			INDEX			
SITE / GEOMETRY		WATER NOTES		PAGE #	SHEET	DESCRIPTION
1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 3. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER. 4. ELEVATIONS ARE BASED ON NAVD DATUM OF 1988. 5. TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: MANZIE & DRAKE LAND SURVEYING, INC. (904-491-5700). 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED AND INSURANCE REQUIRED FOR THE PROJECT. 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY, COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR. 8. THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. 9. "AS-BUILT" DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS. 10. "AS-BUILT" RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER. 11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT. 12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS. 13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER. 14. ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED. 15. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT. 16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE. 17A. UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF IT'S MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557). 17B. ALL FINISH FLOORS SHOWN ON THE PLANS ARE MINIMUM ELEVATIONS 18. ALL WATER & SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.	19. WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. 20. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER. 21. WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER. 22. NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE. 23. TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE #10 UF SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. COATING SHALL BE BLUE FOR WATER AND GREEN FOR SEWER MAIN CONNECTIONS. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT. 24. ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS, ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS. 25. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT. 26. GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED. 27. SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. 28. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED. ALL DISTURBED AREAS WITHIN THE NASSAU COUNTY RIGHT OF WAY SHALL BE COVERED WITH BERMUDA SOD. 29. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION. 30. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND COUNTY/CITY BEFORE COMMENCING WORK. 31. MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED. 32. ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. 33. IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF STANDARD DETAILS AND SPECIFICATIONS FROM NASSAU COUNTY. 34. BACKFILL MATERIAL SHALL BE COMPACTED TO 100% (2%) PER CITY OF FB REQUIREMENTS UNDER EXISTING AND PROPOSED ROADWAYS. 35. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER. 36. STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION 37. ALL CONSTRUCTION, MATERIAL, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY OF FB AND COUNTY STANDARDS	1	CVR	COVER SHEET		
		2	IN-1	INDEX SHEET		
		3	PRE-1	PREDEVELOPMENT PLAN		
		4	GE-1	GEOMETRY PLAN		
		5	UT-1	UTILITY PLAN		
		6	DR-1	DRAINAGE PLAN		
		7	LS-1	LANDSCAPE PLAN		
		9	DT-1	MISC. DETAILS		
		FIRE NOTES				
1. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. (NFPA 1, 16.4.3.1.3, 2009 EDITION)						
2. CLEARANCES OF SEVEN AND ONE HALF FEET (7 FT-6 IN.) IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT, WITH A FOUR FOOT CLEARANCE TO THE REAR OF THE HYDRANT. (NFPA 1, 18.3.4.1, 2009)						
3. NEW FIRE HYDRANT(S) SHALL BE INSTALLED SO THAT POSITIONED NOT MORE THAN 7 FEET 6 INCHES AWAY FROM CURB OR BERM OF THE ROADWAY.						

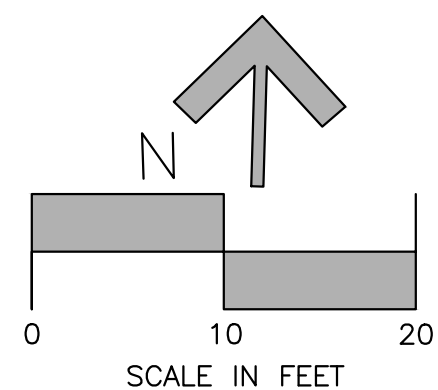
LEGEND		SEWER NOTES	
	EXISTING VALVE		PROPOSED SPOT ELEVATION
	EXISTING WATER LINE		DRAINAGE STRUCTURE
	EXISTING SANITARY SEWER		PIPE
	EXISTING FIRE HYDRANT		EXISTING SPOT ELEVATION
	PROPOSED SANITARY SEWER		
	PROPOSED WATER LINE		
	PROPOSED FIRE HYDRANT		
	EXISTING EDGE OF PAVEMENT		
	EXISTING PROPERTY LINE		

REGISTERED DESIGN PROFESSIONAL RECVDATEITEM A03/04/24FIRST START (TRC PRE-APP) SUBMITTAL B04/08/24TRC SUBMITTAL #1 ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	GILLETTE & ASSOCIATES, INC. CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING CERTIFICATE OF AUTHORIZATION NO. 9332 ASA R. GILLETTE, P.E. • FL. PE. NO. 56177 31 S. 4th STREET * FERNANDINA BEACH, FL 32034 PHONE: 904-261-8819 * www.gilletteassociates.com	STARTING POINT PROFESSIONAL OFFICES 1541 S. 14TH STREET FERNANDINA BEACH, FLORIDA	
			DATE: 04/08/24
			SCALE: 1"=20'
			DRAWING IS REDUCED IF LESS THAN 22" x 34"
			INDEX SHEET
			North / Elev Key Sheet
			IN-1
			Page 2 of 8

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177

PERMIT REVIEW ONLY – NOT FOR CONSTRUCTION



LEGEND

CONCRETE



ASPHALT

PROPERTY INFORMATION:

- PID#: 00-00-30-0800-0004-0020
- ACREAGE: 0.64 ACRES (27,619 SF)
- LOCATION: FERNANDINA BEACH, FL
- FLOOD ZONE: X
- ZONING: C-2
- FUTURE LAND USE: GENERAL COMMERCIAL
- PROPOSED USE: PROFESSIONAL OFFICE

SETBACK REQUIREMENTS:

- FRONT: 0 FEET
- REAR: 0 FEET
- SIDES: 0

UTILITIES:

- WATER: CITY OF FERNANDINA BEACH
- SEWER: CITY OF FERNANDINA BEACH
- POWER: FLORIDA PUBLIC UTILITIES

DEVELOPMENT REQUIREMENTS:

– MAX FLOOR AREA RATIO: 1

- MAX BUILDING HEIGHT: 45-FT
- MAX IMPERVIOUS AREA: 60.0% (16,571 SF)

PIN: 00-00-31-1800-0237-0071
USE: VEHICLE REPAIR
ZONING: C-2
FLUM: GENERAL COMMERCIAL

- PROPERTY BOUNDARY
LINE (TYP)

EXIST. POLE LIGHT TO
REMAIN (2PL TYP)

EDGE OF
ROAD (TYP)

DEMO PORTION OF
EXISTING CURB

TEMP. GRAVEL CONSTR
ENTRANCE. TO BE PAVED D

EXIST. OVERHEAD
POWERLINES (TYP)

SOUTH FOURTEENTH STREET
(100' RIGHT-OF-WAY)

GILLETTE & ASSOCIATES, INC.

CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING

CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. * FL. PE NO. 56177

31 S. 4th STREET * FERNANDINA BEACH, FL 32034

PHONE: 904-261-8819 * www.gilletteassociates.com

STARTING POINT PROFESSIONAL OFFICES

1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

DATE: 04/08/24

SCALE: 1"=20'

DRAWING IS REDUCED IF LESS
THAN 22" x 34"

PREDEVELOPED
SITE PLAN

North / Elev Key	Sheet
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PRE-1

Page 3 of 8

ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

PROPERTY INFORMATION:

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- ACREAGE: 0.64 ACRES (27,619 SF)
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- MAX BUILDING HEIGHT: 45-FT
- MAX IMPERVIOUS AREA: 60.0% (16,571 SF)

DEVELOPMENT REQUIREMENTS (CONT.):

- PROPOSED FLOOR AREA RATIO: 26.4% (7,290 SF)
- PROPOSED BUILDING HEIGHT: 25-FT±
- PROPOSED IMPERVIOUS AREA: 55.8% (15,417 SF)

ASPHALT = 9,591 SF
CONCRETE = 2,181 SF
BUILDING = 3,645 SF

- TOTAL PERVIOUS AREA: 12,202 SF

- TOTAL BUILDING AREA: 7,290 SF

PARKING REQUIREMENTS:

- PROFESSIONAL OFFICE:

$$\frac{1 \text{ SPACE PER } 300 \text{ SF}}{(7,290 \text{ SF}) / (300 \text{ SF/SP})} = 25 \text{ SPOTS REQ'D}$$

PARKING PROVIDED = 26 SPOTS

PARKING NOTES:

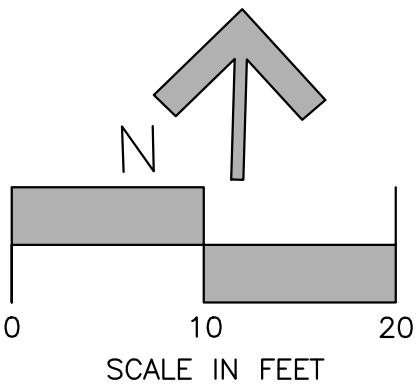
- EACH TYPICAL PARKING SPOT IS 9' WIDE X 18' DEEP
- EACH ADA PARKING SPOT IS 12' WIDE X 18' DEEP

FIRE NOTES:

- EXISTING HYDRANT LOCATED ON 14TH STREET,
90- FEET EAST OF THE FRONT PROPERTY LINE

PIN: 00-00-31-1800-0237-0071
USE: VEHICLE REPAIR
ZONING: C-2
FLUM: GENERAL COMMERCIAL

PERMIT REVIEW ONLY - NOT FOR CONSTRUCTION



LEGEND



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REGISTERED DESIGN PROFESSIONAL
ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

REV	DATE	ITEM
A	03/04/24	FIRST START (TRC PRE-APP), SUBMITTAL
B	04/08/24	TRC SUBMITTAL #1

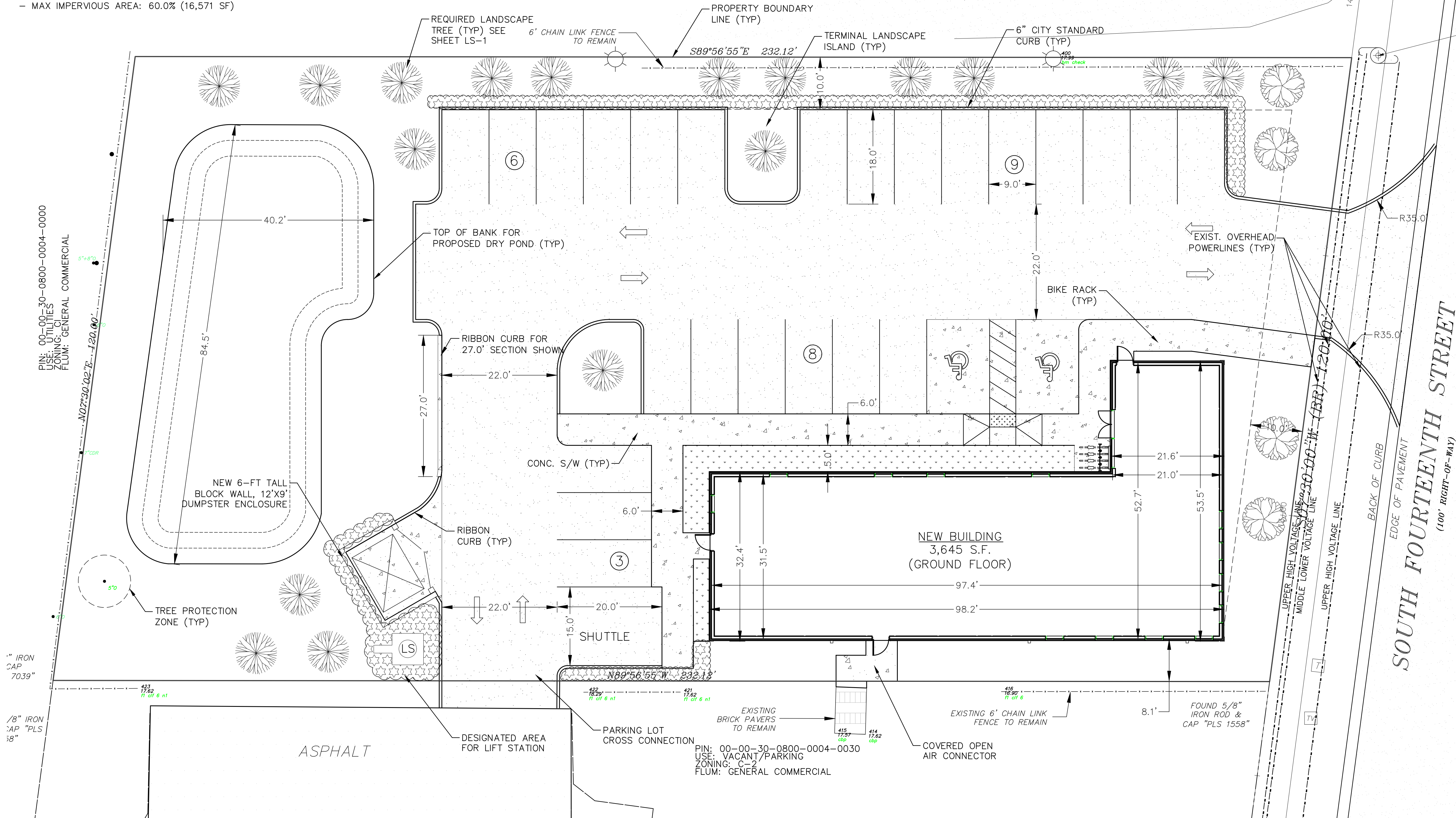
GILLETTE & ASSOCIATES, INC.
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PHONE: 904-261-8819 * www.gilletteassociates.com

STARTING POINT
PROFESSIONAL OFFICES
1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

DATE: 04/08/24
SCALE: 1"=20'
DRAWING IS REDUCED IF LESS
THAN 22" x 34"

GEOMETRY
SITE PLAN

North / Elev Key Sheet
GE-1
Page 4 of 8



PROPERTY INFORMATION:

- PID#: 00-00-30-0800-0004-0020
- ACREAGE: 0.64 ACRES (27,619 SF)
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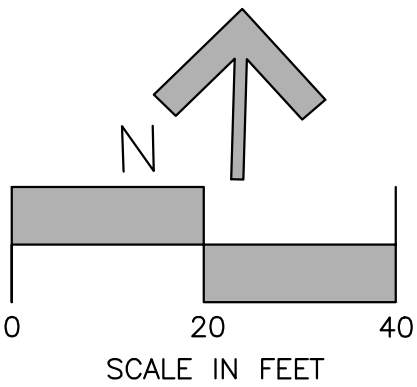
FIRE NOTES:

- EXISTING HYDRANT LOCATED ON 14TH STREET, 90- FEET EAST OF THE FRONT PROPERTY LINE

UTILITY NOTES:

- EXISTING WATER MAIN AND GRAVITY SEWER LOCATION TO BE FIELD VERIFIED BY CONTRACTOR.
- COORDINATE WITH ANDRE DESILET AT COFB (904-310-3431) FOR UTILITY CONNECTIONS
- WATER/SEWER DETAILS ON SHEET DT-(X). ADDITIONAL INFORMATION & DETAILS FOR DIRECTIONAL DRILL ON SHEET DT-(X)

PERMIT REVIEW ONLY – NOT FOR CONSTRUCTION



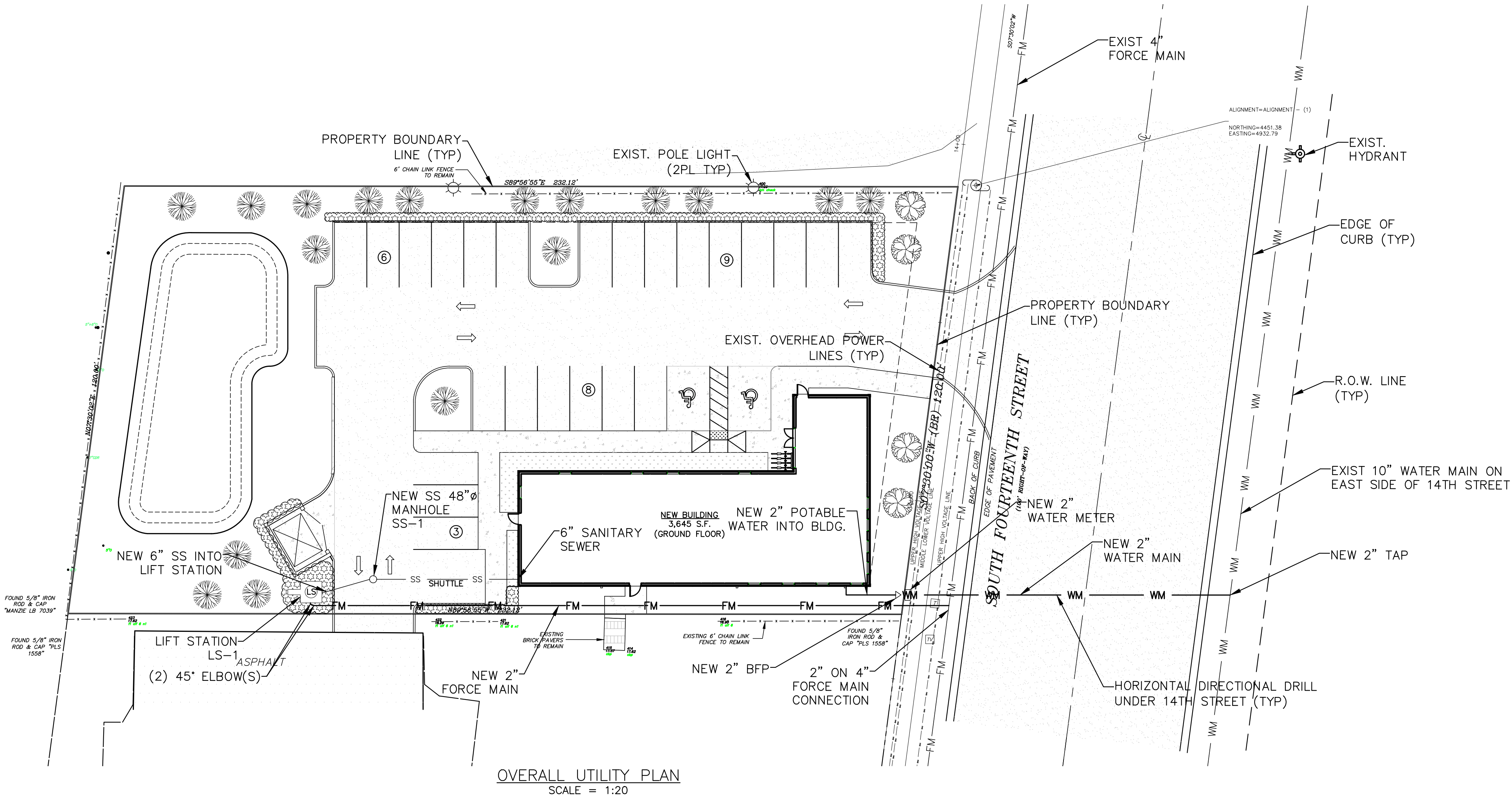
LEGEND

- CONCRETE
- ASPHALT

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REGISTERED DESIGN PROFESSIONAL
ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

STRUCTURE TABLE							
NAME	TYPE	TOP/ INLET ELEV.	INVERT ELEVATION				
			N	S	E	W	
SS-1	48"Ø MANHOLE	17.85	-	-	-	-	
LS-1	36"Ø LIFT STATION WELL	-	-	-	-	-	



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31 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * www.gillettedassociates.com

STARTING POINT
PROFESSIONAL OFFICES

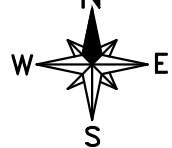
1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

DATE: 04/08/24

SCALE: 1"=20'
DRAWING IS REDUCED IF LESS
THAN 22" x 34"

UTILITY PLAN

North / Elev Key Sheet



UT-1

PROPERTY INFORMATION:

- PID#: 00-00-30-0800-0004-0020
- ACREAGE: 0.64 ACRES (27,619 SF)
- LOCATION: FERNANDINA BEACH, FL
- FLOOD ZONE: X
- ZONING: C-2
- FUTURE LAND USE: GENERAL COMMERCIAL
- PROPOSED USE: PROFESSIONAL OFFICE

SETBACK REQUIREMENTS:

- FRONT: 0 FEET
- REAR: 0 FEET
- SIDES: 0

UTILITIES:

- WATER: CITY OF FERNANDINA BEACH
- SEWER: CITY OF FERNANDINA BEACH
- POWER: FLORIDA PUBLIC UTILITIES

DEVELOPMENT REQUIREMENTS:

- MAX FLOOR AREA RATIO: 150.0% (41,429 SF)
- MAX BUILDING HEIGHT: 45-FT
- MAX IMPERVIOUS AREA: 60.0% (16,571 SF)

DEVELOPMENT REQUIREMENTS (CONT.):

- PROPOSED FLOOR AREA RATIO: 26.4% (7,290 SF)
- PROPOSED BUILDING HEIGHT: 25-FT±
- PROPOSED IMPERVIOUS AREA: 55.8% (15,417 SF)

ASPHALT = 9,591 SF
CONCRETE = 9,181 SF
BUILDING = 3,645 SF

- TOTAL PERVIOUS AREA: 12,202 SF
- TOTAL BUILDING AREA: 7,290 SF

PARKING REQUIREMENTS:

- PROFESSIONAL OFFICE:

1SPACE PER 300 SF
(7,290 SF)/(300 SF/SP) = 25 SPOTS REQ'D

PARKING PROVIDED = 26 SPOTS

PARKING NOTES:

- EACH TYPICAL PARKING SPOT IS 9' WIDE X 18' DEEP
- EACH ADA PARKING SPOT IS 12' WIDE X 18' DEEP

FIRE NOTES:

- EXISTING HYDRANT LOCATED ON 14TH STREET,
90- FEET EAST OF THE FRONT PROPERTY LINE

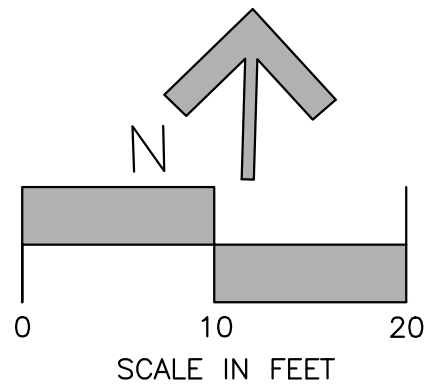
STRUCTURE TABLE						
NAME	TYPE	TOP/ INLET ELEV.	INVERT ELEVATION			
			N	S	E	W
S-1	TYPE C INLET	17.5	-	-	-	15.65
S-2	TYPE C INLET	17.5	-	15.55	15.55	15.55
S-3	M.E.S.	-	-	-	15.50	-
S-4	TYPE C INLET	17.5	15.65	-	-	-
S-OUT-1	MODIFIED TYPE E	17.4	-	-	-	13.70
S-OUT-2	M.E.S.	-	-	-	13.60	-

*NOTE: *S-OUT-1 TO HAVE (3) 12"x12" WEIR ON NORTH,
EAST, & SOUTH SIDES

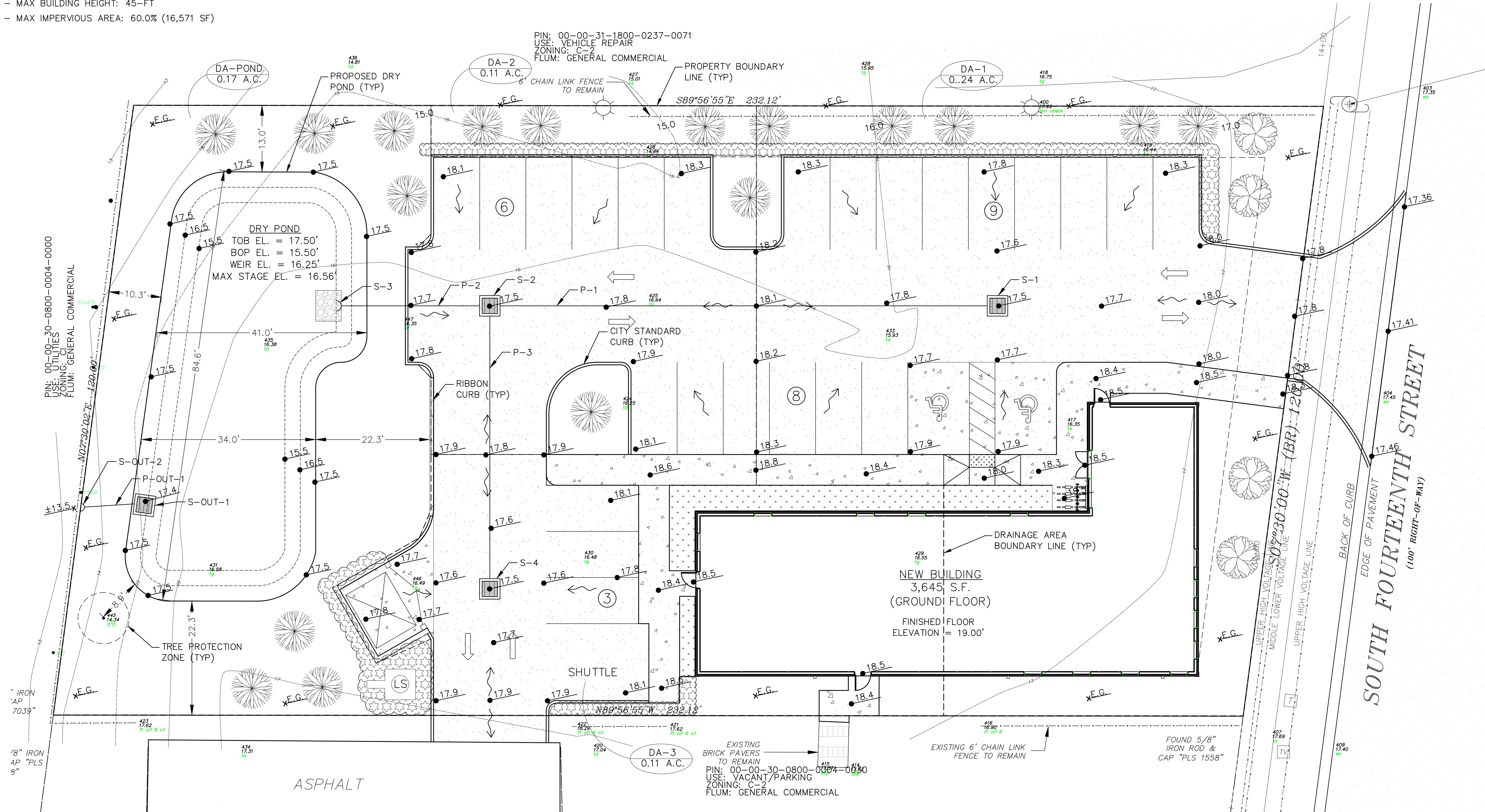
PIPE TABLE					
NAME	TYPE	DIAMETER	LENGTH	FROM	TO
P-1	HP STORM	15"	95'	S-1	S-2
P-2	HP STORM	15"	28'	S-2	S-3
P-3	HP STORM	15"	52'	S-4	S-2
P-OUT-1	HP STORM	18"	13'	S-OUT-1	S-OUT-2

DRAINAGE AREA TABLE		
DRAINAGE AREA I.D.	DRAINAGE INLET	DRAINAGE AREA (Ac)
DA-1	S-1	0.24
DA-2	S-2	0.11
DA-3	S-4	0.11
DA-POND-1	-	0.17

PERMIT REVIEW ONLY - NOT FOR CONSTRUCTION



LEGEND	
	CONCRETE
	ASPHALT



NOTE: SOME DETAILS IN THESE
DRAWINGS ARE TO BE
CONSIDERED TYPICAL AND MAY
NOT BE CALLED OUT ON PLANS.
CONTRACTOR SHALL BECOME
FAMILIAR WITH AND FOLLOW ALL
DETAILS DURING CONSTRUCTION
IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL
ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

REV	DATE	ITEM
A	03/04/24	FIRST START (TRC PRE-APP) SUBMITAL
B	04/08/24	TRC SUBMITAL #1

GILLETTE & ASSOCIATES, INC.
CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING
CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. * FL. PE NO. 56177
31 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * www.gilletteassociates.com

STARTING POINT
PROFESSIONAL OFFICES
1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

DATE: 04/08/24
SCALE: 1"=20'
DRAWING IS REDUCED IF LESS
THAN 22" x 34"

DRAINAGE PLAN
North / Elev Key Sheet
DR-1
Page 6 of 8

PROPERTY INFORMATION:

- PID#: 00-00-30-0800-0004-0020
- ACREAGE: 0.64 ACRES (27,619 SF)
- LOCATION: FERNANDINA BEACH, FL
- FLOOD ZONE: X
- ZONING: C-2
- FUTURE LAND USE: GENERAL COMMERCIAL
- PROPOSED USE: PROFESSIONAL OFFICE

SETBACK REQUIREMENTS:

- FRONT: 0 FEET
- REAR: 0 FEET
- SIDES: 0

NON-RESIDENTIAL LANDSCAPE REQUIREMENTS:

LDC 4.05.06(A) REQUIREMENT:

"MINIMUM LANDSCAPED AREA:

AT LEAST TWENTY (20) PERCENT OF THE TOTAL GROSS LAND AREA OF A DEVELOPMENT SITE SHALL BE LANDSCAPED EXCEPT WITHIN THE CENTRAL BUSINESS DISTRICT, C-3 ZONED AND THE 8TH STREET MIXED USE (MU8) MU-8 ZONING PROPERTIES WHERE A MINIMUM OF 10% OF THE TOTAL GROSS LAND AREA SHALL BE LANDSCAPED.

20% * 27,619 SF = 5,524 SF

PROPOSED LANDSCAPED AREA: 9,135 SF

LDC 4.05.06(B) REQUIREMENT:

"MINIMUM TREE PLANTING:

NONRESIDENTIAL DEVELOPMENT SHALL PROVIDE ONE (1) SHADE TREE FOR EACH 1,500 SQUARE FEET OF GROSS SITE AREA, OR FRACTION THEREOF.

1 TREE/1,500 SF = 27,619 SF/1,500 SF (TREES)

MINIMUM SHADE TREES REQUIRED = 19.0

TOTAL SHADE TREES PROVIDED = 17

TOTAL UNDERSTORY TREES PROVIDED = 4

PARKING LOT LANDSCAPE REQUIREMENTS:

LDC 4.05.07.C(1):

"A LANDSCAPED AREA NOT LESS THAN TEN (10) FEET IN WIDTH, EXCLUSIVE OF IMPERVIOUS AREA, USING VERTICAL LAYERING OF LANDSCAPE MATERIALS SHALL BE LOCATED AROUND THE PERIMETER OF THE PARKING LOT IN ORDER TO PROVIDE VISUAL SCREENING FROM THE RIGHT-OF-WAY. PERIMETER LANDSCAPE AREA REQUIREMENTS SHALL NOT APPLY TO SHARED VEHICULAR ACCESS AREAS OR TO THE PORTION OF THE PERIMETER AREAS WHERE PHYSICAL INTERCONNECTIONS EXIST."

- 10-FT PERIMETER BUFFER IS PROVIDED IN AREAS WHERE PARKING OCCURS. SHADE TREES AND A LINE OF HEDGES IS SHOWN WHERE APPLICABLE.

TREE PLANTING

- ALL TREES PLANTED SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE DETAILS ON SHEET DT-1

- HEDGES SHALL BE PLANTED TO CREATE A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN WITHIN (1) ONE YEAR OF PLANTING

LDC 4.05.07.C(6):

"TREES WITHIN THE PERIMETER LANDSCAPED AREA SHALL BE DETERMINED USING A RATIO OF ONE (1) TREE FOR EACH 20 LINEAR FEET OF REQUIRED LANDSCAPE PERIMETER AREA, OR MAJOR PORTION THEREOF, WITH NO LESS THAN 75% OF SAID TREES BEING SHADE TREES."

PARKING LANDSCAPE REQUIRED:

NORTH:

FRONTAGE: 150-FT

TREES REQUIRED: 1 TREE/20-FT = 7.5 ~ 8.0 TREES
TREES PROVIDED: 8 SHADE TREES
HEDGE SCREENING REQUIRED

EAST:

FRONTAGE: 25-FT

TREES REQUIRED: 1 TREE/20-FT = 1.3 ~ 2.0 TREES
TREES PROVIDED: 2 SHADE TREES
HEDGE SCREENING REQUIRED
(UTILITY LINE EXIST ABOVE, UNDERSTORY IN LIEU OF SHADE TREES TO BE USED AT A RATE OF 2:1)

SOUTH:

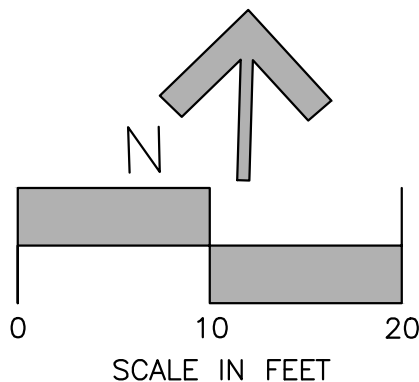
FRONTAGE: 29-FT

TREES REQUIRED: 1 TREE/20-FT = 1.5 ~ 2.0 TREES
TREES PROVIDED: 4 UNDERSTORY TREES
HEDGE SCREENING REQUIRED

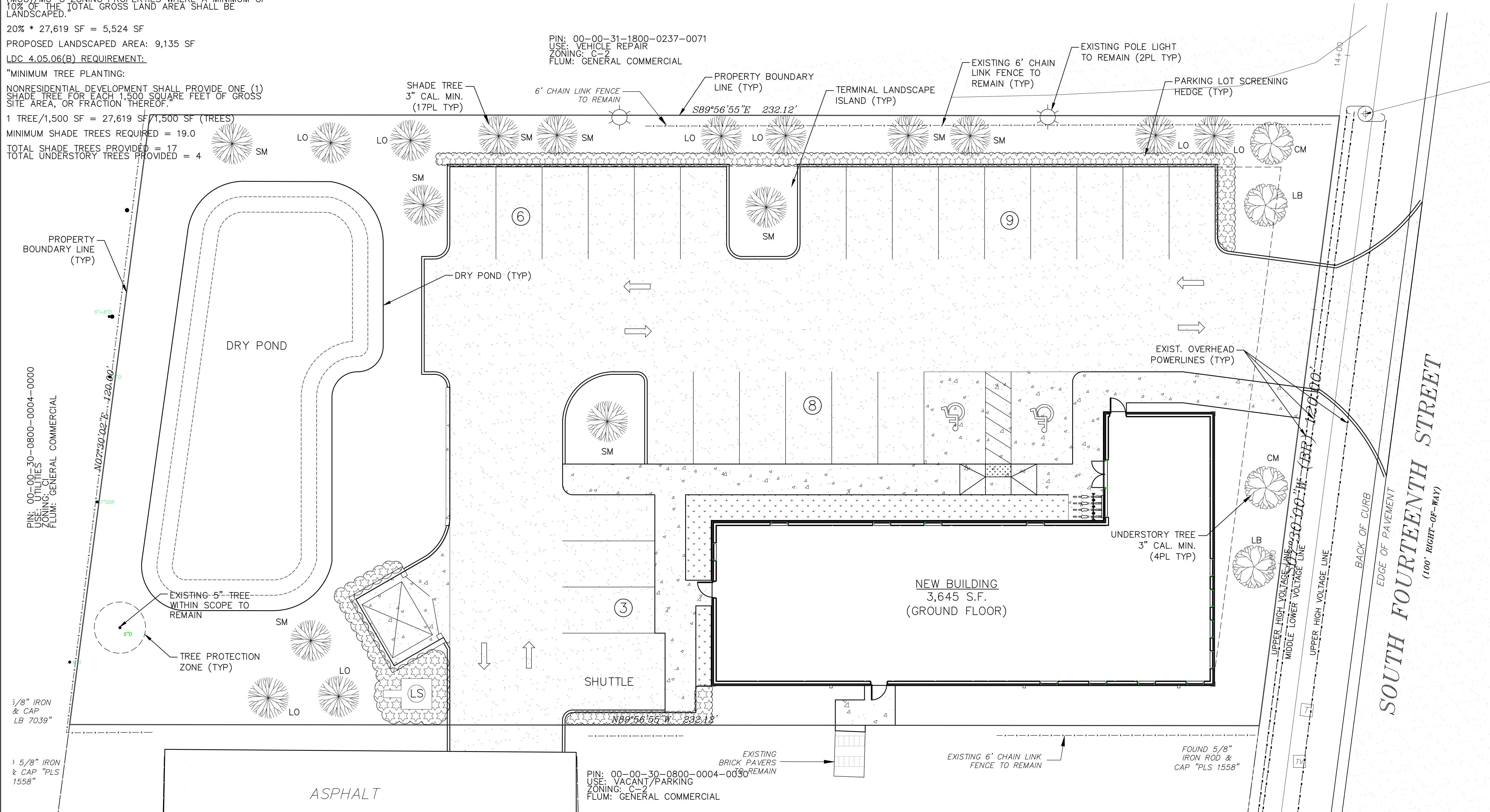
WEST:

NONE

PERMIT REVIEW ONLY - NOT FOR CONSTRUCTION



SYMBOL	QTY.	KEY	PLANT SCHEDULE	SIZE/REMARKS
			SPECIES COMMON NAME	
	9	SM	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	3" CAL MIN.
	8	LO	QUERCUS VIRGINIANA LIVE OAK	3" CAL MIN.
	2	CM	LAGERSTROEMIA SPP. CREPE MYRTLE	3" CAL MIN.
	2	LB	GORDONIA LASIANTHUS LOBLOLLY BAY	3" CAL MIN.



NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

REGISTERED DESIGN PROFESSIONAL
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FLORIDA P.E. NO. 56177

REV	DATE	ITEM	DESCRIPTION
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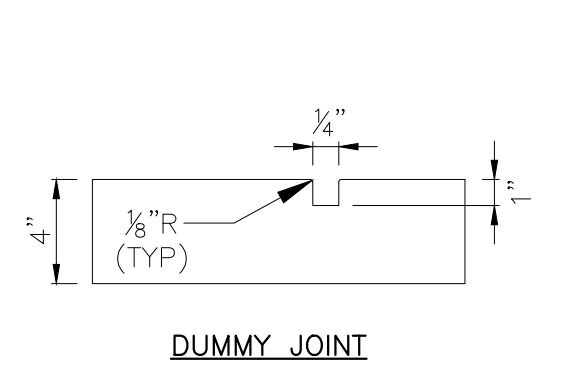
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STARTING POINT
PROFESSIONAL OFFICES
1541 S. 14TH STREET
FERNANDINA BEACH, FLORIDA

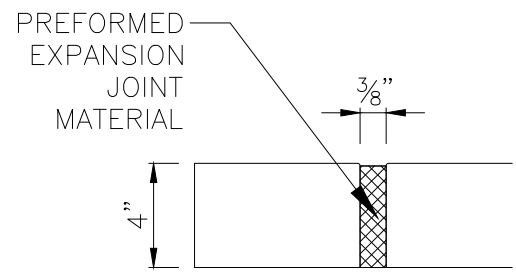
DATE: 04/08/24
SCALE: 1"=20'
DRAWING IS REDUCED IF LESS THAN 22" x 34"

LANDSCAPE PLAN

North / Elev Key Sheet
LS-1
Page 7 of 8

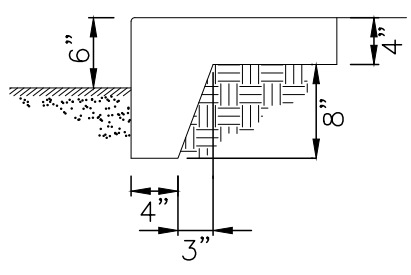


DUMMY JOINT

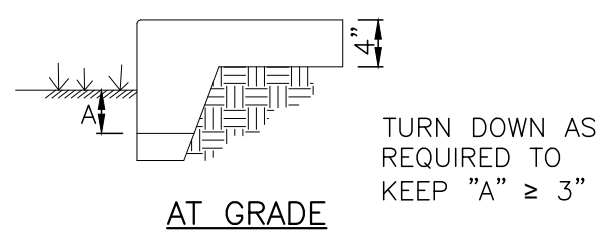


EXPANSION JOINT

SIDEWALK JOINT DETAILS

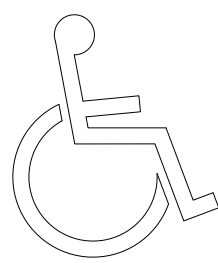


AT ASPHALT PAVEMENT



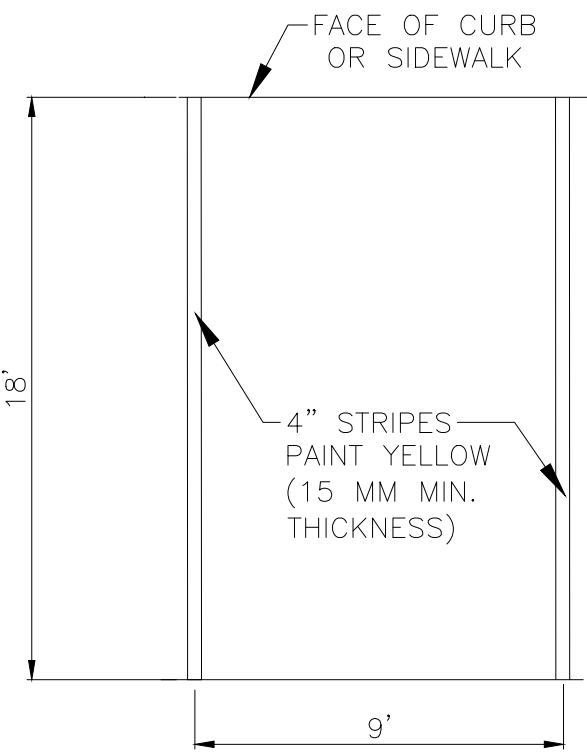
AT GRADE

SIDEWALK TURNDOWN DETAILS

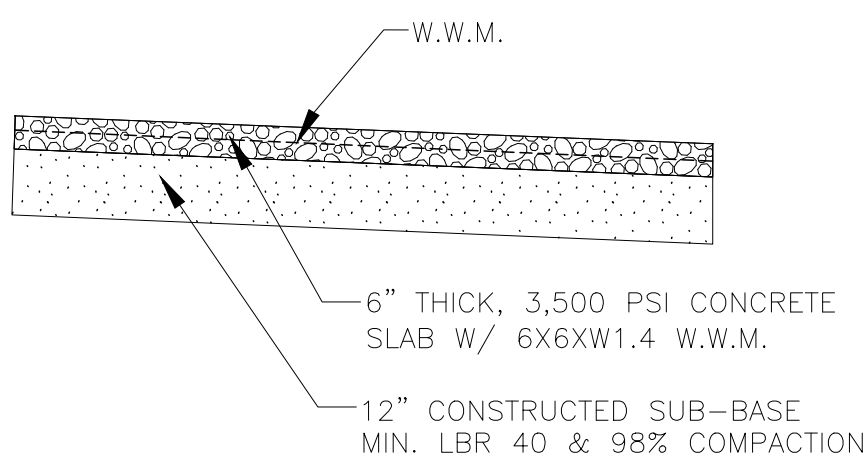


NOTE: PAINT SYMBOL ABOVE ONTO PAVED SURFACE WITH (2) COATS OF HANDI-CAP BLUE PAINT MANUFACTURED AS PER DEPT. OF TRANS. SPECS.

HANDICAPPED SYMBOL

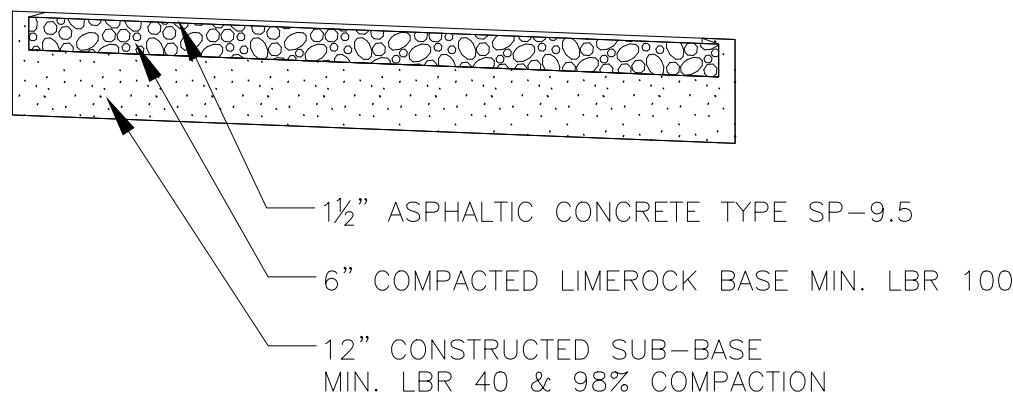


TYPICAL PARKING DETAIL

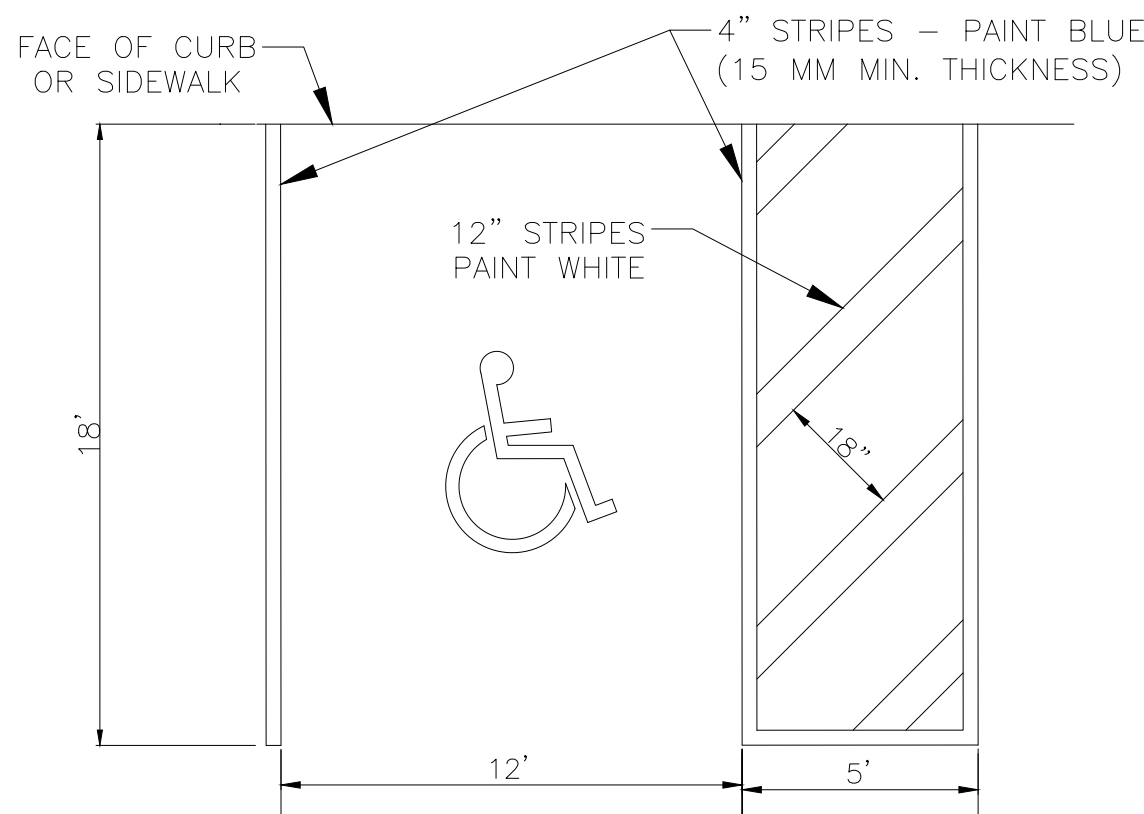


TYPICAL CONCRETE DETAIL

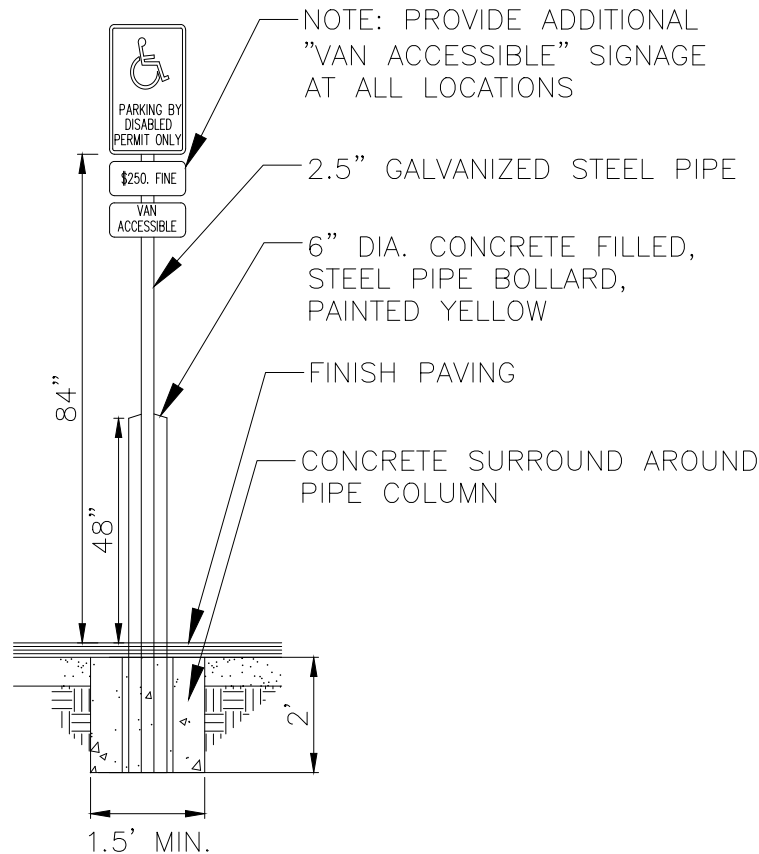
NOTE: SOIL ANALYSIS MAY INDICATE THE NEED FOR A THICKER BASE COURSE THAN SHOWN HEREIN. THE PAVEMENT THICKNESSES SHOWN HEREIN ARE NOT INTENDED TO BE ABSOLUTE, BUT ARE PRELIMINARY CRITERIA AND MAY BE MODIFIED TO ACCOMMODATE THE BEARING CAPACITIES OF VARIOUS SUBGRADES.



TYPICAL ASPHALT DETAIL

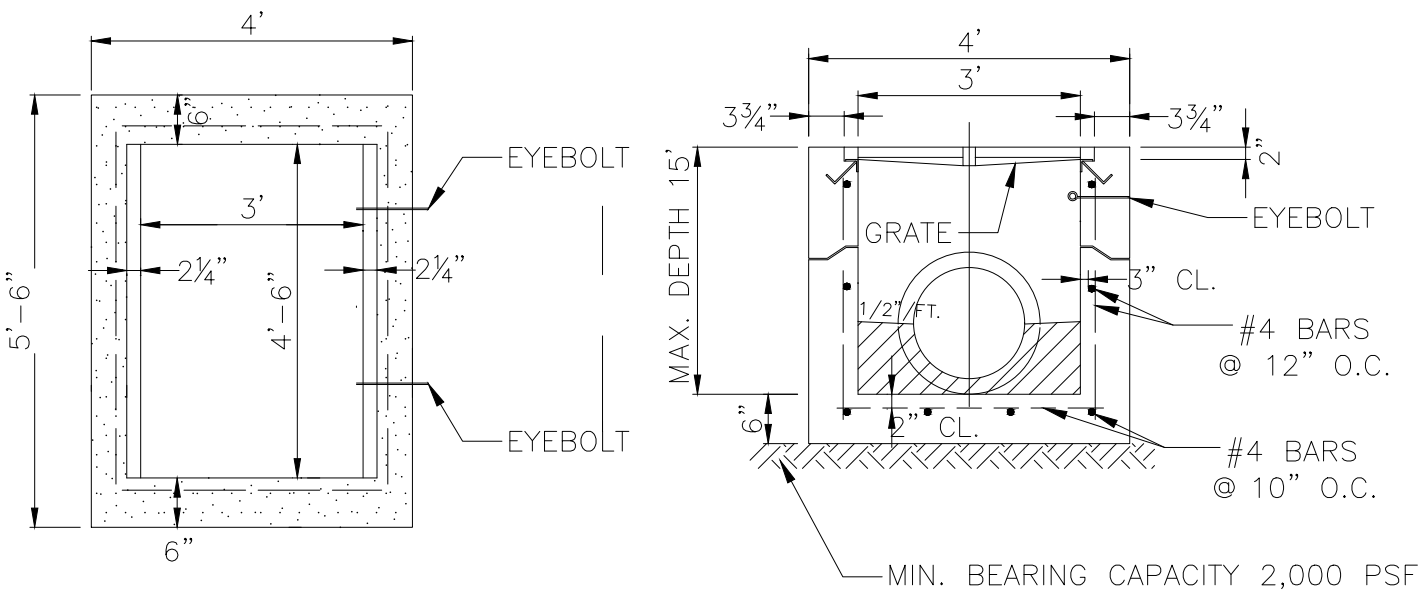


TYPICAL DISABLED PARKING



HANDICAP SIGN DETAIL

- NOTES:
1. ALL SIGNS SHOWN SHALL CONFORM TO FEDERAL ACCESSIBILITY SPECIFICATIONS.
 2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
 3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
 4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

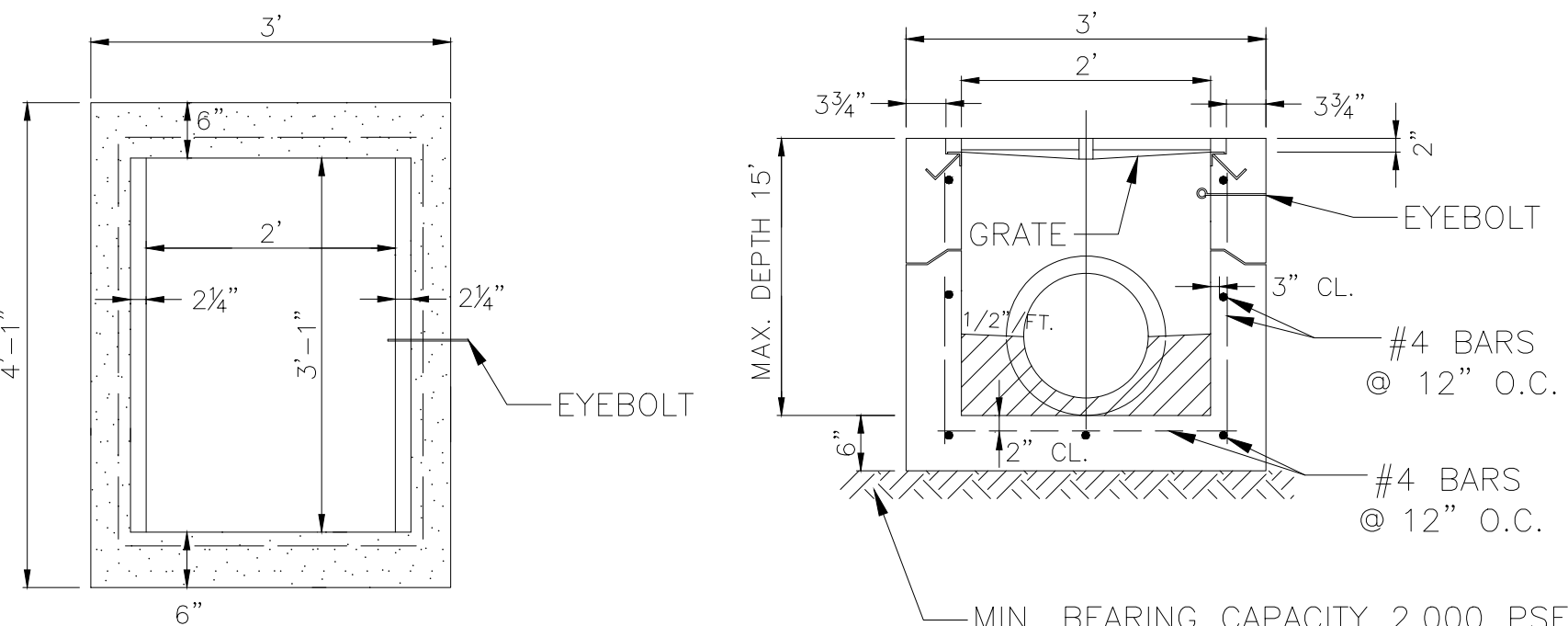


PLAN

SECTION

- NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI
 2. PIPES SHALL BE FLUSH WITH INSIDE WALL
 3. SLOT OPENING SHALL NOT BE IN WALLS WITH RATE SEAT

TYPE E INLET DETAIL

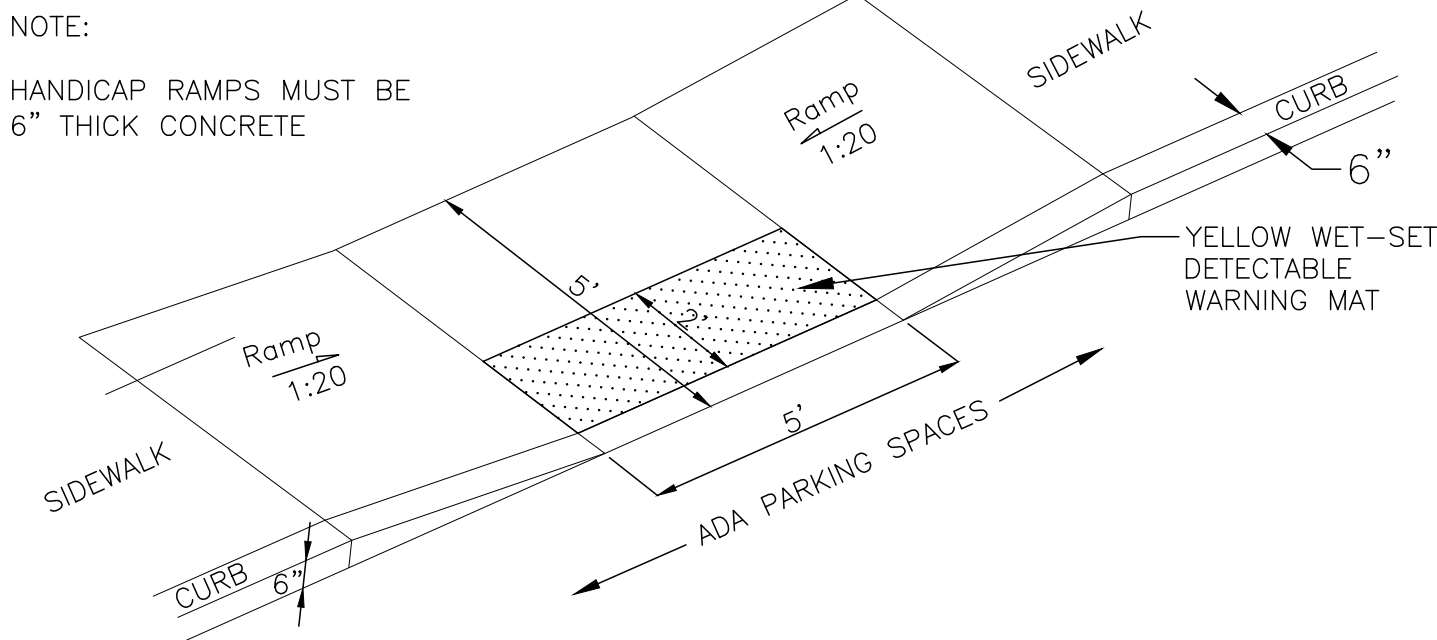


PLAN

SECTION

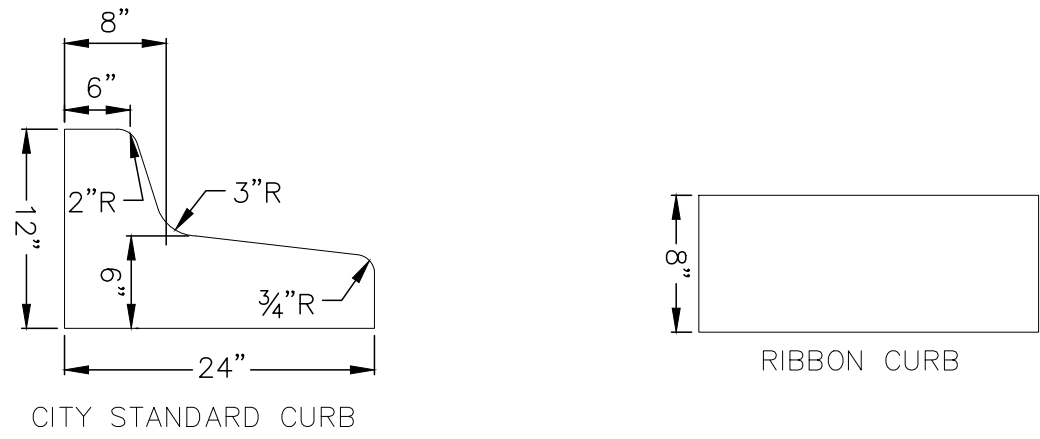
- NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI
 2. PIPES SHALL BE FLUSH WITH INSIDE WALL
 3. SLOT OPENING SHALL NOT BE IN WALLS WITH RATE SEAT

TYPE C INLET DETAIL



PARKING LOT CURB RAMP DETAIL

PERMIT REVIEW ONLY – NOT FOR CONSTRUCTION

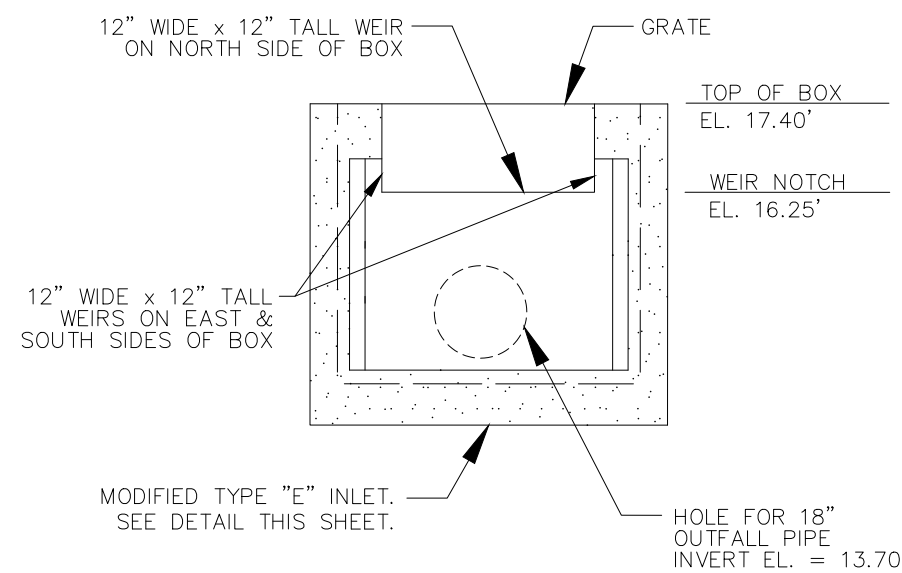


CITY STANDARD CURB

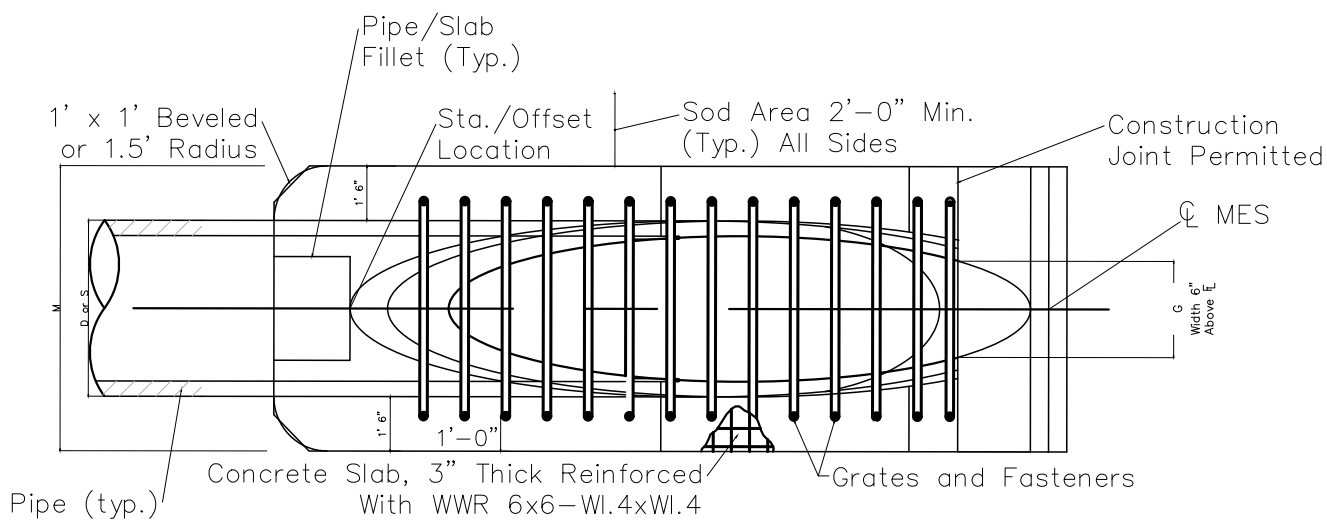


RIBBON CURB

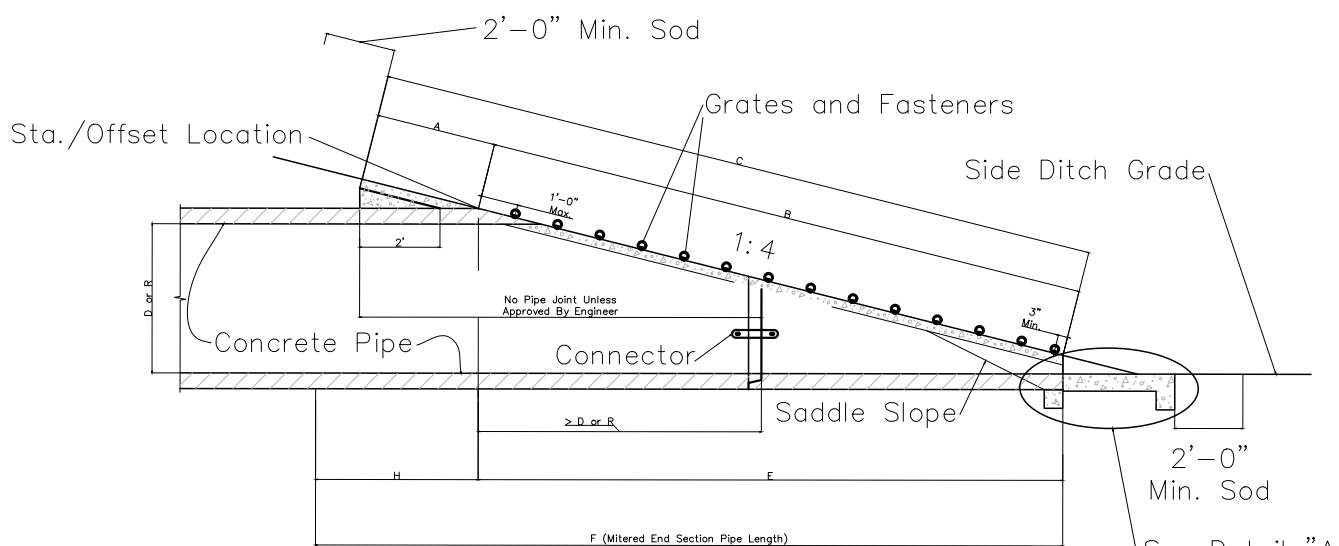
CURB DETAILS



DROP STRUCTURE DETAIL (S-OUT-1)

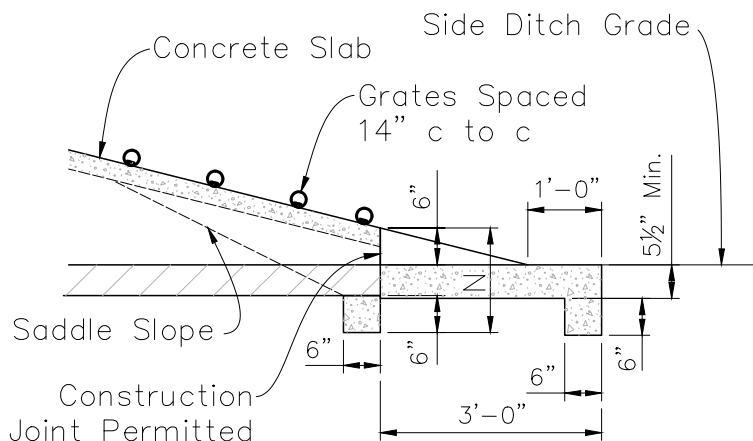


PLAN – SINGLE PIPE



ELEVATION

DIMENSIONS FOR SINGLE 24" CONCRETE PIPE											
DIA. D	X	A	B	C	E	F	G	H	M	N	3" CONC. SLAB (cy)
24"	3'-5"	2.53'	7.18'	9.71'	7.03'	11'	1.73'	4.0'	5.50'	1.25'	1.02
*6.42' *6.25' DIMENSIONS PERMITTED TO ALLOW USE OF 8' STANDARD PIPE LENGTHS.											



DETAIL "A"

MES DETAIL

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ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

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MISC. DETAILS

North / Elev Key Sheet



DT-1



Civil & Environmental Engineering • Mechanical & Structural Engineering • Construction Management

STORMWATER MANAGEMENT EVALUATION

**New Building
Starting Point Behavioral Healthcare
Fernandina Beach, Florida**

BY

**Gillette & Associates, Inc.
31 South 4th Street
Fernandina Beach, FL**

Issue Date: April 8th, 2024

PROJECT DESCRIPTION

The proposed project consists of a new business building and all associated paved areas incorporated. This project will be constructed on a 0.64-acre parcel of land in Fernandina Beach, Florida. The site will be served by a dry pond. The dry pond is designed to provide stormwater treatment for the site & new improvements to the site.

EXISTING CONDITIONS

The existing project site contained a vacant gravel parking lot. The predeveloped site ranges in elevation from 17.2' +/- to 13.2' +/-, sloping from east to west.

DRAINAGE ANALYSIS

The analysis was conducted for the entire 0.64 acres of improved area. The drainage area is serviced by a 3,005-sf dry pond. All run-off from the proposed building is to be captured and conveyed through a pipe and structure system. Additional runoff from grade is to sheet flow to the nearest drainage structure as depicted on the drawings.

The dry pond was modeled in MODRET with infiltration volume runoff data being used for development analysis. The MODRET pond calculations were set to meet a 10-year 24-hour storm event. Data from the Geotech Report & geotechnical borings was used in MODRET simulations. The geotechnical borings encountered the groundwater level at 2.50-feet below the surface. The seasonal high groundwater level was calculated at 2.00-feet below the surface, with the surface elevation at 16.00-feet at the time of the boring findings. For the MODRET calculations we used a seasonal high groundwater elevation of 14.00-feet.

Summary of Design:

Total Drainage Area
Top of Bank Elevation
Bottom of Pond Elevation
Predeveloped (cfs)
Postdeveloped (cfs)

Post-Development

0.64 Acres
17.50 ft
15.50 ft
2.2042 cfs
1.7204 cfs

Summary of Design - 10 Year Storm Event

Max Infiltration Rate:	1.791 ft/day
Max Stage Elevation Pond:	16.556 ft
Top of Bank Elevation:	17.500 ft
Pond Recovery Time:	69.472 hrs
Outfall:	Rear of Property

DRY POND CALCULATIONS

Starting Point- Dry Pond Post Developed

Basin Calculations

Basin 1

Composite Cn
 Total Drainage Area = 27619.00 SF
 Impervious Area = 15396.00 SF 56%
 Pond Area = 0.00 SF
 Pervious Area = 12223.00 SF

 Impervious Cn = 98.0
 Pond Cn = 100.0
 Pervious Cn = 74.0

 Composite Cn = 87.4

Pond Information

SWALE 1 3:1 GRADE			
		Area	Volume
(ft.)		(SF)	(CF)
17.50	TOB	3005.00	4868.00
16.25	WEIR	2340.00	1527.38
15.50		1733.00	0.00

Treatment Volume Required, TVR

$TVR = 0.5" * (1/12") * \text{Total Drainage Area} = 1150.79 \text{ CF}$
 or
 $TVR = 1" * (1/12") * \text{Total Impervious Drainage Area} = 1283.00 \text{ CF}$

 $TVR = 1283.00 \text{ CF}$

Treatment Volume Provided, TVP

$TVP = \text{Vol @ Weir} = 1527.38 \text{ Ac.-ft.}$

Pond Geometry Checks

Depth = 2.00 ft.
 Mean Depth = 1.13 ft.
 Average length = 85 ft.
 Average width = 40 ft.
 Ave Length to Width Ratio 2.1 :1

MODRET

HYDROGRAPH DATA INPUT - SCS UNIT METHOD

Project Name : Starting Point 10-yr pre
Rainfall Distribution : SCS Type II (24 hrs)

Contributing Basin Area

0.63 ac.

SCS Curve Number

74.00

Time of Concentration

14.00 min.

Rainfall Depth

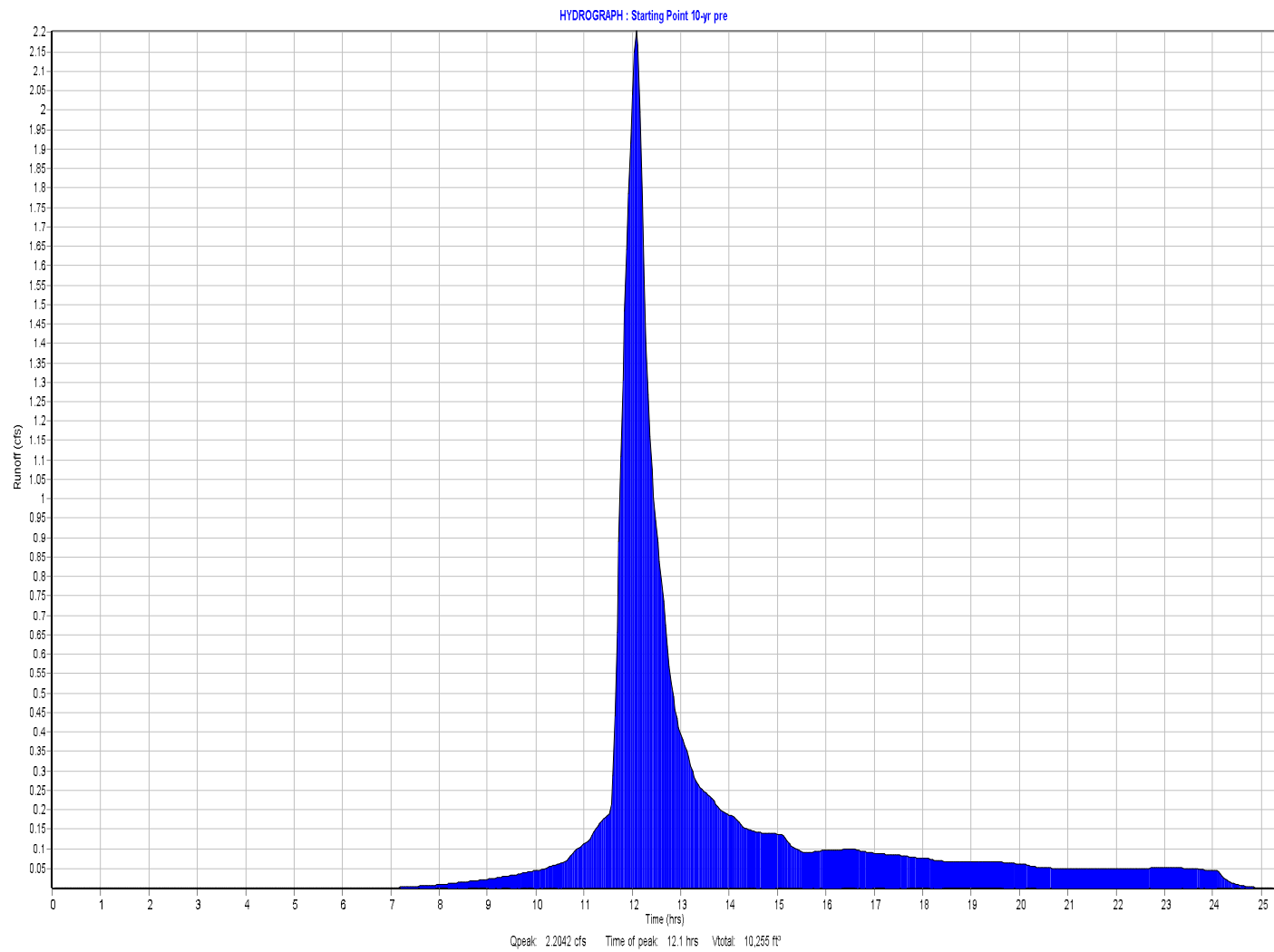
7.50 in.

Shape Factor

323

Percent DCIA

0.00 %



MODRET

SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

PROJECT NAME : Starting Point 10yr Treatment
HYDROGRAPH RUNOFF DATA USED
UNSATURATED ANALYSIS EXCLUDED

Pond Bottom Area	1,733.00 ft ²
Pond Volume between Bottom & DHWL	4,868.00 ft ³
Pond Length to Width Ratio (L/W)	2.00
Elevation of Effective Aquifer Base	-10.00 ft
Elevation of Seasonal High Groundwater Table	14.00 ft
Elevation of Starting Water Level	15.50 ft
Elevation of Pond Bottom	15.50 ft
Is there overflow ?	Y
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.22
Unsaturated Vertical Hydraulic Conductivity	13.20 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	5.80 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.18
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00
Time Increment During Storm Event	1.00 hrs
Time Increment After Storm Event	12.00 hrs
Total Number of Increments After Storm Event	6.00

Runoff Hydrograph File Name: SCS-10yr.SCS

Time of Peak Runoff: 12.03 hrs

Rate of Peak Runoff: 3.51 cfs

Hydraulic Control Features:

Groundwater Control Features - Y/N

Distance to Edge of Pond

Elevation of Water Level

Impervious Barrier - Y/N

Elevation of Barrier Bottom

Top	Bottom	Left	Right
N	N	N	N
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00

N	N	N	N
0.00	0.00	0.00	0.00

MODRET

ELEVATION VS OVERFLOW RELATIONSHIP

PROJECT NAME : Starting Point 10yr Treatment
Structure Type: BROAD CRESTED

Crest Elevation	16.25 ft
Crest Length	3.00 ft
Coefficient of Discharge	3.31
Weir Flow Exponent	1.50
Number of Contractions	0.00
Design High Water Level Elevation	17.50 ft

MODRET

SUMMARY OF RESULTS

PROJECT NAME : Starting Point 10yr Treatment

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft ³)
00.00 - 0.03	14.000	0.000 *		
			0.00000	
0.03	14.000	0.05600		
			0.05046	
1.05	15.500	0.04492		0.00
			0.03939	
2.07	15.500	0.03610		0.00
			0.03282	
3.09	15.500	0.03091		0.00
			0.02900	
4.11	15.500	0.02822		0.00
			0.02744	
5.13	15.502	0.02705		0.00
			0.02665	
6.15	15.547	0.02685		0.00
			0.02705	
7.17	15.618	0.02743		0.00
			0.02780	
8.19	15.699	0.02889		0.00
			0.02999	
9.21	15.820	0.03176		0.00
			0.03353	
10.23	15.988	0.03693		0.00
			0.04032	
11.25	16.263	0.04299		135.05
			0.04566	
12.27	16.556	0.04127		6,328.50
			0.03687	
13.29	16.401	0.03330		8,505.80

MODRET

SUMMARY OF RESULTS

PROJECT NAME : Starting Point 10yr Treatment

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft ³)
			0.02974	
14.31	16.334	0.02933		9,385.80
			0.02893	
15.33	16.301	0.02823		9,912.20
			0.02754	
16.35	16.282	0.02709		10,247.00
			0.02663	
17.37	16.278	0.02639		10,537.00
			0.02615	
18.39	16.272	0.02571		10,769.00
			0.02527	
19.41	16.269	0.02497		10,962.00
			0.02467	
20.43	16.266	0.02447		11,127.00
			0.02428	
21.45	16.262	0.02396		11,254.00
			0.02364	
22.47	16.262	0.02357		11,376.00
			0.02350	
23.49	16.262	0.02321		11,501.00
			0.02292	
24.51	16.256	0.02234		11,558.00
			0.01549	
36.51	15.981	0.01364		11,558.00
			0.01179	
48.51	15.771	0.01062		11,558.00
			0.00945	
60.51	15.604	0.00863		11,558.00

MODRET

SUMMARY OF RESULTS

PROJECT NAME : Starting Point 10yr Treatment

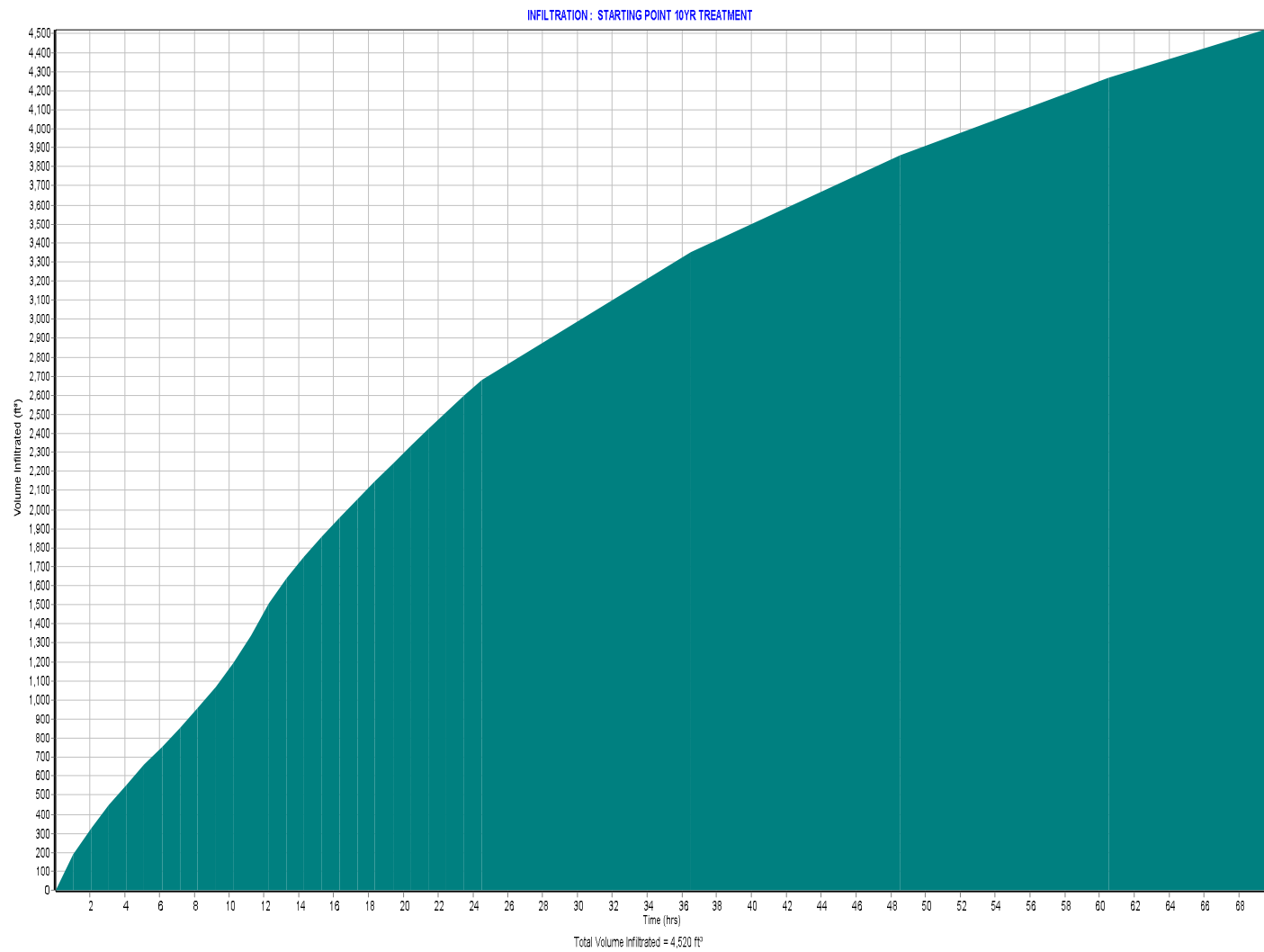
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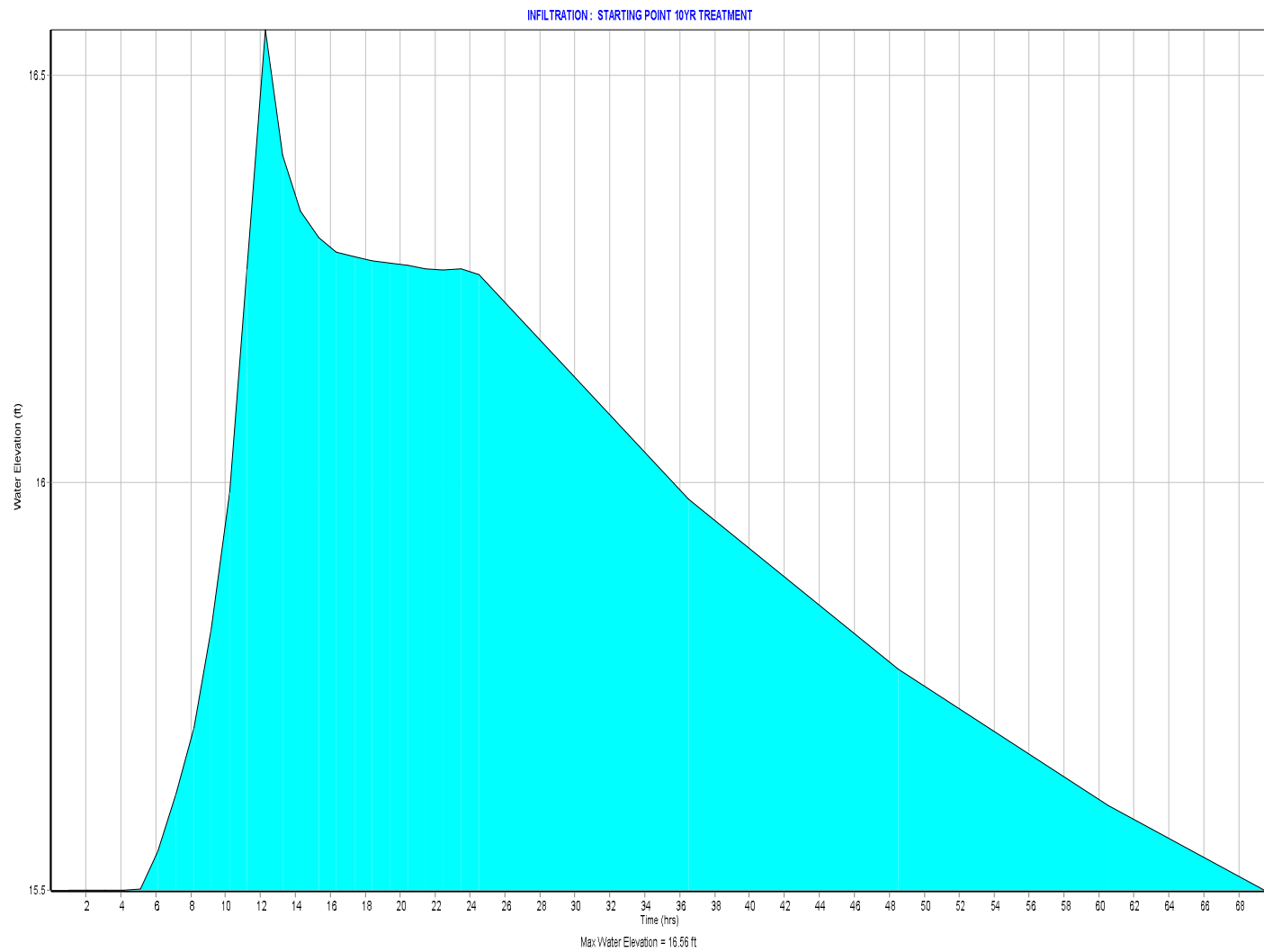
Maximum Water Elevation: 16.556 feet @ 12.27 hours

Recovery @ 69.472 hours

* Time increment when there is no runoff

Maximum Infiltration Rate: 1.791 ft/day





GEOTECHNICAL REPORT



OF JAX, INC.

March 13, 2024

GILLETTE & ASSOCIATES, INC.

31 South Fourth Street - Suite 1
Fernandina Beach, Florida 32034

Attn: Mr. Asa Gillette, P.E.

Re: Report of Preliminary Geotechnical Exploration
Starting Point Behavior Health
Fernandina Beach, Florida
AGES Job No. J21354, Report No. 001

Dear Mr. Gillette:

AGES of JAX, (AGES), Inc. has completed a preliminary geotechnical exploration of the subsurface conditions beneath the proposed pavement and storm-water management facility construction areas of the referenced project. Our services were verbally authorized by Mr. Asa Gillette, P.E. of Gillette & Associates, Inc. on January 25, 2024.

This report includes: (1) A summary of the project background information that was provided to us; (2) A summary of the testing that was performed and the results that were obtained; and (3) Surface aquifer parameters for use in the design and permitting of the stormwater management facilities. The assessment of the environmental condition of the soil, rock or groundwater at this site was beyond the requested scope of geotechnical services.

We appreciate the opportunity to be of service as the geotechnical consultant during this phase of your project. Should you have any questions concerning this report or if we may be of any further service to you, please feel free to contact us.

Very truly yours,



AGES of JAX, INC.

Timothy R. Wheeler, P.E.
Principal Engineer/Vice President
Registered, Florida No. 42677

TRW/trw/J21354.wpd

Attachments
Email Distribution: Addressee (1)

AGES of JAX, Inc.

P O Box 24008, Jacksonville FL 32241-4008
9556 Historic Kings Road South, Suite 201 ● Jacksonville, Florida 32257-2010
(904) 886-0766 ● (904) 880-5190 (FAX)

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DATA ATTACHMENTS

Site Location Map

Field Exploration Plan

Key to Soil Classification

Auger Boring Records

Summary of Laboratory Test Data Sheet

Double Ring Infiltration Test Results Sheets

Rising and Falling Head Hydraulic Conductivity Test Results Sheets

Temporary Well Completion Log

Field Exploration & Laboratory Testing Procedures

1.0 PROJECT BACKGROUND INFORMATION

General information has been provided by Gillette & Associates, Inc. representative Mr. Asa Gillette, P.E. of Gillette & Associates, Inc. during recent telephone and Email conversations. We have been provided with a Site Plan, prepared by Gillette & Associates, Inc., dated November 2, 2023) which shows the property boundaries, the existing site development and the planned building and pavement improvements.

We understand that the site improvements are being planned for an undeveloped parcel of land which is located adjacent to the existing Starting Point Behavior Health facility on Southeast Fourteenth Street in Fernandina Beach, Florida. The proposed site improvements will include one(1) new building and new asphalt paved parking and drive areas. The type of storm-water management facility to be constructed is proposed to be a underground vault storm-water system. Existing site topography and the proposed grading plan have not been provided.

2.0 PRELIMINARY GEOTECHNICAL EXPLORATION

2.1 Purpose of Exploration

The objective of this preliminary geotechnical exploration was to obtain site and subsurface data for use in: (1) The evaluation of the site with respect to the proposed construction; and (2) Storm-water management facility design and permitting. The preliminary geotechnical exploration therefore consisted of field exploratory borings and a geotechnical engineering analysis of the collected test data. The assessment of the environmental condition of the soil, rock or groundwater is beyond the requested scope of geotechnical services.

2.2 Subsurface Testing

The field testing program was conducted during on February 27, 2024. The scope of work included four(4) 6-foot auger borings (A1 to A4) and storm-water management facility related testing included one(1) 13-foot auger boring (LA1), one(1) double ring infiltration test (DRI1) at the existing ground surface, installation of one(1) 13-foot deep temporary monitoring well with 10-foot screen (TMW1) and performance of Rising and Falling Head hydraulic conductivity tests at the well location. The Rising and Falling Head "slug" tests were performed in accordance with the procedures outlined in ASTM D4044/D4044M-15, to determine the saturated horizontal hydraulic conductivity (K_{hsat}) of the surface aquifer. The test results were analyzed using Hvorslev Time Lag Analytical procedures.

The boring/field test locations were selected by our Principal Engineer and established in the field by our personnel using handheld GPS location devices. The boring locations, as shown on the attached Field Exploration Plan, should be considered as approximate. The ground surface elevations at the boring locations were not determined.

The attached Auger Boring Records present the descriptions of the subsurface soils encountered, the groundwater levels encountered and the estimated seasonal high groundwater levels. The stratification lines and depth designations on the boring records represent the approximate boundary between the various soils encountered, as determined in the field by our drillers and the transition from one strata to the next should be considered approximate. The Double Ring Infiltration Test and Hydraulic Conductivity Test results are also included in the attachments. A brief discussion of the drilling, sampling and field testing techniques used is provided in the attached Field Exploration Procedures sheet.

2.3 Laboratory Testing

Representative soil samples obtained were returned to our office and examined by a geotechnical engineer. The samples were visually classified in general accordance with Unified Soil Classification and AASHTO Soil Classification Systems. Five(5) percent moisture content tests, five(5) percent fines content tests and four(4) organic content tests were conducted in the laboratory on representative soil samples obtained from the borings. These tests were performed to aid in classifying the soils and to help quantify and correlate engineering properties. The lab testing results are presented on the attached Summary of Laboratory Test Data sheet. A brief description of the laboratory procedures used is attached.

3.0 GEOTECHNICAL FINDINGS

3.1 Subsurface Conditions

The subsurface conditions outlined below highlight the major subsurface stratifications encountered during our preliminary geotechnical exploration of the site. When reviewing the boring records and the subsurface conditions outlined on the following page, it should be understood that the subsurface conditions will vary across the proposed construction area and between the boring locations.

3.1.1 Soil Conditions - The roadway pavement area borings (A1 to A4) typically encountered alternating strata of brown to dark brown, grey brown, dark grey brown, brown orange and grey fine sands(SP/A-3), slightly silty fine sands (SP-SM/A-3) and silty to very silty fine sands with many organics(SM/Pt/A-8) which extend to the maximum boring termination depth of 6 feet.

The storm-water management facility auger boring (LA1) encountered alternating strata of grey, grey brown and dark grey brown fine sands(SP/A-3), slightly silty fine sands (SP-SM/A-3) and silty fine sands(SM/A-2-4) which extend to the maximum boring termination depth of 13 feet.

3.1.2 Groundwater Conditions - The groundwater level was encountered at the time of drilling at depths of 2.5 to 3.5 feet below the existing ground surface. Based upon a review of the USDA soil survey and an inspection of the soil samples obtained as part of this investigation, it is our opinion that the current groundwater levels are representative of the seasonal average levels. The seasonal high groundwater level is estimated to be 0.5 feet above the current groundwater levels.

The groundwater levels should be expected to fluctuate due to seasonal climatic variations, changes in surface water runoff patterns across the site, construction activity and the subsequent development as planned, and other interrelated factors. Since groundwater variations are anticipated, design drawings and specifications should accommodate such possibilities and construction planning should be based on the assumption that variations will occur.

3.2 Surface Aquifer Characterization

AGES installed one(1) temporary 2-inch diameter monitoring well (TMW1) adjacent to boring LA1. The well location is shown on the attached Field Exploration Plan. Rising and Falling Head "Slug Tests" were conducted in the well (TMW1) using SJRWMD protocol. The test results are presented on the attached Insitu Rising and Falling Hydraulic Conductivity Test Results sheets .One(1) double ring infiltration test (DRI1) was also conducted adjacent to the well location. The findings are presented on the Double Ring Infiltration Results sheet which is included in the attachments. The recommended aquifer parameters for use in stormwater pond design and modeling are presented below:

Aquifer Type: Unconfined Surface

Aquifer Soil Type: Sand

Effective Aquifer Thickness: 20 feet

Porosity:0.22 or 22%

Seasonal High Groundwater Level: 2.0 feet below the existing ground surface.

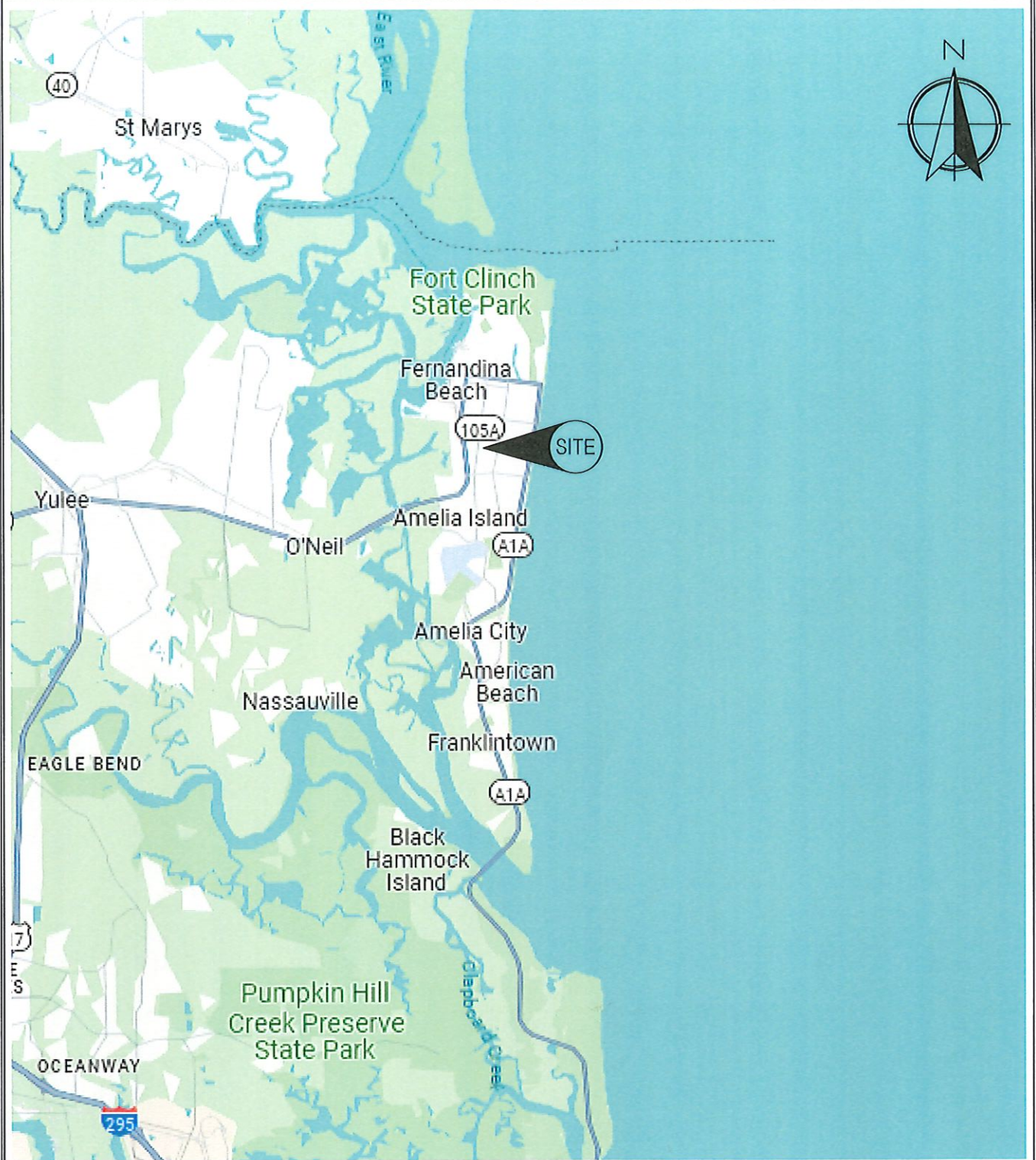
Saturated Horizontal Hydraulic Conductivity: Khsat= 2.9 ft/day (avg of Rising/Falling Head Tests)

Unsaturated Vertical Hydraulic Conductivity (infiltration rate): Kvunsat = 6.6inches/hour.

We recommend that the Khsat and Kvunsat be divided by 2 when conducting pond modeling activities to determine pond recovery times.

DATA ATTACHMENTS

Site Location Map
Field Exploration Plan
Key to Soil Classification
Auger Boring Records
Double Ring Infiltration Test Results Sheet
Rising and Falling Head Hydraulic Conductivity Test Results Sheets
Temporary Well Completion Log
Field Exploration Procedures
Laboratory Test Procedures



REFERENCE:

Google.com



AGES of JAX Inc.
9556 Historic Kings Rd.
Jacksonville, Florida 32257

SITE LOCATION MAP

Starting Point Behavioral Health
Fernandina Beach, Florida

DRAWN: JLK

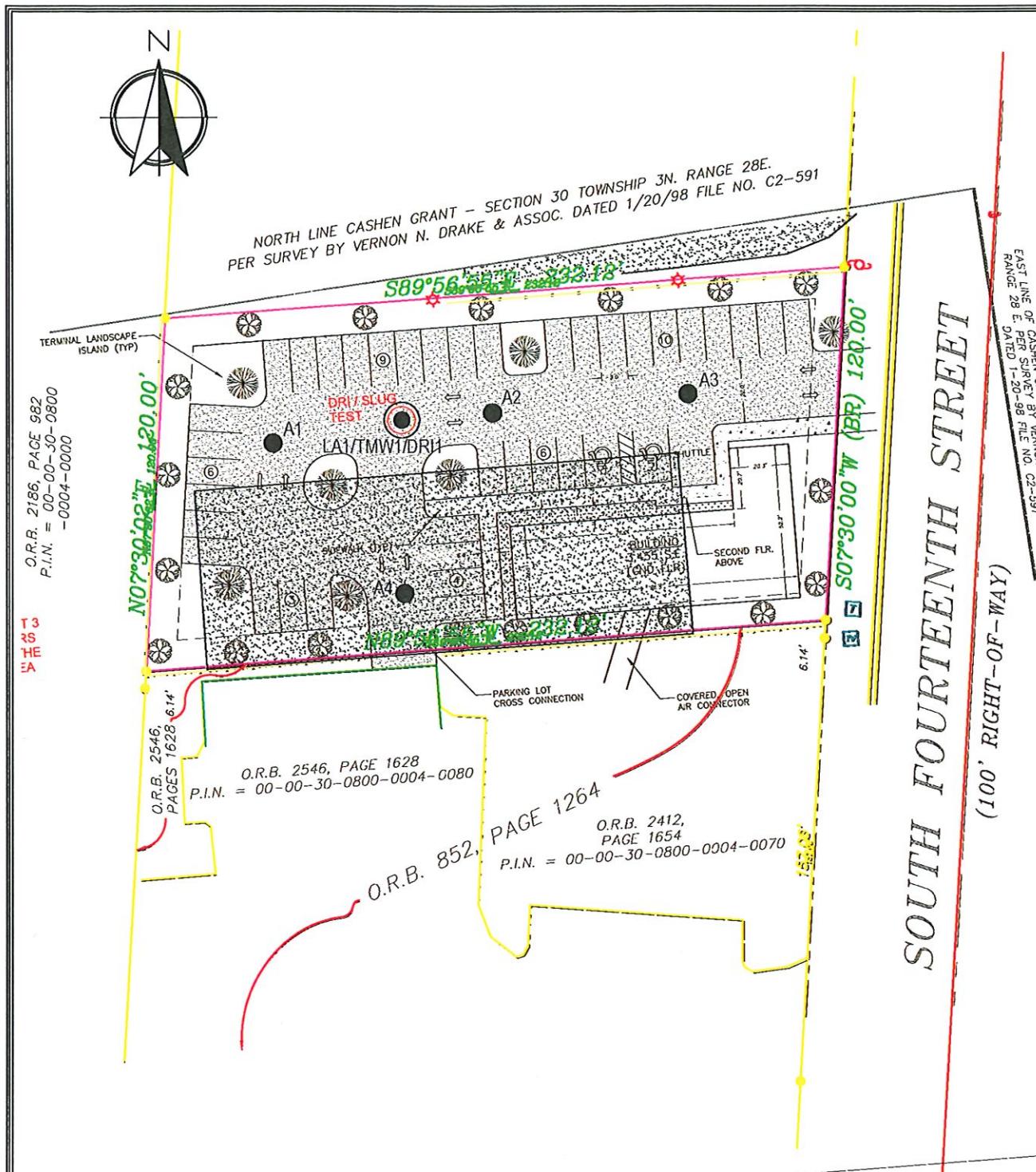
DATE: 03/05/24

SCALE:

CHECKED: TRW

JOB NO: J21354

NTS



LEGEND:

- ⊕ Auger Boring Test Location (Approximate)
- ⊙ Double Ring Infiltration Test/ Temporary Well "Slug Test" Location (Approximate)

REFERENCE:

Site Plan prepared by Gillette & Associates, Inc, dated 11/02/23.

NOTES:

The boring/ test locations were established by AGES personnel using handheld GPS Locator Units. Boring locations as shown on this plan should be considered approximate.



AGES of JAX Inc.
9556 Historic Kings Rd
Jacksonville, Florida 32257

FIELD EXPLORATION PLAN

Starting Point Behavioral Health
Fernandina Beach, Florida

DRAWN: JLK

DATE: 03/05/24

SCALE:

CHECKED: TRW

JOB NO: J21354

1"=50'

KEY TO SOIL CLASSIFICATION

CORRELATION OF N-VALUE WITH RELATIVE DENSITY & CONSISTENCY

SANDS AND GRAVEL	
NO. OF BLOWS, N'	RELATIVE DENSITY
0 - 4	VERY LOOSE
5 - 10	LOOSE
11 - 20	FIRM
21 - 30	VERY FIRM
31 - 50	DENSE
OVER 50	VERY DENSE

SILTS AND CLAYS	
NO. OF BLOWS, N*	CONSISTENCY
0 - 2	VERY SOFT
3 - 4	SOFT
5 - 8	FIRM
9 - 15	STIFF
16 - 30	VERY STIFF
31 - 50	HARD
OVER 50	VERY HARD

PARTICLE SIZE IDENTIFICATION (UNIFIED SOIL CLASSIFICATION SYSTEM)

CATEGORY	DIMENSIONS
Boulders	Diameter exceeds 12 inches
Cobbles	3 to 12 inches
Gravel	Coarse - 0.75 to 3 inches in diameter
Sand	Coarse - 2.0 mm to 4.76 mm diameter Medium - 0.42 mm to 2.0 mm diameter
Silt and Clay	Less than 0.074 mm (Invisible to the naked eye)

MODIFIERS

These modifiers provide our estimate of the amount of minor constituents (sand silt or clay size particles) in the soil sample.

PERCENTAGE OF MINOR CONSTITUENT	MODIFIERS
5% to 12%	Slightly Silty, Slightly Clayey, Slightly Sandy Silty, Clayey, Sandy Very Silty, Very Clayey, Very Sandy
12% to 30%	
30% to 50%	

These modifiers provide our estimate of the amount of other components in the soil sample.

APPROXIMATE CONTENT OF OTHER COMPONENTS (SHELL, GRAVEL, ETC.)	MODIFIERS	APPROXIMATE CONTENT OF ORGANIC COMPONENTS
0% to 5%	TRACE FEW SOME MANY	1% to 2%
5% to 12%		2% to 4%
12% to 30%		4% to 8%
30% to 50%		>8%



AUGER BORING RECORDS
Starting Point Behavioral Health
Fernandina Beach, Florida
AGES Job No. J21354; Report No. 001

Date Performed: 02/27/24

Performed By: NW & CG

Auger ID Lat/Long	Depth (Feet) ^a	SOIL DESCRIPTION (USCS/AASHTO CLASSIFICATION)
A1 N 30.65061° W 81.45507°	0.0 - 1.0	Dark Brown Slightly Silty Fine SAND with Some Gravel (SP-SM/A-3)
	1.0 - 6.0	Grey Brown Fine SAND (SP/A-3)
	A.B.T. ^b	GWL ^c = 2.5'
A2 N 30.65056° W 81.45489°	0.0 - 1.0	Dark Grey Brown Slightly Silty Fine SAND with Some Gravel (SP-SM/A-3)
	1.0 - 4.0	Grey Brown Fine SAND (SP/A-3)
	4.0 - 4.5	Dark Brown Very Silty Fine SAND with Many Organics (SM/Pt/A-8)
	4.5 - 6.0	Brown Slightly Silty Fine SAND with Trace Organics (SP-SM/A-3)
	A.B.T. ^b	GWL ^c = 3.0'
A3 N 30.65057° W 81.45470°	0.0 - 6.0	Grey Brown Slightly Silty Fine SAND (SP-SM/A-3)
	1.0 - 3.0	Dark Brown Silty Fine SAND with Many Organics (SM/Pt/A-8)
	3.0 - 6.0	Grey Brown Slightly Silty Fine SAND with Trace Small Roots (SP-SM/A-3)
	A.B.T. ^b	GWL ^c = 3.0'
A4 N 30.65042° W 81.45501°	0.0 - 0.7	Brown Fine SAND with Limerock Pieces (SP/A-3)
	0.7 - 1.5	Brown Orange Clayey Fine SAND (SC/A-2-6)
	1.5 - 3.0	Dark Brown Silty Fine SAND with Many Organics (SM/Pt/A-8)
	3.0 - 4.0	Brown Fine SAND (SP/A-3)
	4.0 - 6.0	Grey Brown Slightly Silty Fine SAND (SP-SM/A-3)
	A.B.T. ^b	GWL ^c = 3.5'
LA1/TMW1/DR11 N 30.65042° W 81.45501°	0.0 - 0.5	Grey Slightly Silty Fine SAND with Trace Small Roots (SP-SM/A-3)
	0.5 - 6.0	Grey Brown Fine SAND (SP/A-3)
	6.0 - 9.0	Dark Grey Brown Silty Fine SAND with Some Organics (SM/A-2-4)
	9.0 - 13.0	Grey Brown Slightly Silty Fine SAND (SP-SM/A-3)
	A.B.T. ^b	GWL ^c = 2.5' Estimated Seasonal High GWL = 2.0'

a - Depth measured below ground surface existing at boring location at time of drilling

b - Auger Boring Terminated (A.B.T.)

c - Groundwater Level (GWL) depth below existing ground surface, recorded at time of drilling, unless otherwise noted



SUMMARY OF LABORATORY TEST DATA

Starting Point Behavioral Health
Fernandina Beach, Florida
AGES Job No. J21354; Report No. 001

Date Tested: 02/28/24 to 02/29/24

Tested By : D. Middleton

Boring ID	Sample	Depth (ft.)	USCS Symbol	AASHTO Symbol	Moisture Content ⁽¹⁾ %	Fines Content ⁽²⁾ %	Atterberg Limits (%) ⁽³⁾			Organics Content ⁽⁴⁾ %
							Liquid Limit	Plastic Limit	Plasticity Index	
A2	3	4.0 - 4.5	SM/Pt	A-8	70	46	—	—	—	19.6
A3	2	1.0 - 3.0	SM/Pt	A-8	29	15	—	—	—	9.3
	3	3.0 - 6.0	SP-SM	A-3	32	9	—	—	—	—
A4	3	1.5 - 3.0	SM/Pt	A-8	60	29	—	—	—	14.8
LA1/TMW1/ DRI1	3	6.0 - 9.0	SM	A-2-4	27	17	—	—	—	5.8

— - Not Tested

1- Moisture Content represents the insitu moisture content (W_n) and was determined in accordance with ASTM D-2216

2- Fines Content (FC) is defined as the percent of material by weight passing the # 200 Sieve (ASTM D-1140)

3- Organic Content conducted in general accordance with ASTM D2974



DOUBLE RING INFILTRATION TEST RESULTS

PROJECT: Starting Point Behavioral Health		REPORT DATE: 03/05/24
LOCATION: Fernandina Beach, Florida		TEST DATE: 02/27/24
JOB NUMBER: J21354		FIELD PERSONNEL: N. Wheeler
TEST NUMBER: DRI1/TMW1		METHOD: ASTM D3385
LAT/LONG N 30.65060°/ W 81.45500°		WATER HEAD: 6"
		TEST DEPTH: 6"

ELAPSED TIME (MINUTES)	WATER QUANTITY (ML)	INFILTRATION RATE (IN/HOUR)
5	1200	7.8
10	1000	6.5
15	1300	8.4
20	1000	6.5
25	1000	6.5
30	1000	6.5
35	1000	6.5
40	1000	6.5
45	975	6.3
50	1000	6.5
55	800	5.2
60	1000	6.5

SOIL PROFILE	
Depth(Ft)	Soil Description (USCS/AASHTO Classification)
0.0 - 0.5	Grey Slightly Silty Fine SAND with Trace Roots (SP-SM/A-3)
0.5 - 6.0	Grey Brown Fine SAND (SP/A-3)
6.0 - 9.0	Dark Grey Brown Silty Fine SAND w/ Sm. Organics (SM/A-2-4)
9.0 - 13.0	Grey Brown Slightly Silty Fine SAND (SP-SM/A-3)
A.B.T.	GWL= 2.5'

SUMMARY OF TEST DATA & RESULTS

INNER RING SIZE (INCHES): 12

OUTER RING SIZE (INCHES): 24

AVERAGE INFILTRATION RATE (IN/HR): 6.6

STEADY STATE INFILTRATION RATE (IN/HR): 6.0

INFILTRATION RATE VS TIME

Estimated Seasonal High GWL= 2.0'



INSITU FALLING HEAD HYDRAULIC CONDUCTIVITY TEST

Starting Point Behavioral Health
Fernandina Beach, Florida
AGES Job No. J21379

Governing Equation (NAVFAC)

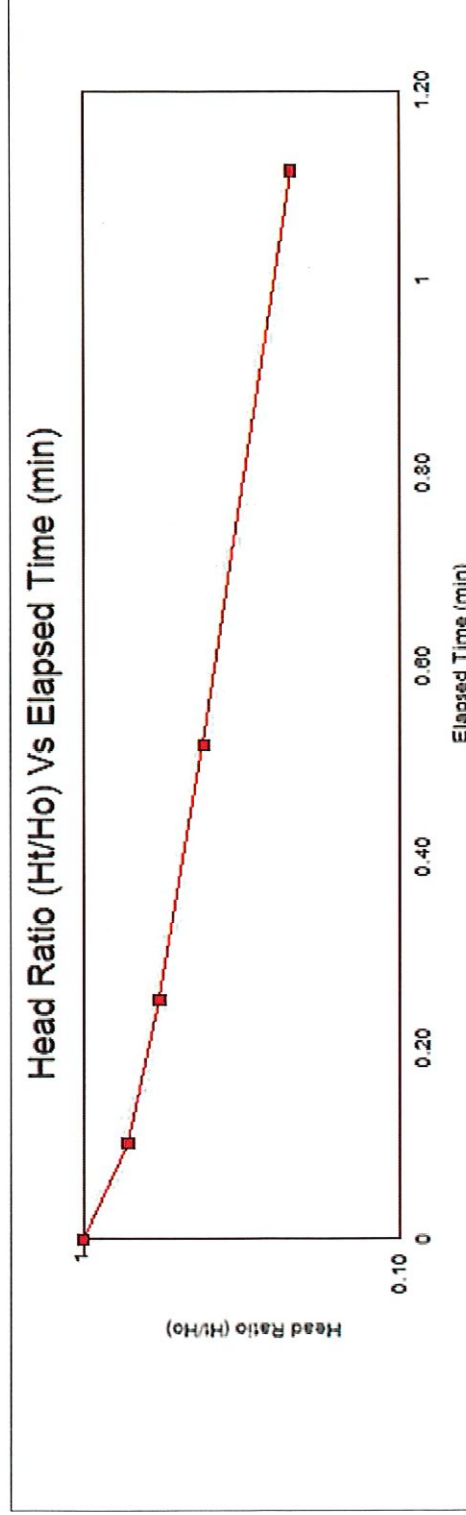
$$K = \frac{r^2}{2L} \ln(L/R) \left[\ln(H_1/H_2) / (t_2 - t_1) \right]$$

Date Performed 03/01/24

Performed by D Anderson

Well Data	
Test ID	TMW1
Well Radius - R (ft)	0.08
Well Stickup (ft)	2.67
Well Depth below TOC (ft)	15
Saturated Screen Length - L (ft)	9.67
Depth to Static GW below TOC	5.33
Initial Water Depth below TOC Slug I	4.21
GWL (ft bgs)	2.66
SHGWL (ft bgs)	2.0

Field Data		Water Level TOC (ft)	Head (Ht)	Head Ratio Ht/Ho
min	sec			
0	0.01	0.0	1.12	1.0
0	6	0.1	0.81	0.7
0	15	0.3	0.64	0.6
0	31	0.5	0.47	0.4
1	7	1.1	0.25	0.2
Results: Insitu Horizontal Hydraulic Conductivity (k)				
0.001877	ft/min	2.70	ft/day	9.5E-04
cm/sec				





INSITU RISING HEAD HYDRAULIC CONDUCTIVITY TEST

Starting Point Behavioral Health
Fernandina Beach, Florida
AGES Job No. J21379

Governing Equation (NAVFAC)

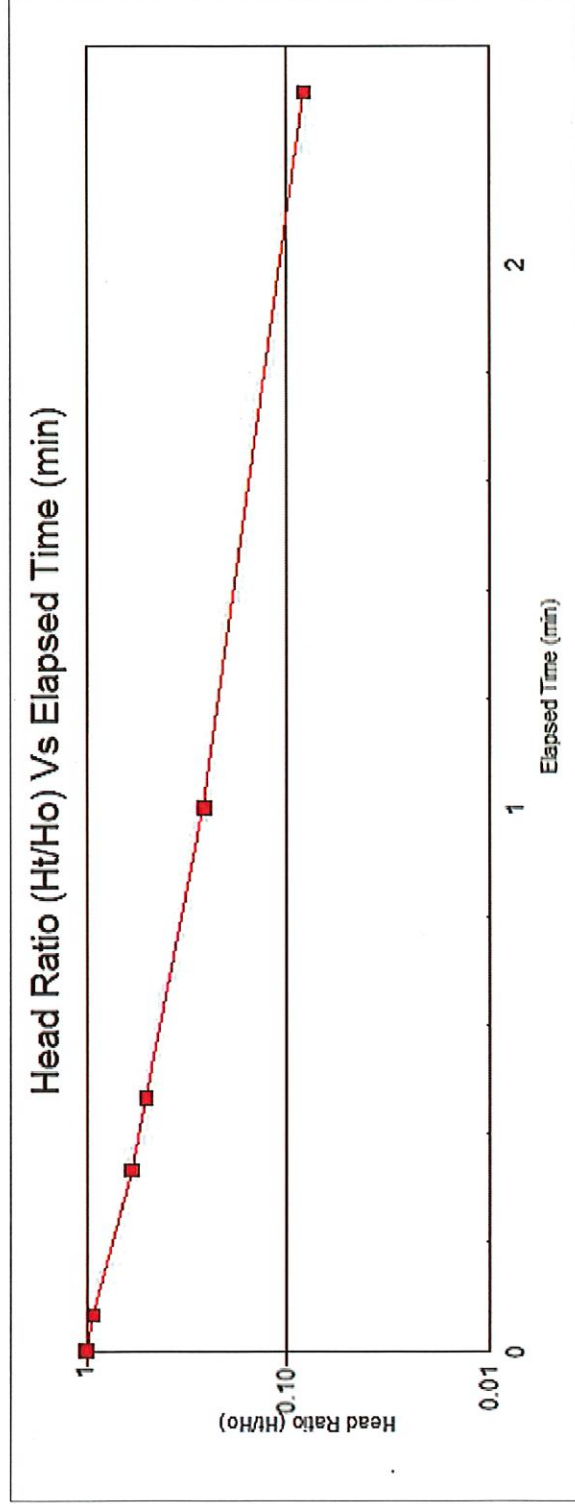
$$K_{hsat} = \frac{r^2}{2L} \ln\left(\frac{H}{H_0}\right) \left[\ln\left(\frac{H_1}{H_2}\right) / (t_2 - t_1) \right]$$

Date Performed 03/01/24

Performed by D. Anderson

Well Data	
Well ID	TMW1
Well Radius - R (ft)	0.083
Saturated Screen Length - L (ft)	9.67
Well Stickup (ft)	2.67
Well Depth below TOC	15.00
Depth to Static GW below TOC	5.33
Initial Drawdown Depth below TOC	6.37
GWL (ft bgs)	2.66
SHGWL (ft bgs)	2.0

Field Data			Depth Below TOC (ft)	Head (Ht)	Head Ratio Ht/Ho
min	sec	min			
0	0.1	0.0	6.372	1.04	1.00
0	4	0.1	6.296	0.97	0.93
0	20	0.3	5.949	0.62	0.59
0	28	0.5	5.855	0.53	0.50
1	0	1.0	5.599	0.27	0.26
2	19	2.3	5.416	0.09	0.08
Results: Insitu Horizontal Hydraulic Conductivity (k)					
0.002137	ft/min	3.08	ft/day	1.1E-03	cm/sec



Elapsed Time	Min	Head Ratio	Ht/Ho
0.002			1.000
0.067			0.927
0.333			0.594
0.467			0.504
0.333			0.594
0.467			0.504
1.000			0.258
2.317			0.082

TEMPORARY WELL COMPLETION LOG

CLIENT: Gillette & Associates, Inc. JOB NO: J21354 WELL NO: TMW1
 JOB NAME: Starting Point Behavioral Health DRILLED BY: N. Wheeler
 LOCATION: N 30.85060°, W 81.45500° ENGINEER: T. Wheeler
 DATE INSTALLED: 02/27/24
 PURPOSE: MONITOR WELL ☒ TEST WELL ☐ OBSERVATION WELL ☐
 WATER SUPPLY ☐ OTHER ☐

CONSTRUCTION DATA

DRILLING METHOD: 8" Hollow Stem Auger
 WELL TYPE: ☐ OPEN HOLE ☐
 SCREEN/GRAVEL PACK ☐ WELL POINT ☐
 PIEZOMETER ☒ OTHER ☐
 WELL DEPTH: 12.5' (BGS)

WELL MATERIAL:
 CASING DIAMETER (INS):
 INTERVAL (FT BGS):
 BOREHOLE DIA. (INS):
 SLOT SIZE (INS):

CASING/SCREEN/OPEN HOLE		
5.0'	10.0'	NA
7.0"	7.0"	7.0"
0.0 - 2.5'	2.5 - 12.5'	12.5'
3.0"	3.0"	3.0"
NA	0.010"	NA

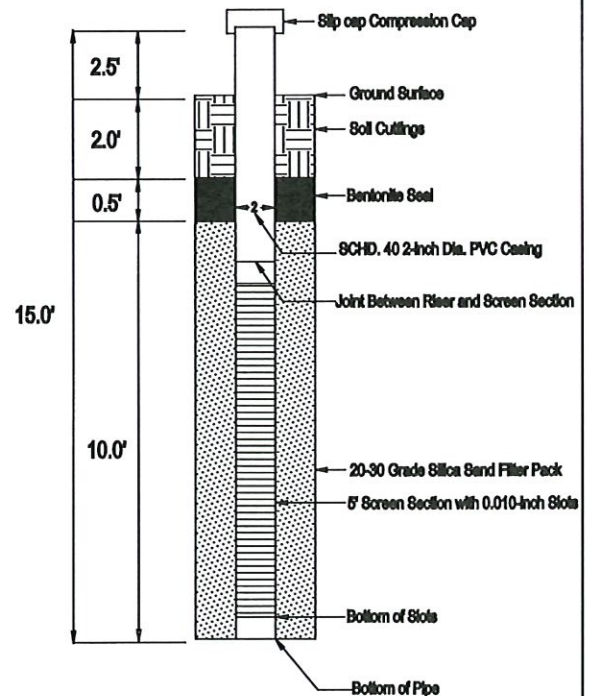
MATERIAL TYPE:
 INTERVAL (FT BGS):
 LENGTH (FT):

ANNULUS MATERIAL		
Soil Cuttings	Bentonite Seal	20/30 Grade Sand
0.0' - 3.0'	3.0' - 3.5'	3.5' - 13.5'
3.0'	0.5'	10.0'

ELEVATION DATA

GROUND ELEVATION (FT): NA
 TOP OF CASING STICKUP (FT): 2.5'
 CASING ELEVATION (FT): NA
 SURVEYED BY: Estimate

WELL DIAGRAM



HYDROGEOLOGIC DATA

COMPLETION FORMATION: NA
 SPECIFIC CAPACITY: NA
 TRANSMISSIVITY: NA
 STORAGE COEFFICIENT/SPECIFIC YIELD: NA
 DEPTH TO WATER (FT): NA
 DATE/TIME: NA

COMMENTS

From	To	Soil Description
0.0	0.5	Grey Sl. Silty Fine SAND w/ Tr. Roots (SP-SM/A-3)
0.5	6.0	Grey Brown Fine SAND (SP/A-3)
6.0	9.0	Drk Gr. Br. Sl. Fine SAND w/ Sm. Organics (SM/A-2-4)
9.0	13.0	Grey Brown Slightly Silty Fine SAND (SP-SM/A-3)

GWL: 2.5' (Below Ground Surface)

FIELD EXPLORATION PROCEDURES

Auger Borings

The auger borings were drilled in general accordance with ASTM D 1452-80 ("Soil Investigation and Sampling by Auger Borings"). Representative samples of the soils brought to the ground surface by the augering process were placed in glass jars, sealed, and transported to our laboratory where they were examined by a geotechnical engineer to verify the driller's field classification.

LABORATORY TEST PROCEDURES

Natural Moisture Content

The water content of the sample tested was determined in general accordance with ASTM D 2216-80. The water content is defined as the ratio of "pore" or "free" water in a given mass of material to the mass of solid material particles.

Fines Content

The percent fines of material passing the No. 200 mesh sieve of the sample tested was determined in general accordance with ASTM D 1140. The percent fines are the soil particles in the silt and clay size range.

Percent Organics Content

The percent organic material (i.e. organic loss on ignition) in the sample tested was determined in general accordance with ASTM D 2974. The percent organics is the material, expressed as a percentage, which is burned off in a muffle furnace at 400 degrees Celsius.